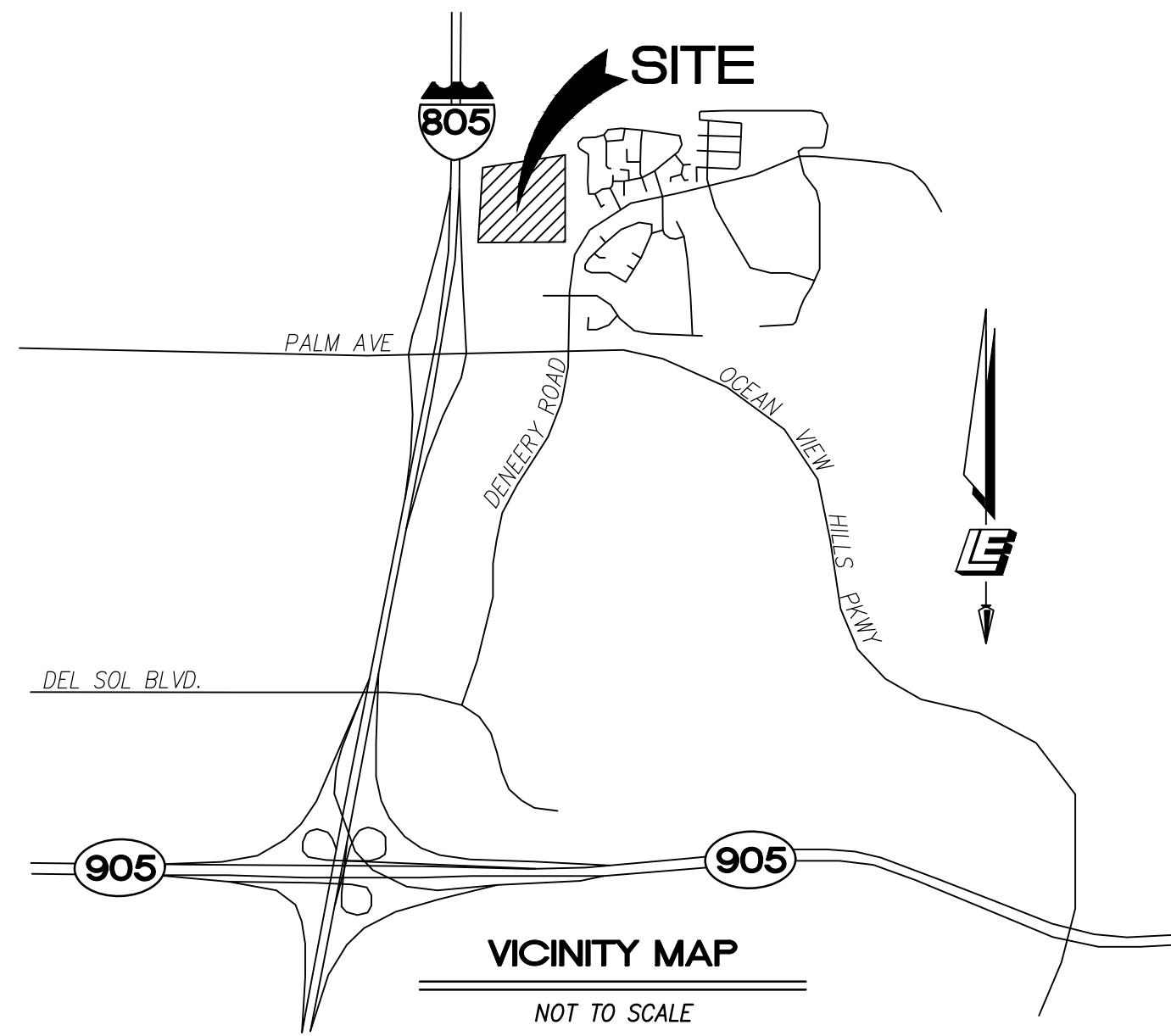


# NAKANO

## GENERAL PLAN AMENDMENT NO. MPA21-0016 SPECIFIC PLAN/REZONE NO. MPA21-0017 TENTATIVE MAP NO. PCS21-0001 ENVIRONMENTAL REVIEW PER21-0001 CITY OF CHULA VISTA



### OWNER / DEVELOPER

TRI POINTE HOMES  
13520 EVENING CREEK DRIVE NORTH, SUITE 300  
SAN DIEGO, CA 92128  
PHONE (858) 794-2500 FAX (858) 794-2599

### CIVIL ENGINEER

LEPPERT ENGINEERING CORPORATION  
5190 GOVERNOR DRIVE, SUITE 205  
SAN DIEGO, CA 92122  
PHONE: (858) 597-2001

### LANDSCAPE ARCHITECT PUBLIC AFFAIRS

PROJECT DESIGN CONSULTANTS  
701 B STREET  
SAN DIEGO, CA 92101  
PHONE: (619) 235-6471

SOUTHWEST STRATEGIES, LLC  
401 B STREET, SUITE 150  
SAN DIEGO, CA 92101  
PHONE (858) 541-7800  
FAX (858) 541-7863

### LEGAL DESCRIPTION

THE LAND REFERRED TO HEREIN BELOW IS SITUATED IN THE CITY OF CHULA VISTA, IN THE COUNTY OF SAN DIEGO, STATE OF CALIFORNIA, AND IS DESCRIBED AS FOLLOWS:

THAT PORTION OF THE NORTHEAST QUARTER OF THE SOUTHWEST QUARTER OF SECTION 24, TOWNSHIP 18 SOUTH, RANGE 2 WEST, SAN BERNARDINO MERIDIAN IN THE CITY OF CHULA VISTA, COUNTY OF SAN DIEGO, STATE OF CALIFORNIA, ACCORDING TO THE OFFICIAL PLAT THEREOF DESCRIBED AS FOLLOWS:

BEGINNING AT THE SOUTHWEST CORNER OF SAID NORTHEAST QUARTER IF THE SOUTHWEST QUARTER; THENCE ALONG THE SOUTH LINE THEREOF SOUTH 89°42'04" WEST, 1069.30 FEET TO THE EASTERLY LINE OF FREEWAY DESCRIBED IN FINAL ORDER OF CONDEMNATION RECORDED JULY 22, 1988 AS FILE NO. 123488 OFFICIAL RECORDS; THENCE ALONG SAID EASTERLY LINE NORTH 34°17'01" EAST, 918.10 FEET; THENCE NORTH 80°52'26" EAST, 1030.62 FEET TO THE EAST LINE OF SAID SECTION; THENCE ALONG SAID EAST LINE SOUTH 0°28'33" WEST, 1074.02 FEET TO THE POINT OF BEGINNING.

### GENERAL NOTES

- RESIDENTIAL UNITS: 215 (UP TO 221 MAX)
- TOTAL AREA: 23.77 ACRES GROSS
- GAS AND ELECTRIC: SAN DIEGO GAS AND ELECTRIC
- TELEPHONE: AT&T
- CABLE TELEVISION: COX
- SEWER AND WATER: PRIVATE
- DRAINAGE SYSTEM: PRIVATE
- FIRE: PRIVATE
- SCHOOL DISTRICT: SWEETWATER UNION HIGH SCHOOL DISTRICT
- ALL NEW UTILITIES WILL BE LOCATED UNDERGROUND
- EXISTING TOPOGRAPHY CONTOUR INTERVAL: 1 FEET
- PROJECT DESIGN CONSULTANTS AERIAL PHOTOGRAPHY DATED: 12/02/2019
- DESCRIPTION: CENTERLINE CONTROL MONUMENT
- LOCATION: INTERSECTION OF OTAY MESA ROAD AND HERITAGE ROAD
- REFERENCE: CITY OF SAN DIEGO VERTICAL CONTROL RECORD DATED AS OF 1993, INDEX NO. 1469 17701
- ELEVATION: 504.569 FT MSL
- DATUM: NGVD-29
- ALL PROPOSED FILL SLOPES ARE 2:1 MAX AND CUT SLOPES ARE 2:1 MAX
- GRADING SHOWN HEREON IS PRELIMINARY AND IS SUBJECT TO MODIFICATION ON FINAL DESIGN.
- LOT DIMENSIONS AND SETBACK DIMENSIONS SHOWN HEREON ARE PRELIMINARY AND ARE SUBJECT TO MODIFICATION ON FINAL DESIGN.
- ALL EXISTING BUILDINGS AND STRUCTURES SHALL BE REMOVED.
- ALL RESIDENTIAL LOCAL AND PRIVATE STREETS WITH A GRADE BREAK OF 1% OR GREATER, SHALL HAVE VERTICAL CURVES IN ACCORDANCE WITH THE CITY STREET DESIGN MANUAL.
- ALL PRIVATE ENCROACHMENTS IN THE PUBLIC RIGHT-OF-WAY OR PUBLIC EASEMENT WILL REQUIRE AN ENCROACHMENT MAINTENANCE AND REMOVAL AGREEMENT.
- ALL PRIVATE ENCROACHMENTS INTO THE PUBLIC RIGHT-OF-WAY OR PUBLIC EASEMENT WILL REQUIRE AN ENCROACHMENT MAINTENANCE AND REMOVAL AGREEMENT.
- ALL PUBLIC WATER FACILITIES AND ASSOCIATED EASEMENTS WILL BE DESIGNED AND CONSTRUCTED IN ACCORDANCE WITH THE CITY OF CHULA VISTA GUIDELINES AND REGULATIONS, STANDARDS AND PRACTICES PERTAINING THEREOF.

### ASSESSOR'S PARCEL NUMBER

624-071-0200

### BENCHMARK

FOR HORIZONTAL CONTROL: FOR VERTICAL CONTROL:  
1398/GAS 1398/GAS  
CALIFORNIA COORDINATE INDEX (NAD83), N: 1790280.53, E: 6325646.40  
ELEVATION: 533.47 FT. DATUM (MSL)  
REFERENCE: CITY OF SAN DIEGO GPS CONTROL MONUMENT DATED: AUGUST 1992

### BASIS OF BEARINGS

THE BASIS OF BEARINGS FOR THIS SURVEY IS THE CALIFORNIA COORDINATE SYSTEM, 1983, ZONE 6, EPOCH 1991.35, GRID BEARING BETWEEN GPS STATION 210 AND GPS STATION 1465 PER RECORD OF SURVEY MAP NO. 14492.

I.E.: SOUTH 57°37'24" EAST

DISTANCES SHOWN HEREON ARE GRID DISTANCES TO OBTAIN GROUND LEVEL DISTANCES. MULTIPLY DISTANCE BY 1/1.0000252. QUOTED BEARINGS FROM REFERENCE MAPS/DEEDS MAY OR MAY NOT BE IN TERMS OF SAID SYSTEM.

### SOLAR ACCESS NOTE

THIS IS TO AFFIRM THAT THE DESIGN OF THIS DEVELOPMENT PROVIDES, TO THE EXTENT FEASIBLE, FOR FUTURE PASSIVE OR NATURAL HEATING AND COOLING OPPORTUNITIES IN ACCORDANCE WITH THE PROVISION OF SECTION 66473.1 OF THE STATE SUBDIVISION MAP ACT.

### DEVELOPMENT SUMMARY

- SUMMARY OF REQUEST:  
GENERAL PLAN AMENDMENT, TENTATIVE MAP, REZONE, AND SPECIFIC PLAN AS REQUIRED BY CHULA VISTA MUNICIPAL CODE SECTION 1914.800 TO ALLOW THE PROCESSING OF A CHANGE OF LAND USE DESIGNATION AND ZONING OF A VACANT 23.8-ACRE PROPERTY, TO DEVELOP THE PROPERTY WITH 61 DETACHED CONDOMINIUMS, 84 DUPLEXES, AND 70 TOWNHOMES (UP TO 221 MAX).
- STREET ADDRESS:  
NORTHSIDE OF DENNEY RANCH ROAD BETWEEN REGATTA LANE AND SAND STAR WAY
- SITE AREA  
TOTAL SITE AREA (GROSS): 23.77 ACRES (1,035,422 SF)  
NET SITE AREA: 20.48 ACRES (891,924 SF)
- ZONING  
EXISTING: A-8  
PROPOSED: R-3
- COMMUNITY PLANNING AREA: OTAY MESA
- COVERAGE DATA  
TOTAL LANDSCAPE / OPEN SPACE AREA: 482,250 SF  
TOTAL HARDSCAPE / PAVED AREA: 303,749 SF  
FLOOR AREA RATIO PER ZONE (FAR): 1.50  
GROSS FLOOR AREA (GFA): PER DESIGN GUIDELINES
- DENSITY  
MAXIMUM DWELLING UNITS ALLOWED PER ZONE: 1 DU/4,000 S.F. OF LOT AREA  
NUMBER OF EXISTING UNITS TO REMAIN ONSITE: 0  
NUMBER OF PROPOSED DWELLING UNITS ONSITE: 215 DU (UP TO 221 MAX)

- YARD / SETBACK  
REQUIRED:  
MIN. FRONT SETBACK 10 FEET  
MIN. SIDE SETBACK 5 FEET OR 10% OF PREMISES WIDTH  
MIN. STREET SIDE SETBACK 10 FEET OR 10% OF PREMISES WIDTH  
MIN. REAR SETBACK 15 FEET
- MAXIMUM STRUCTURE HEIGHT:  
REQUIRED: 30 FEET  
PROPOSED: 30 FEET

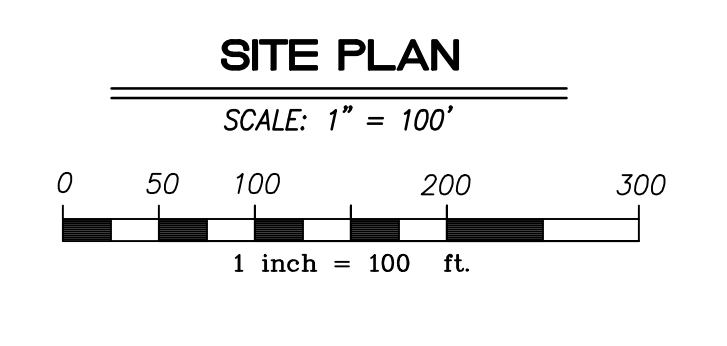
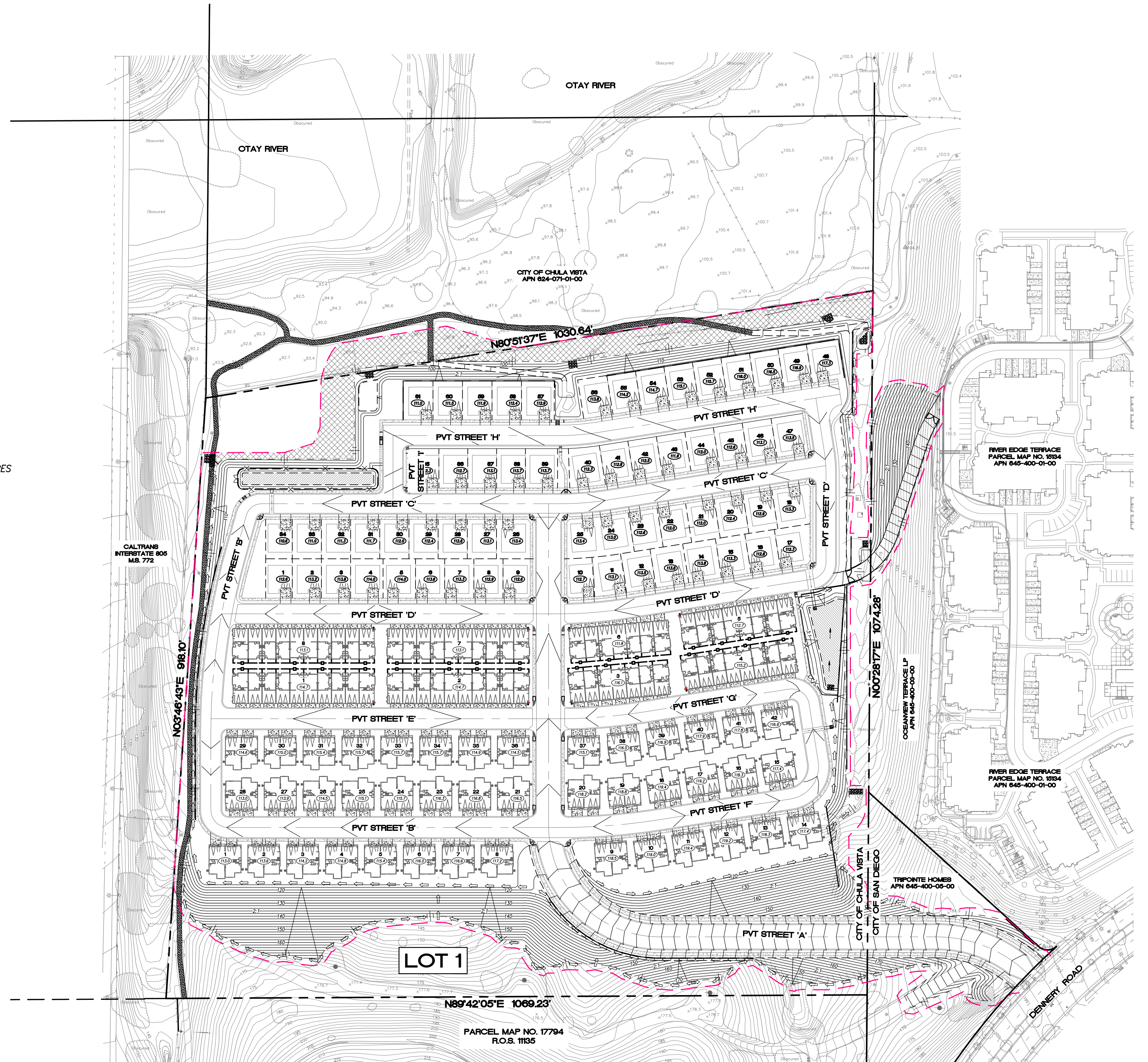
### SHEET INDEX

SHEET NO.	DESCRIPTION
1	COVER SHEET
2	EXISTING TOPOG AND EASEMENTS
3	SLOPE ANALYSIS
4	BIOLOGY MAP
5	GRADING AND STORM DRAIN
6	UTILITIES PLAN
7	SITE PLAN
8	SITE CROSS SECTIONS
9	EARTHWORK EXHIBIT
10	FIRE - HYDRANT PLAN AND NOTES
11	FIRE - APPARATUS ACCESS PATHS AND NOTES
11A	FIRE - APPARATUS ACCESS PATHS AND NOTES
11B	FIRE - NOTES
11C	FIRE - NOTES
12	LOTGING SITE PLAN AND SUMMARY TABLE
13	EMERGENCY FIRE ACCESS ROAD - PLAN AND PROFILE
14	LANDSCAPE CONCEPT PLAN AND NOTES
15	LANDSCAPE CONCEPT PLAN ENLARGEMENTS AND PLANT LEGEND
16	LANDSCAPE CONCEPT SECTIONS, ELEVATIONS AND LEGEND
17	FUEL MODIFICATION PLAN
18	LANDSCAPE CONCEPT IRRIGATION PLAN
19	LANDSCAPE CONCEPT IMAGES
20	LANDSCAPE CONCEPT PLAN: PARK CONNECTIONS

### GRADING

- TOTAL AMOUNT OF SITE TO BE GRADED: 21.18 ACRES  
(INCLUDING OFFSITE GRADING)
- PERCENTAGE OF TOTAL SITE GRADED: 82.5% (21.18 AC / 25.66 AC)
- AMOUNT OF SITE WITH 25 PERCENT SLOPES OR GREATER: 4.06 ACRES
- PERCENTAGE OF THE EXISTING SLOPES STEEPER THAN 25% PROPOSED TO BE GRADED: 10.6% (2.76 AC / 25.66 AC)  
NOTE: 0.38 AC IS WITHIN EXISTING MANUFACTURED SLOPES
- PERCENTAGE OF TOTAL SITE WITH 25 PERCENT SLOPES OR GREATER: 15.8% (4.06 AC / 25.66 AC)
- AMOUNT OF CUT: 110,400 CUBIC YARDS
- AMOUNT OF FILL: 133,000 CUBIC YARDS
- MAXIMUM HEIGHT OF FILL SLOPE(S): 21 FEET  
MAX. 2:1 SLOPE RATIO
- MAXIMUM HEIGHT OF CUT SLOPE(S): 19 FEET  
MAX. 2:1 SLOPE RATIO
- AMOUNT OF IMPORT SOIL: 22,600 CUBIC YARDS
- RETAINING WALLS  
QUANTITY: 8  
MAX. LENGTH: 419 FEET  
MAX. HEIGHT: 24 FEET

NOTE: ADDITIONAL WALLS UNDER 3 FEET IN HEIGHT MAY BE REQUIRED IN RESIDENTIAL PAD AREAS BASED ON FINAL BUILDING PLOTTING.



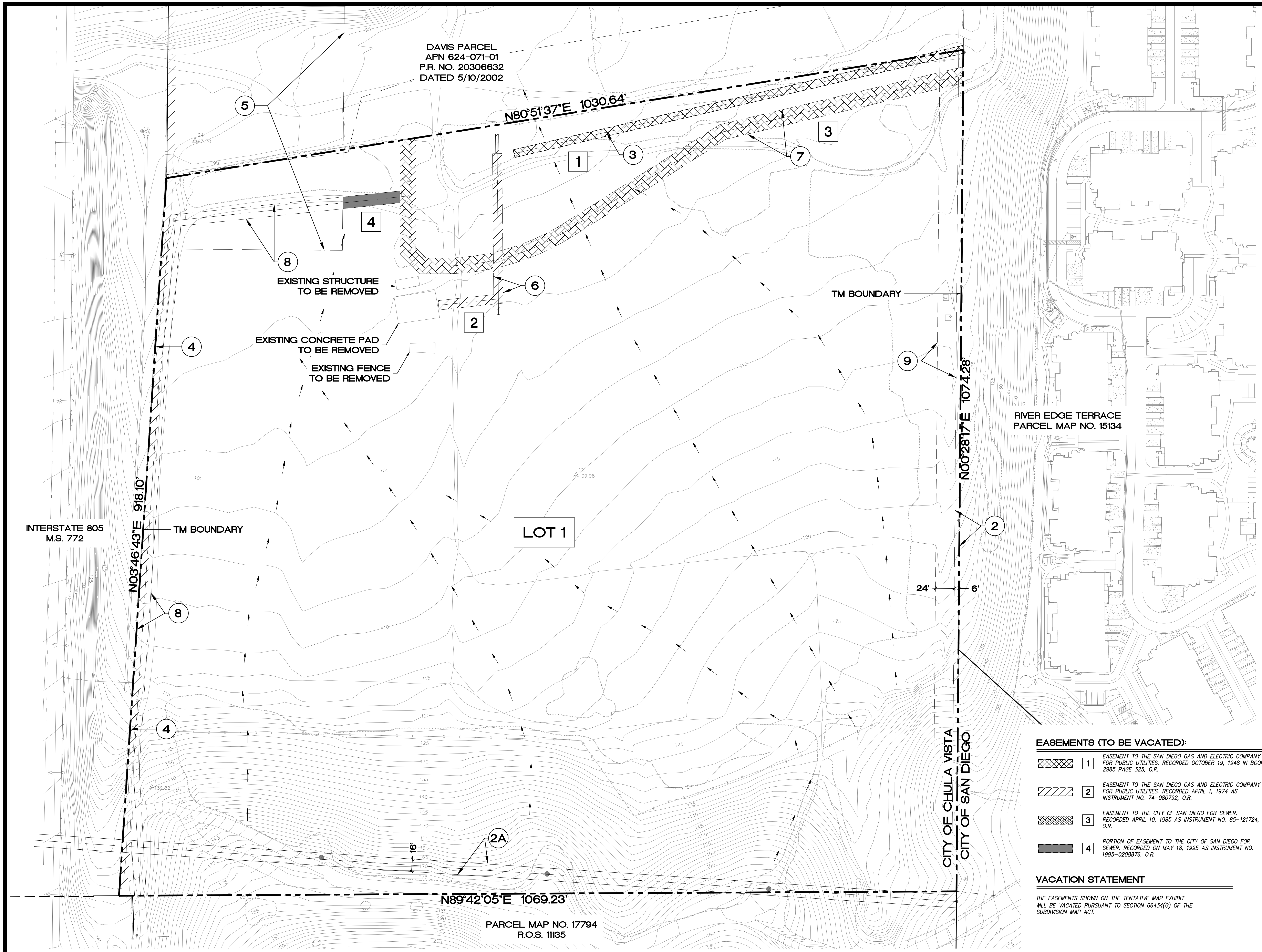
OWNER / DEVELOPER:  
**tri pointe HOMES**  
13520 EVENING CREEK DRIVE NORTH, SUITE 300  
SAN DIEGO, CA 92128  
TEL (858) 794-2500  
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PREPARED BY:  
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Phone: (858) 597-2001 Fax: (858) 597-2009

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PHONE: 858-597-2001	REVISION 10:	
	REVISION 9:	
	REVISION 8:	
	REVISION 7:	
	REVISION 6:	
PROJECT ADDRESS: NORTHSIDE OF DENNEY RD BETWEEN REGATTA LANE AND SAND STAR WAY	REVISION 5:	6/09/2023
	REVISION 4:	2/24/2023
PROJECT NAME: NAKANO	REVISION 3:	11/04/2022
	REVISION 2:	6/24/2022
	REVISION 1:	2/17/2022

MICHAEL C. TAYLOR DATE JOHN D. LEPPERT DATE  
DIVISION PRESIDENT R.C.E. 26283

ORIGINAL DATE: 9/15/2021  
SHEET TITLE: COVER SHEET  
SHEET 1 OF 20  
DEP #



**LEGEND**

---	TM BOUNDARY
---	EASEMENT LINE
②	EASEMENT NOTE NUMBER
①	EASEMENT VACATION NUMBER
///	INDICATES ABUTTER'S RIGHT OF ACCESS RELINQUISHED PER DOCUMENT RECORDED JULY 22, 1968 AS DOC. NO. 123488, O.R.
→	DIRECTION OF WATER FLOW

**LEGAL DESCRIPTION**

THE LAND REFERRED TO HEREIN BELOW IS SITUATED IN THE CITY OF CHULA VISTA, IN THE COUNTY OF SAN DIEGO, STATE OF CALIFORNIA, AND IS DESCRIBED AS FOLLOWS:

THAT PORTION OF THE NORTHEAST QUARTER OF THE SOUTHEAST QUARTER OF SECTION 24, TOWNSHIP 18 SOUTH, RANGE 2 WEST, SAN BERNARDINO MERIDIAN IN THE CITY OF CHULA VISTA, COUNTY OF SAN DIEGO, STATE OF CALIFORNIA, ACCORDING TO THE OFFICIAL PLAT THEREOF DESCRIBED AS FOLLOWS:

BEGINNING AT THE SOUTHEAST CORNER OF SAID NORTHEAST QUARTER IF THE SOUTHEAST QUARTER; THENCE ALONG THE SOUTH LINE THEREOF SOUTH 89°42'04" WEST, 1069.30 FEET TO THE EASTERLY LINE OF FREEWAY DESCRIBED IN FINAL ORDER OF CONDEMNATION RECORDED JULY 22, 1968 AS FILE NO. 123488 OFFICIAL RECORDS; THENCE ALONG SAID EASTERLY LINE NORTH 3°47'10" EAST, 918.10 FEET; THENCE NORTH 80°52'26" EAST, 1030.62 FEET TO THE EAST LINE OF SAID SECTION; THENCE ALONG SAID EAST LINE SOUTH 02°53'33" WEST, 1074.02 FEET TO THE POINT OF BEGINNING.

**TOPOGRAPHY SOURCE**

PROJECT DESIGN CONSULTANTS AERIAL PHOTOGRAPHY DATED: 01/17/2018

**DESCRIPTION:** SOUTHEAST BRASS PLUG  
**LOCATION:** INTERSECTION OF OCEANVIEW HILLS PARKWAY AND SEA FIRE POINT  
**REFERENCE:** CITY OF SAN DIEGO VERTICAL CONTROL RECORD DATED AS OF 1990, INDEX NO. 1487 17636  
**ELEVATION:** 322.389 FT MSL NGVD-29

**BENCHMARK**

**DESCRIPTION:** CENTERLINE CONTROL MONUMENT  
**LOCATION:** INTERSECTION OF OTAY MESA ROAD AND HERITAGE ROAD  
**REFERENCE:** CITY OF SAN DIEGO VERTICAL CONTROL RECORD DATED AS OF 1990, INDEX NO. 1469 17701  
**ELEVATION:** 504.568 FT. MSL  
**DATUM:** NGVD-29

**CONDOMINIUM NOTE**

THIS IS A CONDOMINIUM PROJECT AS DEFINED IN SECTION 4125 OF THE CIVIL CODE OF THE STATE OF CALIFORNIA AND IS FILED PURSUANT TO THE SUBDIVISION MAP ACT. TOTAL NUMBER OF RESIDENTIAL UNITS IS 221.

- MAPPING NOTES**
- A FINAL MAP SHALL BE FILED AT THE COUNTY RECORDER'S OFFICE PRIOR TO THE EXPIRATION OF THE TENTATIVE MAP. IF APPROVED, A DETAILED PROCEDURE OF SURVEY SHALL BE SHOWN ON THE FINAL MAP AND ALL PROPERTY CORNERS SHALL BE MARKED WITH DURABLE SURVEY MONUMENTS.
  - PRIOR TO THE RECORDATION OF THE FINAL MAP, TAXES MUST BE PAID ON THIS PROPERTY PURSUANT TO SUBDIVISION MAP ACT SECTION 66492. TO SATISFY THIS CONDITION, A TAX CERTIFICATE STATING THAT THERE ARE NO UNPAID LIEN CONDITIONS AGAINST THE SUBDIVISION MUST BE RECORDED IN THE OFFICE OF THE SAN DIEGO COUNTY RECORDER.

- IF A TAX BOND IS REQUIRED AS INDICATED IN THE TAX CERTIFICATE, ENSURE THAT IT IS PAID OR POSTED AT THE COUNTY CLERK OF THE BOARD OF SUPERVISORS OFFICE ALONG WITH THE ASSOCIATED \$34.00 COMPLIANCE FEE TO AVOID DELAYING THE RECORDATION OF THE FINAL MAP.
- ALL SUBDIVISION MAPS IN THE CITY OF SAN DIEGO ARE REQUIRED TO BE TIED TO THE CALIFORNIA COORDINATE SYSTEM OF 1983 (CCS83), ZONE 6 PURSUANT TO SECTION 8801 THROUGH 8819 OF THE CALIFORNIA PUBLIC RESOURCES CODE.
- THE FINAL MAP SHALL:
  - USE THE CALIFORNIA COORDINATE SYSTEM FOR ITS "BASIS OF BEARINGS" AND EXPRESS ALL MEASURED AND CALCULATED BEARING VALUES IN TERMS OF SAID SYSTEM. THE ANGLE OF GRID DIVERGENCE FROM A TRUE MERIDIAN (THETA OR MAPPING ANGLE) AND THE NORTH POINT OF SAID MAP SHALL APPEAR ON EACH SHEET THEREOF. ESTABLISHMENT OF SAID BASIS OF BEARINGS MAY BE BY USE OF EXISTING HORIZONTAL CONTROL STATIONS OR ASTROMONOMIC OBSERVATIONS.
  - SHOW TWO MEASURED TIES FROM THE BOUNDARY OF THE MAP TO EXISTING HORIZONTAL CONTROL STATIONS HAVING CALIFORNIA COORDINATE VALUES OF FIRST ORDER ACCURACY. THESE TIE LINES TO THE EXISTING CONTROL SHALL BE SHOWN IN RELATION TO THE CALIFORNIA COORDINATE SYSTEM (I.E., GRID BEARINGS AND GRID DISTANCES). ALL OTHER DISTANCES SHOWN ON THE MAP ARE TO BE SHOWN AS GROUND DISTANCES. A COMBINED FACTOR FOR CONVERSION OF GRID-TO-GROUND SHALL BE SHOWN ON THE MAP.

ALL SURVEY MONUMENTS SHALL BE SET PRIOR TO THE RECORDATION OF THE FINAL MAP, UNLESS THE SETTING OF MONUMENTS IS DEEMED IMPRACTICAL DUE TO THE PROPOSED IMPROVEMENTS AND/OR GRADING ASSOCIATED WITH THE PROJECT, IN WHICH CASE, DELAYED MONUMENTATION MAY BE APPLIED ON THE FINAL MAP IN ACCORDANCE WITH SECTION 144.0130 OF THE CITY OF SAN DIEGO LAND DEVELOPMENT CODES.

**EASEMENTS (TO BE VACATED):**

①	EASEMENT TO THE SAN DIEGO GAS AND ELECTRIC COMPANY FOR PUBLIC UTILITIES, RECORDED OCTOBER 19, 1948 IN BOOK 2985 PAGE 325, O.R.
②	EASEMENT TO THE SAN DIEGO GAS AND ELECTRIC COMPANY FOR PUBLIC UTILITIES, RECORDED APRIL 1, 1974 AS INSTRUMENT NO. 74-080792, O.R.
③	EASEMENT TO THE CITY OF SAN DIEGO FOR SEWER, RECORDED APRIL 10, 1985 AS INSTRUMENT NO. 85-121724, O.R.
④	PORTION OF EASEMENT TO THE CITY OF SAN DIEGO FOR SEWER, RECORDED ON MAY 18, 1995 AS INSTRUMENT NO. 1995-0208876, O.R.

**VACATION STATEMENT**

THE EASEMENTS SHOWN ON THE TENTATIVE MAP EXHIBIT WILL BE VACATED PURSUANT TO SECTION 66434(G) OF THE SUBDIVISION MAP ACT.

**EASEMENT INFORMATION:**

TITLE REPORT BY: CHICAGO TITLE COMPANY  
 ORDER NO.: 00065109-996-501-R14

② EASEMENT(S) FOR THE PURPOSE(S) SHOWN BELOW AND RIGHTS INCIDENTAL THERETO, AS GRANTED IN A DOCUMENT:

GRANTED TO: SAN DIEGO GAS AND ELECTRIC COMPANY  
 PURPOSE: PUBLIC UTILITIES  
 RECORDING DATE: NOVEMBER 20, 1928  
 RECORDING NO.: BOOK 1553, PAGE 238 DEEDS  
 AFFECTS: THE EAST 6 FEET ON SAID LAND

④ EASEMENT(S) FOR THE PURPOSE(S) SHOWN BELOW AND RIGHTS INCIDENTAL THERETO, AS GRANTED IN A DOCUMENT:

GRANTED TO: SAN DIEGO GAS AND ELECTRIC COMPANY  
 PURPOSE: PUBLIC UTILITIES  
 RECORDING DATE: SEPTEMBER 24, 1954  
 RECORDING NO.: BOOK 5374, PAGE 492 OFFICIAL RECORDS  
 AFFECTS: THE EAST 6 FEET ON SAID LAND.

③ EASEMENT(S) FOR THE PURPOSE(S) SHOWN BELOW AND RIGHTS INCIDENTAL THERETO, AS GRANTED IN A DOCUMENT:

GRANTED TO: PUBLIC UTILITIES  
 PURPOSE: PUBLIC UTILITIES  
 RECORDING DATE: OCTOBER 19, 1948  
 RECORDING NO.: BOOK 2985 PAGE 325 OF OFFICIAL RECORDS  
 AFFECTS: A PORTION OF SAID LAND AS MORE PARTICULARLY DESCRIBED IN SAID DOCUMENT.

④ THE OWNERSHIP OF SAID LAND DOES NOT INCLUDE RIGHTS OF ACCESS TO OR FROM THE STREET HIGHWAY, OR FREEWAY LAND, SUCH RIGHTS HAVING BEEN RELINQUISHED BY THE DOCUMENT.

GRANTED TO: SAN DIEGO GAS & ELECTRIC COMPANY  
 PURPOSE: PUBLIC UTILITIES  
 RECORDING DATE: JULY 22, 1968  
 RECORDING NO.: INSTRUMENT NO. 123488 OFFICIAL RECORDS  
 AFFECTS: A PORTION OF SAID LAND AS MORE PARTICULARLY DESCRIBED IN SAID DOCUMENT.

⑤ EASEMENT(S) FOR THE PURPOSE(S) SHOWN BELOW AND RIGHTS INCIDENTAL THERETO, AS GRANTED IN A DOCUMENT:

GRANTED TO: STATE OF CALIFORNIA  
 PURPOSE: DRAINAGE  
 RECORDING DATE: JULY 22, 1968  
 RECORDING NO.: INSTRUMENT NO. 123488 OFFICIAL RECORDS  
 AFFECTS: A PORTION OF SAID LAND AS MORE PARTICULARLY DESCRIBED IN SAID DOCUMENT.

⑥ EASEMENT(S) FOR THE PURPOSE(S) SHOWN BELOW AND RIGHTS INCIDENTAL THERETO, AS GRANTED IN A DOCUMENT:

GRANTED TO: SAN DIEGO GAS & ELECTRIC COMPANY  
 PURPOSE: PUBLIC UTILITIES  
 RECORDING DATE: APRIL 1, 1974  
 RECORDING NO.: INSTRUMENT NO. 74-080792 OFFICIAL RECORDS  
 AFFECTS: A PORTION OF SAID LAND AS MORE PARTICULARLY DESCRIBED IN SAID DOCUMENT.

⑦ EASEMENT(S) FOR THE PURPOSE(S) SHOWN BELOW AND RIGHTS INCIDENTAL THERETO, AS GRANTED IN A DOCUMENT:

GRANTED TO: CITY OF SAN DIEGO  
 PURPOSE: SEWER  
 RECORDING DATE: APRIL 10, 1985  
 RECORDING NO.: INSTRUMENT NO. 85-121724 OFFICIAL RECORDS  
 AFFECTS: A PORTION OF SAID LAND AS MORE PARTICULARLY DESCRIBED IN SAID DOCUMENT.

⑧ EASEMENT(S) FOR THE PURPOSE(S) SHOWN BELOW AND RIGHTS INCIDENTAL THERETO, AS GRANTED IN A DOCUMENT:

GRANTED TO: CITY OF SAN DIEGO  
 PURPOSE: SEWER  
 RECORDING DATE: MAY 18, 1995  
 RECORDING NO.: INSTRUMENT NO. 1995-0208876 OFFICIAL RECORDS  
 AFFECTS: A PORTION OF SAID LAND AS MORE PARTICULARLY DESCRIBED IN SAID DOCUMENT.

⑨ EASEMENT(S) FOR THE PURPOSE(S) SHOWN BELOW AND RIGHTS INCIDENTAL THERETO, AS GRANTED IN A DOCUMENT:

GRANTED TO: OTAY WATER DISTRICT  
 PURPOSE: PUBLIC UTILITIES, INGRESS AND EGRESS  
 RECORDING DATE: SEPTEMBER 22, 2005  
 RECORDING NO.: INSTRUMENT NO. 2005-0820907 OF OFFICIAL RECORDS  
 AFFECTS: A PORTION OF SAID LAND AS MORE PARTICULARLY DESCRIBED IN SAID DOCUMENT.

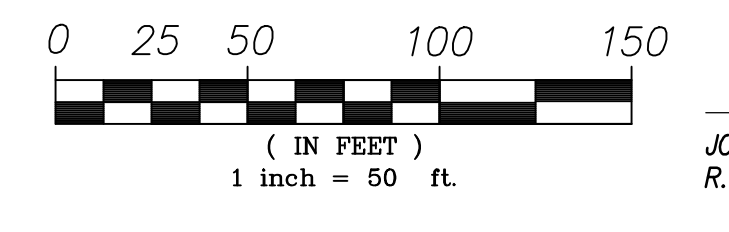
PREPARED BY:

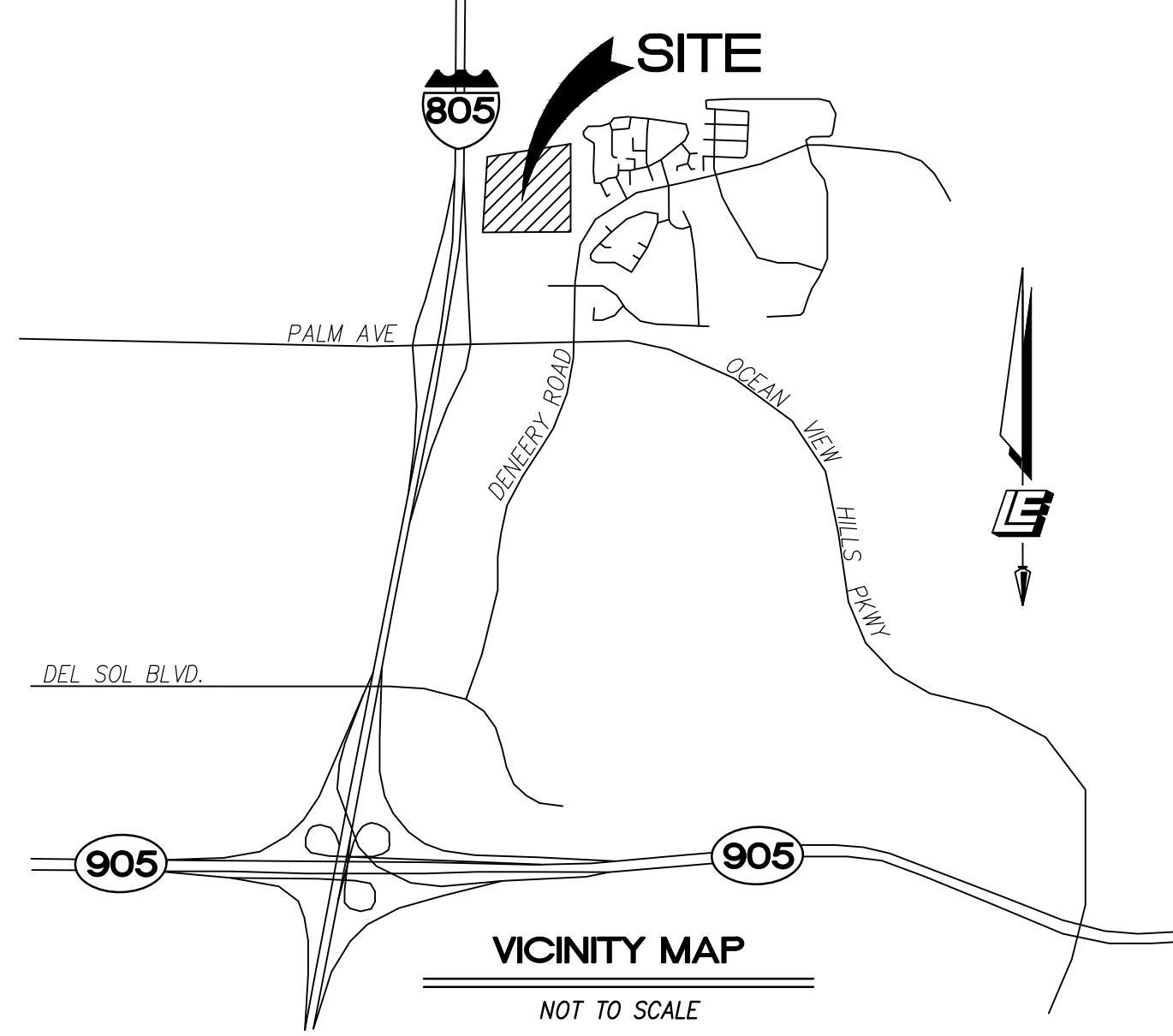
**Leppert Engineering CORPORATION**  
 5190 Governor Drive, Suite 205, San Diego, Ca. 92122-2848  
 Phone: (858) 597-2001 Fax: (858) 597-2009

JOHN D. LEPPERT  
 R.C.E. 26283

DATE \_\_\_\_\_

NAME:	LEPPERT ENGINEERING CORPORATION	REVISION 12:	
ADDRESS:	5190 GOVERNOR DRIVE, SUITE 205 SAN DIEGO, CA 92122	REVISION 11:	
PHONE:	858-597-2001	REVISION 10:	
		REVISION 9:	
		REVISION 8:	
		REVISION 7:	
		REVISION 6:	
		REVISION 5:	6/09/2023
		REVISION 4:	2/24/2023
		REVISION 3:	11/04/2022
		REVISION 2:	6/24/2022
		REVISION 1:	2/17/2022
		ORIGINAL DATE:	9/15/2021
<b>SHEET TITLE:</b>	<b>EXISTING TOPOGRAPHY AND EASEMENTS</b>	<b>SHEET</b>	<b>2 OF 20</b>
		<b>DEP #</b>	





**GRADING**

1. TOTAL AMOUNT OF SITE TO BE GRADED: (INCLUDING OFFSITE GRADING)	21.18 ACRES
2. PERCENTAGE OF TOTAL SITE GRADED:	82.5% (21.18 AC / 25.66 AC)
3. AMOUNT OF SITE WITH 25 PERCENT SLOPES OR GREATER:	4.06 ACRES
4. PERCENTAGE OF THE EXISTING SLOPES STEEPER THAN 25% PROPOSED TO BE GRADED:	10.6% (2.76 AC / 25.66 AC) NOTE: 0.38 AC IS WITHIN EXISTING MANUFACTURED SLOPES
5. PERCENTAGE OF TOTAL SITE WITH 25 PERCENT SLOPES OR GREATER:	15.8% (4.06 AC / 25.66 AC)
6. AMOUNT OF CUT:	110,400 CUBIC YARDS
7. AMOUNT OF FILL:	133,000 CUBIC YARDS
8. MAXIMUM HEIGHT OF FILL SLOPE(S): MAX. 2:1 SLOPE RATIO	21 FEET
9. MAXIMUM HEIGHT OF CUT SLOPE(S): MAX. 2:1 SLOPE RATIO	19 FEET
10. AMOUNT OF IMPORT SOIL:	22,600 CUBIC YARDS
11. RETAINING WALLS	
QUANTITY:	8
MAX. LENGTH:	419 FEET
MAX. HEIGHT:	24 FEET

NOTE: ADDITIONAL WALLS UNDER 3 FEET IN HEIGHT MAY BE REQUIRED IN RESIDENTIAL PAD AREAS BASED ON FINAL BUILDING PLOTTING.

**LEGEND**

EXISTING SLOPES 0 % TO 25 % (20.76 ACRES)	
EXISTING SLOPES 25 % AND GREATER (4.06 ACRES)	
IMPACTS TO EXISTING SLOPES 25% OR GREATER (2.76 ACRES)	

**AREA SUMMARY**

	ACREAGE	PERCENTAGE
0 % TO 25 % SLOPES	20.76 ACRES	83.6%
25 % AND GREATER SLOPES	4.06 ACRES	16.4%
TOTAL	24.82 ACRES	100%

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		REVISION 9:	
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		REVISION 7:	
		REVISION 6:	
		REVISION 5:	6/09/2023
		REVISION 4:	2/24/2023
		REVISION 3:	11/04/2022
		REVISION 2:	6/24/2022
		REVISION 1:	2/17/2022

PROJECT ADDRESS:  
NORTHSIDE OF DENNEY RD BETWEEN  
REGATTA LANE AND SAND STAR WAY

PROJECT NAME:  
NAKANO

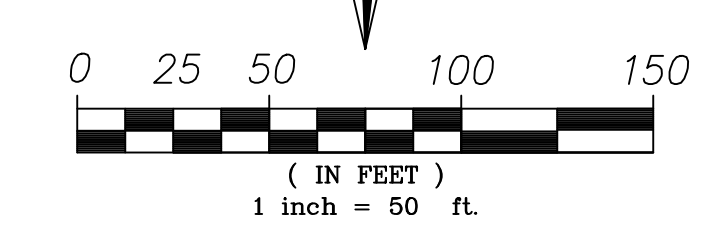
ORIGINAL DATE: 9/15/2021

SHEET TITLE:  
SLOPE ANALYSIS

SHEET 3 OF 20

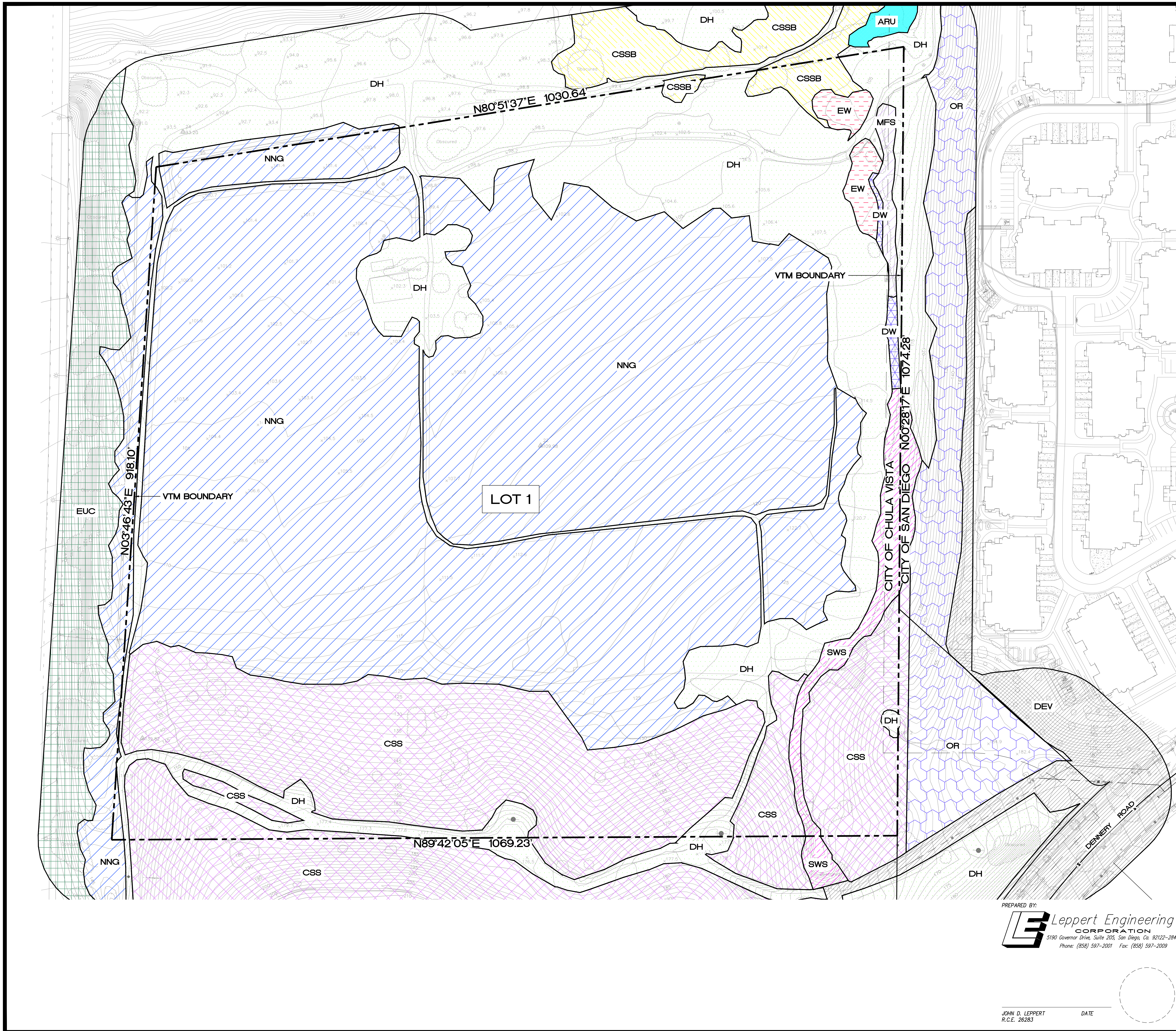
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PREPARED BY:  
**Leppert Engineering CORPORATION**  
5190 Governor Drive, Suite 205, San Diego, Ca. 92122-2848  
Phone: (858) 597-2001 Fax: (858) 597-2009



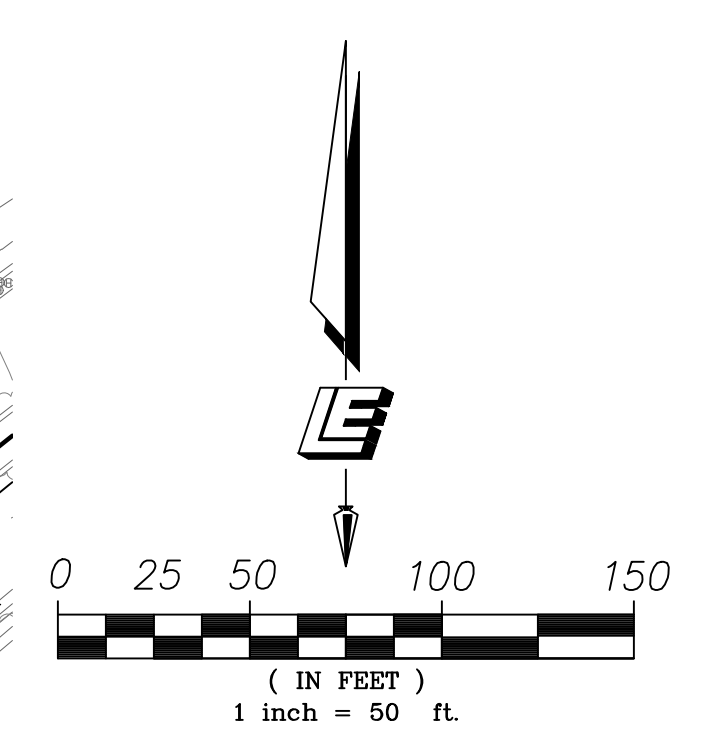
JOHN D. LEPPERT  
R.C.E. 26283

DATE



**LEGEND**

	ARU, ANUNDO-DOMINATED REGION
	CSS, DIEGAN COASTAL SAGE SCRUB
	CSSB, DIEGAN COASTAL SAGE SCRUB: BACCHARIS-DOMINATED
	DEV, URBAN/DEVELOPED
	DH, DISTURBED HABITAT
	DW, DISTURBED WETLANDS
	EW, EMERGENT WETLANDS
	EUC, EUCALYPTUS WOODLAND
	MFS, MULE FAT SCRUB
	NNG, NON-NATIVE GRASSLAND
	OR, ORNAMENTAL
	SWS, SOUTHERN WILLOW SCRUB
	VTM BOUNDARY



NAME: LEPPERT ENGINEERING CORPORATION  
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 PHONE: 858-597-2001

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 CORPORATION  
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PROJECT ADDRESS:  
 NORTHSIDE OF DENNERY RD BETWEEN  
 REGATTA LANE AND SAND STAR WAY

PROJECT NAME:  
 NAKANO

REVISION 12:	_____
REVISION 11:	_____
REVISION 10:	_____
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REVISION 3:	11/04/2022
REVISION 2:	6/24/2022
REVISION 1:	2/17/2022

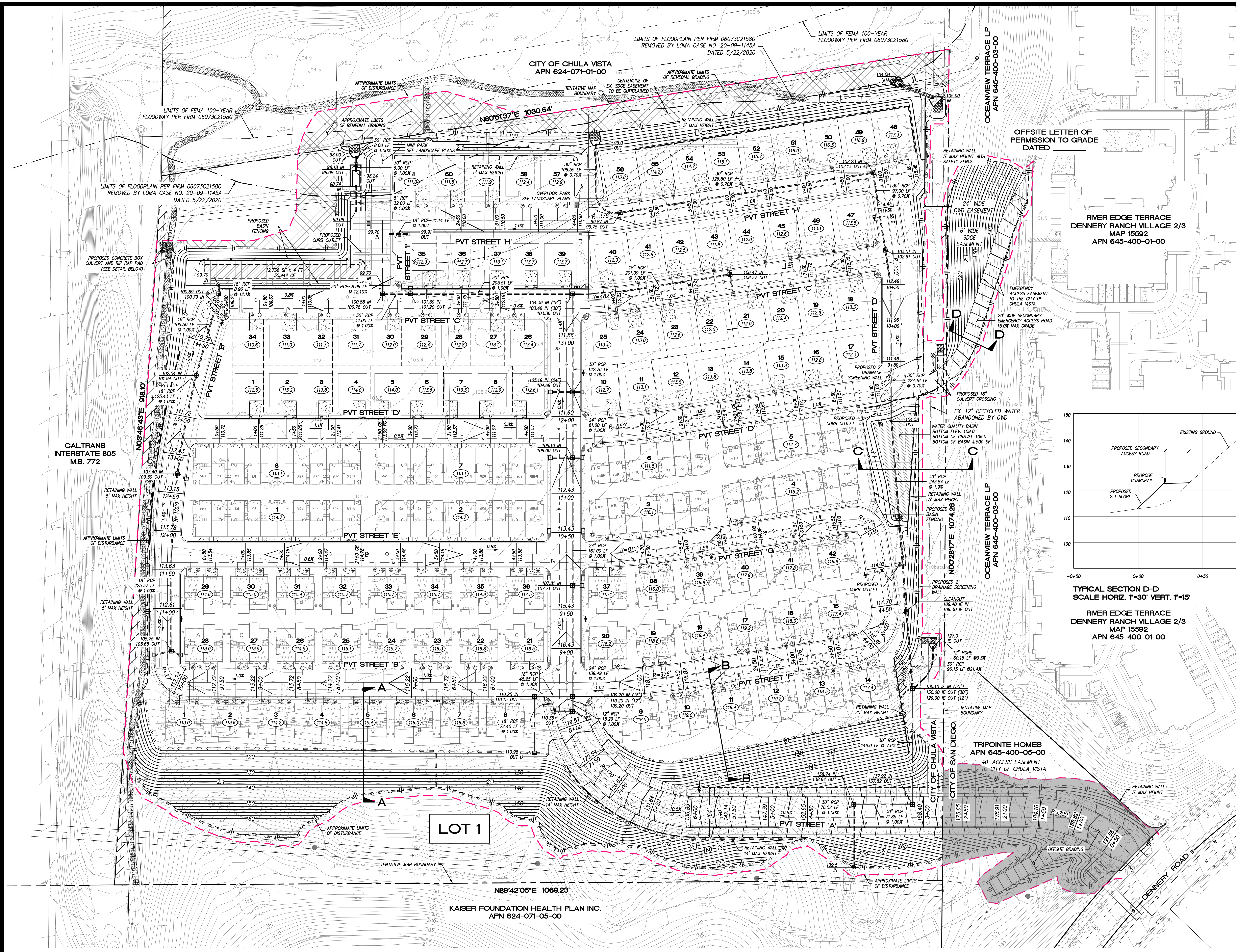
ORIGINAL DATE: 9/15/2021

SHEET TITLE:  
 BIOLOGY MAP

SHEET 4 OF 20

DEP # \_\_\_\_\_

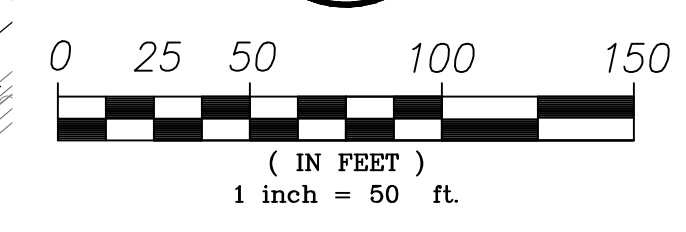
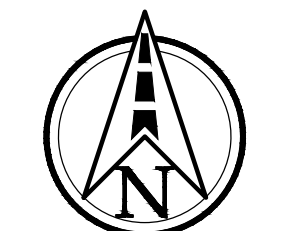
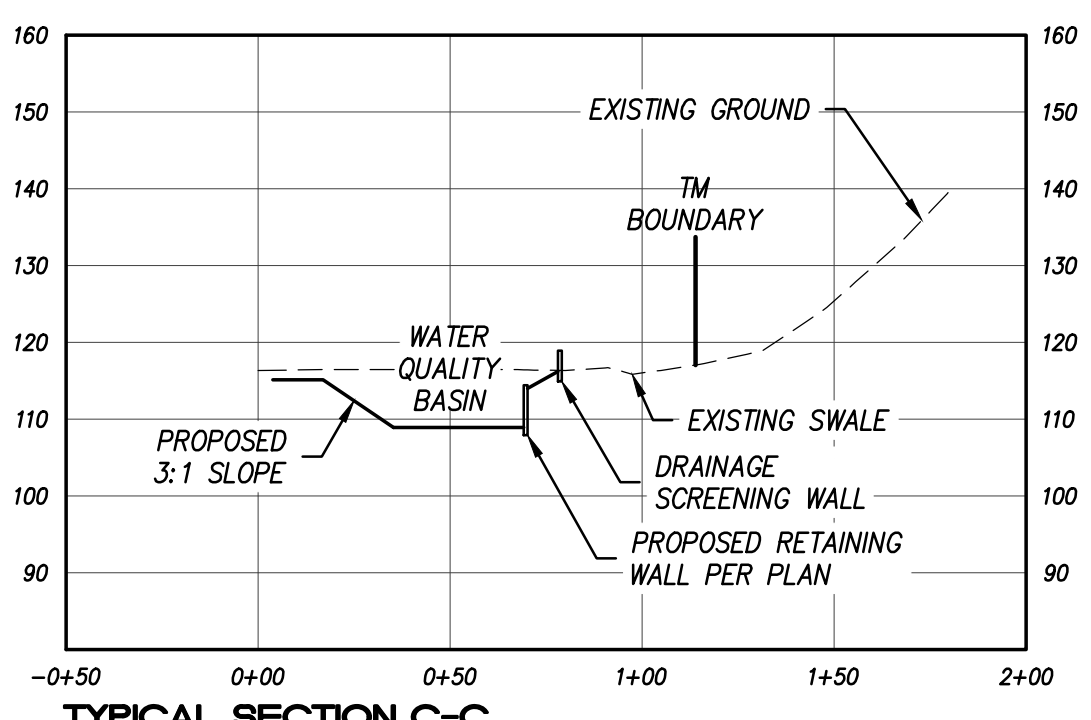
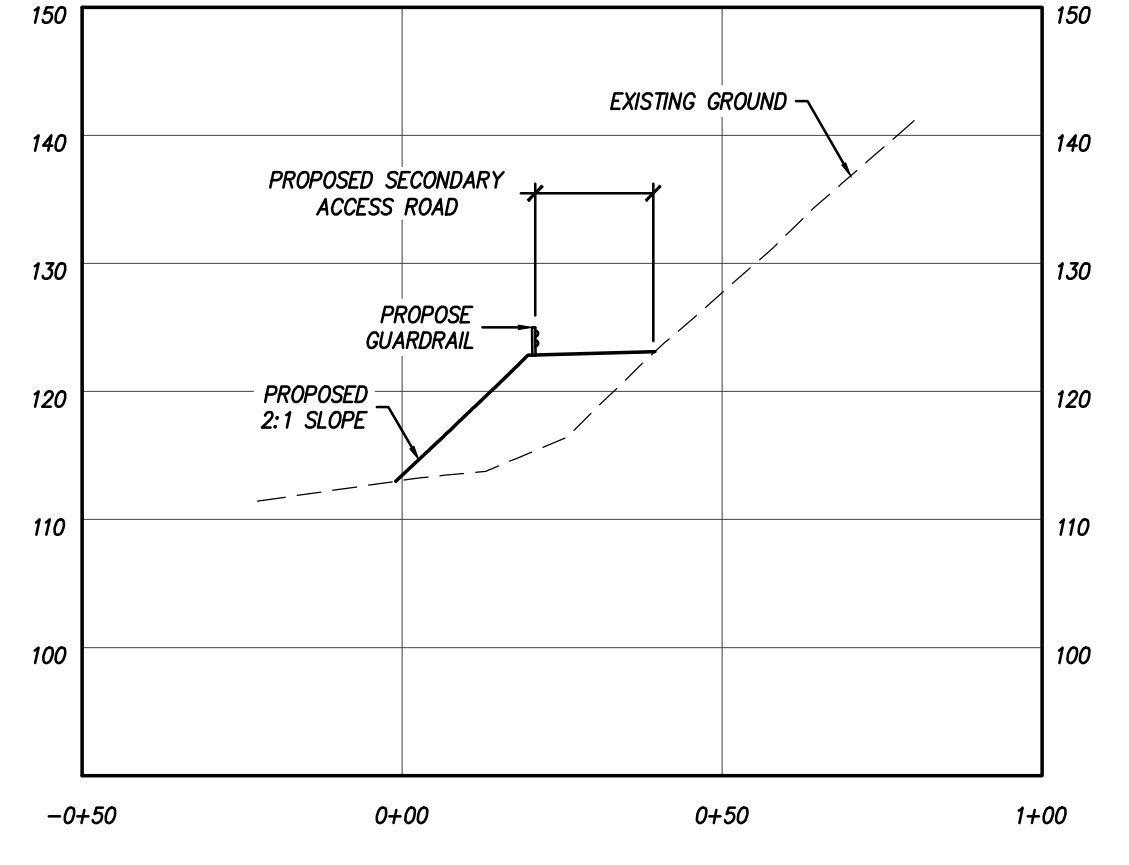
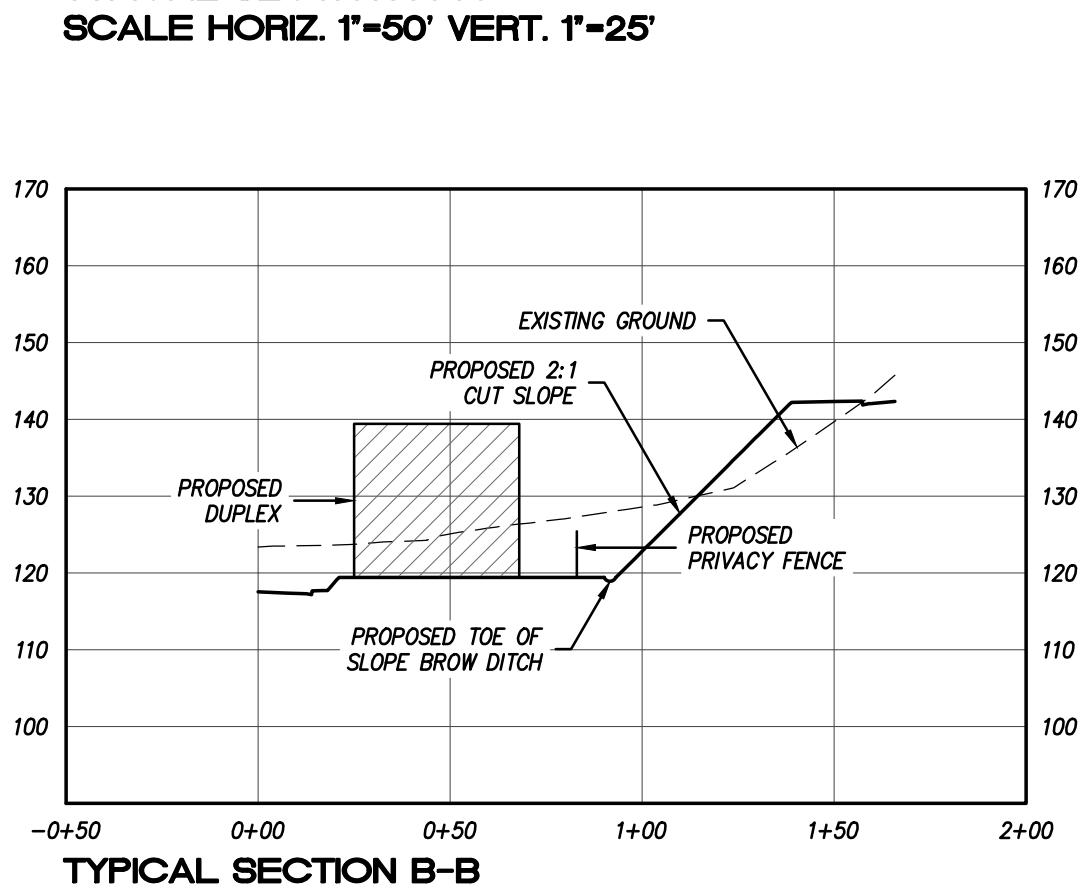
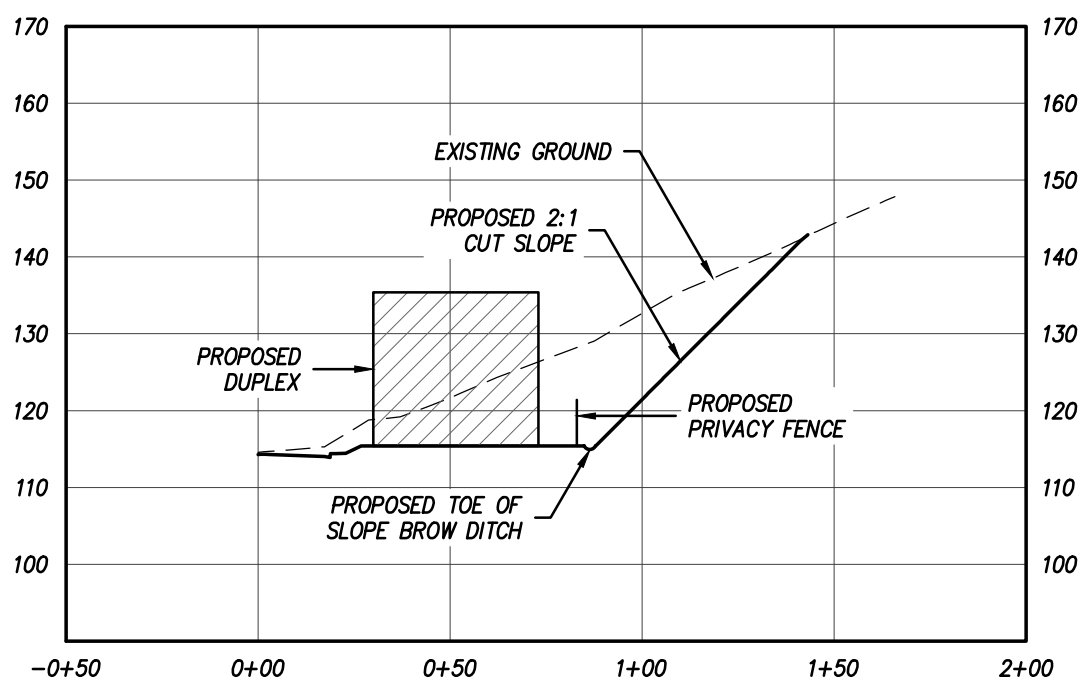
JOHN D. LEPPERT DATE \_\_\_\_\_  
 R.C.E. 26283



**LEGEND**

- SLOPES 2:1 MAX
- TM BOUNDARY
- PROPOSED LOT LINE
- PROPOSED DAYLIGHT LINE
- PROPOSED 6" CURB AND GUTTER
- PROPOSED 6" CURB
- PROPOSED RETAINING WALL

- GRADING NOTES / BMP NOTES**
- BMP MAINTENANCE - PRIOR TO THE ISSUANCE OF ANY CONSTRUCTION PERMIT, THE OWNER/PERMITEE SHALL ENTER INTO A MAINTENANCE AGREEMENT FOR THE ONGOING PERMANENT BMP MAINTENANCE, SATISFACTORY TO THE CITY ENGINEER.
  - CONSTRUCTION BMP - PRIOR TO ISSUANCE OF ANY CONSTRUCTION PERMIT, THE OWNER/PERMITEE SHALL INCORPORATE ANY CONSTRUCTION BEST MANAGEMENT PRACTICES NECESSARY TO COMPLY WITH CHAPTER 14, ARTICLE 2, DIVISION I (GRADING REGULATIONS) OR SAN DIEGO MUNICIPAL CODE, INTO THE CONSTRUCTION PLANS OR SPECIFICATIONS.



NAME: CIVIL SENSE, INC. ADDRESS: 13475 DANIELSON STREET, SUITE 150 POMAY, CA 92128 PHONE: 858-843-4253

PROJECT ADDRESS: NORTH-SIDE OF DENNERY RD BETWEEN REGATTA LANE AND SAND STAR WAY

PROJECT NAME: NAKANO

REVISION 12:	
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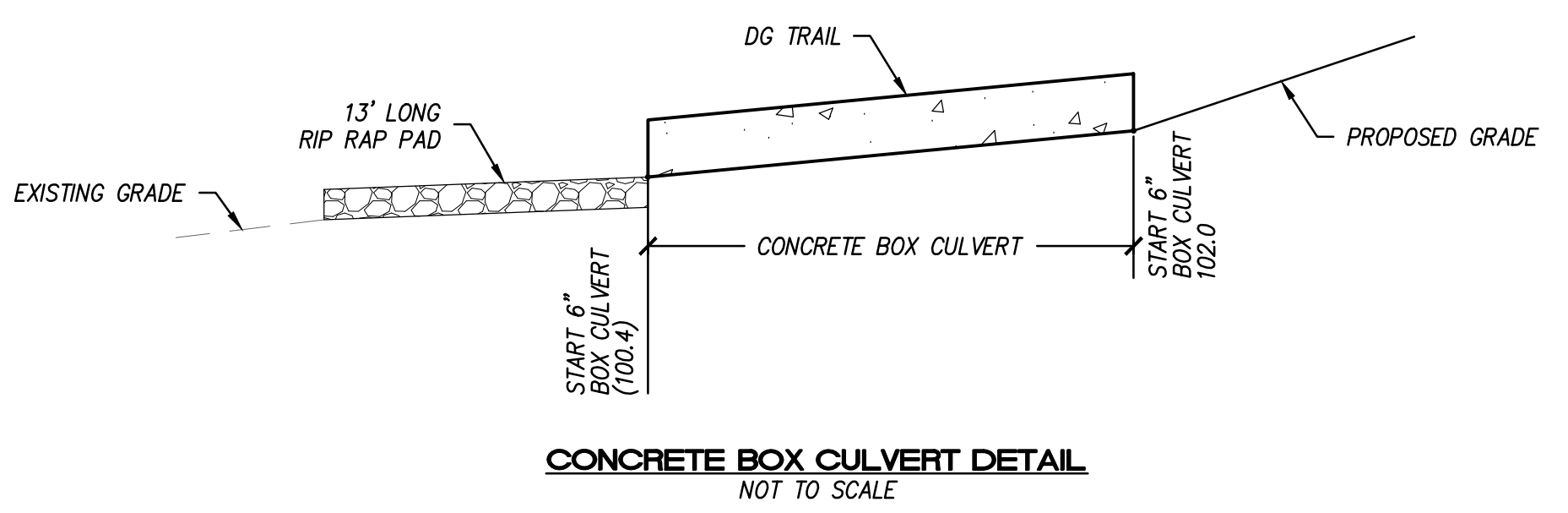
ORIGINAL DATE: 9/15/2021

SHEET TITLE: GRADING AND STORM DRAIN SHEET 5 OF 20

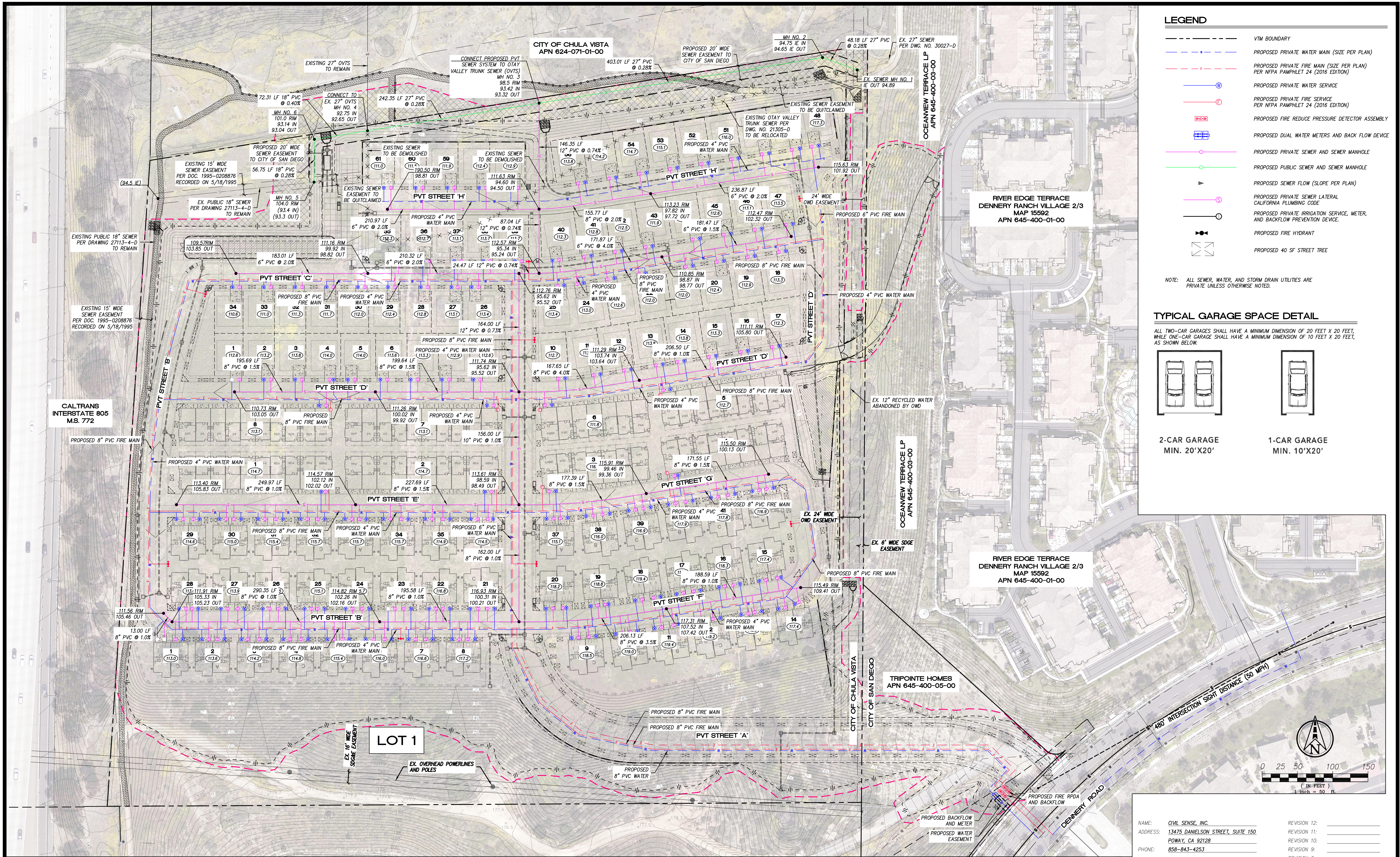
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JOHN D. LEPPERT DATE R.C.E. 26283



CONCRETE BOX CULVERT DETAIL NOT TO SCALE



### LEGEND

- VTM BOUNDARY
- PROPOSED PRIVATE WATER MAIN (SIZE PER PLAN)
- PROPOSED PRIVATE FIRE MAIN (SIZE PER PLAN) PER NFPA PAMPHLET 24 (2016 EDITION)
- PROPOSED PRIVATE WATER SERVICE
- PROPOSED PRIVATE FIRE SERVICE PER NFPA PAMPHLET 24 (2016 EDITION)
- PROPOSED FIRE REDUCE PRESSURE DETECTOR ASSEMBLY
- PROPOSED DUAL WATER METERS AND BACK FLOW DEVICE
- PROPOSED PRIVATE SEWER AND SEWER MANHOLE
- PROPOSED PUBLIC SEWER AND SEWER MANHOLE
- PROPOSED SEWER FLOW (SLOPE PER PLAN)
- PROPOSED PRIVATE SEWER LATERAL CALIFORNIA PLUMBING CODE
- PROPOSED PRIVATE IRRIGATION SERVICE, METER, AND BACKFLOW PREVENTION DEVICE.
- PROPOSED FIRE HYDRANT
- PROPOSED 40 SF STREET TREE

NOTE: ALL SEWER, WATER, AND STORM DRAIN UTILITIES ARE PRIVATE UNLESS OTHERWISE NOTED.

### TYPICAL GARAGE SPACE DETAIL

ALL TWO-CAR GARAGES SHALL HAVE A MINIMUM DIMENSION OF 20 FEET X 20 FEET, WHILE ONE-CAR GARAGE SHALL HAVE A MINIMUM DIMENSION OF 10 FEET X 20 FEET, AS SHOWN BELOW.

**2-CAR GARAGE**  
MIN. 20'X20'

**1-CAR GARAGE**  
MIN. 10'X20'

#### MINIMUM TREE SEPARATION DISTANCE

IMPROVEMENT	MIN. DISTANCE TO STREET TREE
TRAFFIC SIGNAL, STOP SIGN	20 FEET
UNDERGROUND UTILITY LINES (EXCEPT SEWER)	5 FEET
SEWER LINES	10 FEET
ABOVE GROUND UTILITY STRUCTURES (TRANSFORMERS, HYDRANTS, UTILITY POLES, ETC)	10 FEET
DRIVEWAYS	10 FEET *
INTERSECTIONS (INTERSECTING CURB LINES OF TWO STREETS)	25 FEET

\* 5 FEET ON RESIDENTIAL LOCAL STREETS WITH A DESIGN SPEED OF 25MPH OR SLOWER

#### UTILITY TABLE

UTILITY	OVERHEAD/UNDERGROUND
GAS	UNDERGROUND
ELECTRIC	UNDERGROUND
TELEPHONE (AT&T)	UNDERGROUND
CABLE TELEVISION (COX)	UNDERGROUND
SEWER	UNDERGROUND
STORM DRAIN	UNDERGROUND
FIRE	UNDERGROUND
WATER	UNDERGROUND

NOTE: THE SUBDIVIDER SHALL ENSURE THAT ALL ONSITE UTILITIES SERVING THE SUBDIVISION SHALL BE UNDERGROUNDED WITH ALL OF THE APPROPRIATE PERMITS.

- #### UTILITY NOTES
- NO TREES OR SHRUBS EXCEEDING THREE FEET IN HEIGHT AT MATURITY SHALL BE INSTALLED WITHIN TEN FEET OF ANY SEWER AND FIVE FEET OF ANY WATER FACILITIES.
  - MINIMUM 10 FOOT SEPARATION FROM SEWER MAINS TO WATER MAINS. 10 FOOT SEPARATION TO BE MEASURED FROM OUTSIDE EDGE OF PIPE TO OUTSIDE EDGE OF PIPE.
  - ALL WATER SERVICES TO THE SITE, INCLUDING DOMESTIC, IRRIGATION AND FIRE, WILL REQUIRE PRIVATE, ABOVE GROUND BACK FLOW PREVENTION DEVICES (BFPDS). BFPDS ARE TYPICALLY LOCATED ON PRIVATE PROPERTY, IN LINE WITH THE SERVICE AND IMMEDIATELY ADJACENT TO THE RIGHT-OF-WAY. THE PUBLIC UTILITIES DEPARTMENT WILL NOT PERMIT THE REQUIRED BFPDS TO BE LOCATED BELOW GRADE OR WITHIN THE STRUCTURE.
  - IF A 3" OR LARGER METER IS REQUIRED FOR THIS PROJECT, THE OWNER/PERMITEE SHALL CONSTRUCT THE NEW METER AND PRIVATE BACKFLOW DEVICE ON SITE, ABOVE GROUND, WITHIN AN ADEQUATELY SIZED WATER EASEMENT, IN A MANNER SATISFACTORY TO THE PUBLIC UTILITIES DIRECTOR AND THE CITY ENGINEER.
  - PRIOR TO THE ISSUANCE OF ANY BUILDING PERMITS, THE OWNER/PERMITEE SHALL OBTAIN AN ENCROACHMENT MAINTENANCE REMOVAL AGREEMENT, FROM THE CITY ENGINEER, FOR THE PRIVATE SEWER LATERAL IN THE STREET A RIGHT-OF-WAY.

PREPARED BY:

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JOHN D. LEPPERT  
R.C.E. 26283

DATE \_\_\_\_\_

NAME: CIVIL SENSE, INC.  
ADDRESS: 13475 DANIELSON STREET, SUITE 150  
POMAY, CA 92128  
PHONE: 858-843-4253

PROJECT ADDRESS:  
NORTHSIDE OF DENNERLY RD BETWEEN  
REGATTA LANE AND SAND STAR WAY

PROJECT NAME:  
NAKANO

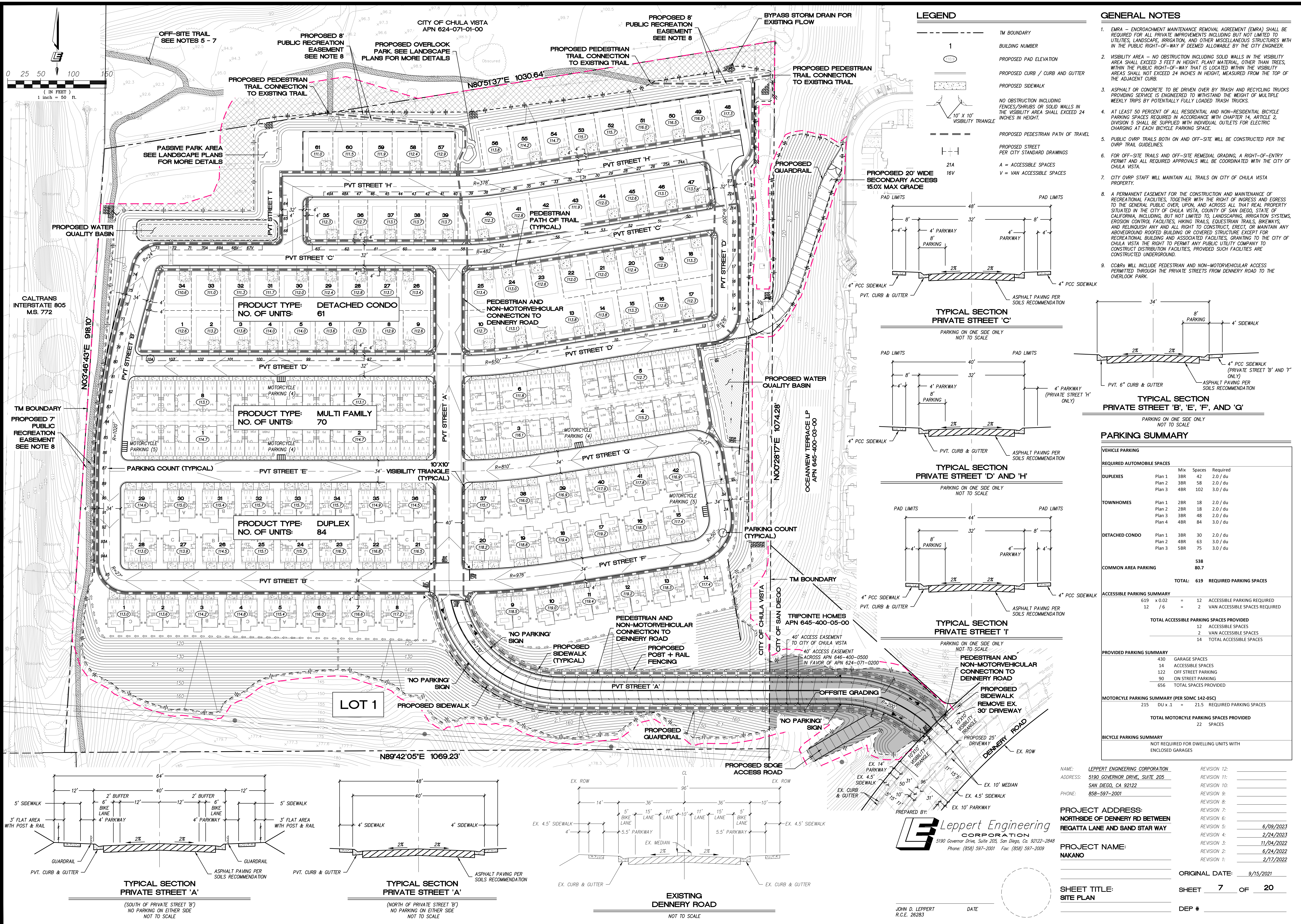
ORIGINAL DATE: 9/15/2021

SHEET TITLE:  
UTILITY PLAN

SHEET **6** OF **20**

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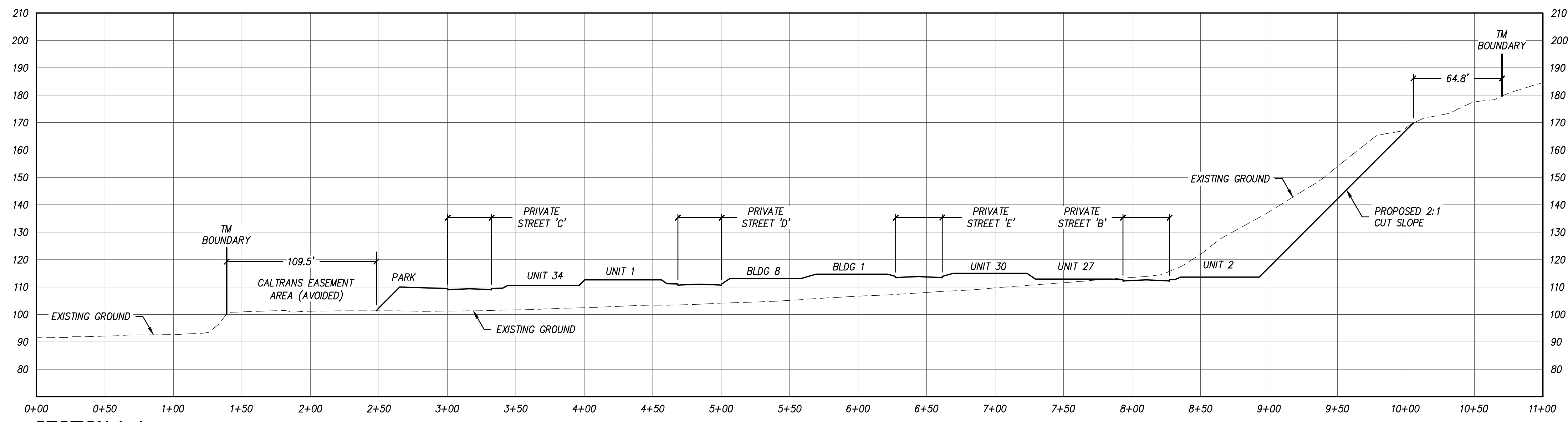
SHEET TITLE:  
 SITE PLAN

SHEET 7 OF 20

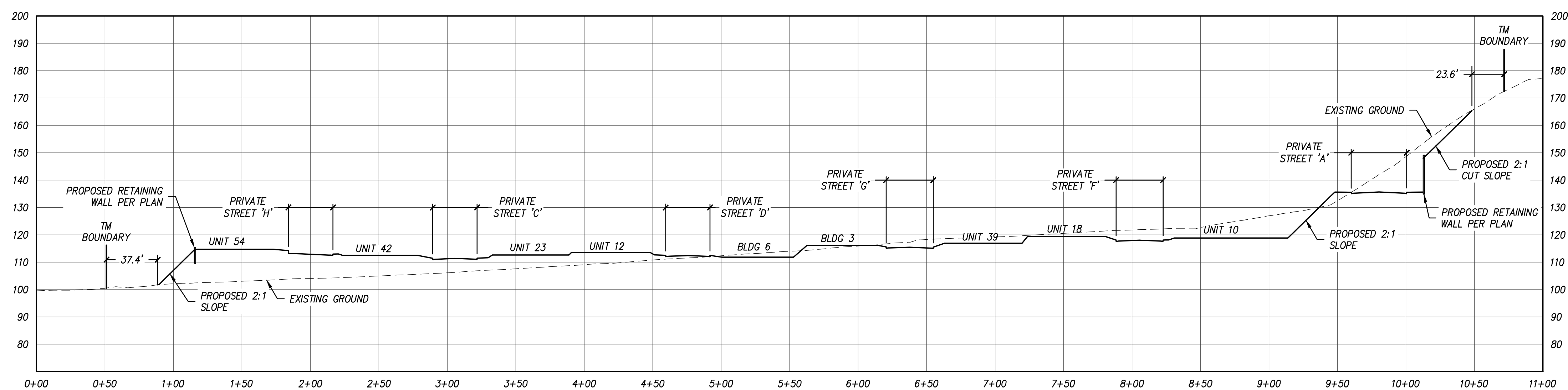
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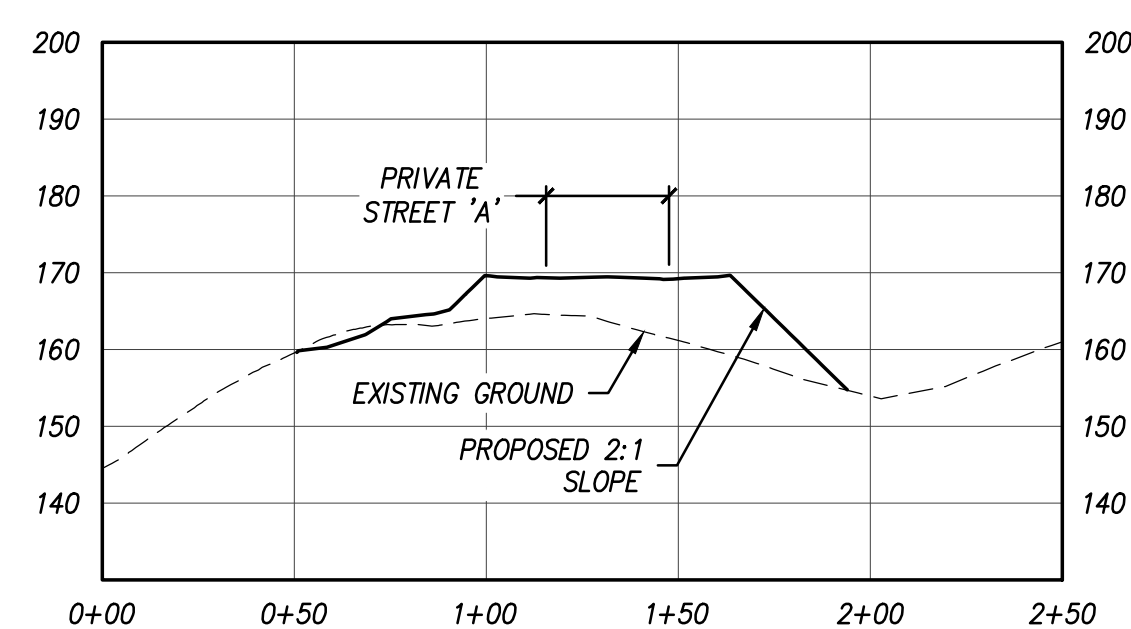
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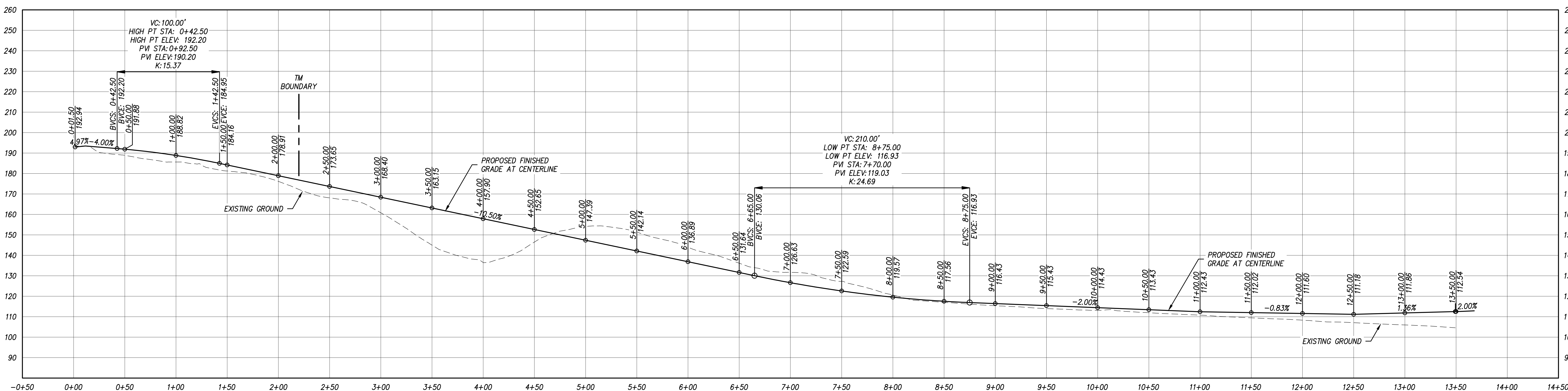
SECTION A-A  
SCALE HORIZ. 1"=50' VERT. 1"=25'



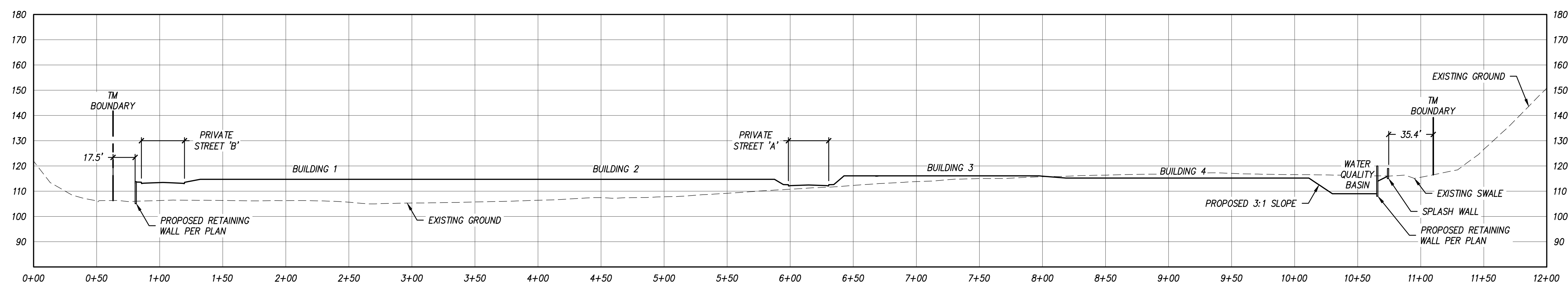
SECTION B-B  
SCALE HORIZ. 1"=50' VERT. 1"=25'



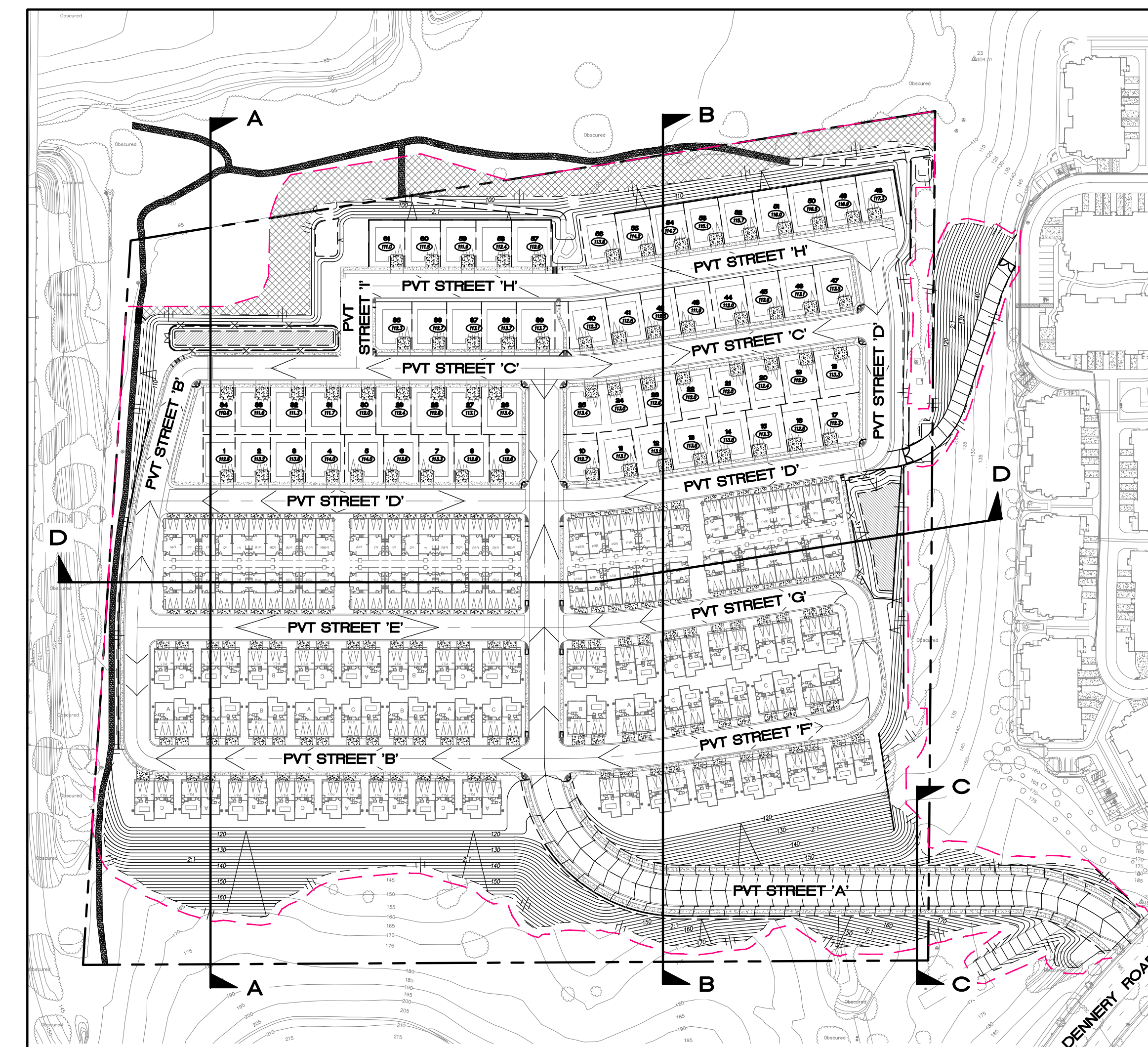
SECTION C-C  
SCALE HORIZ. 1"=50' VERT. 1"=25'



STREET A - FINISHED GRADE PROFILE AT CENTERLINE  
SCALE HORIZ. 1"=50' VERT. 1"=25'



SECTION D-D  
SCALE HORIZ. 1"=50' VERT. 1"=25'



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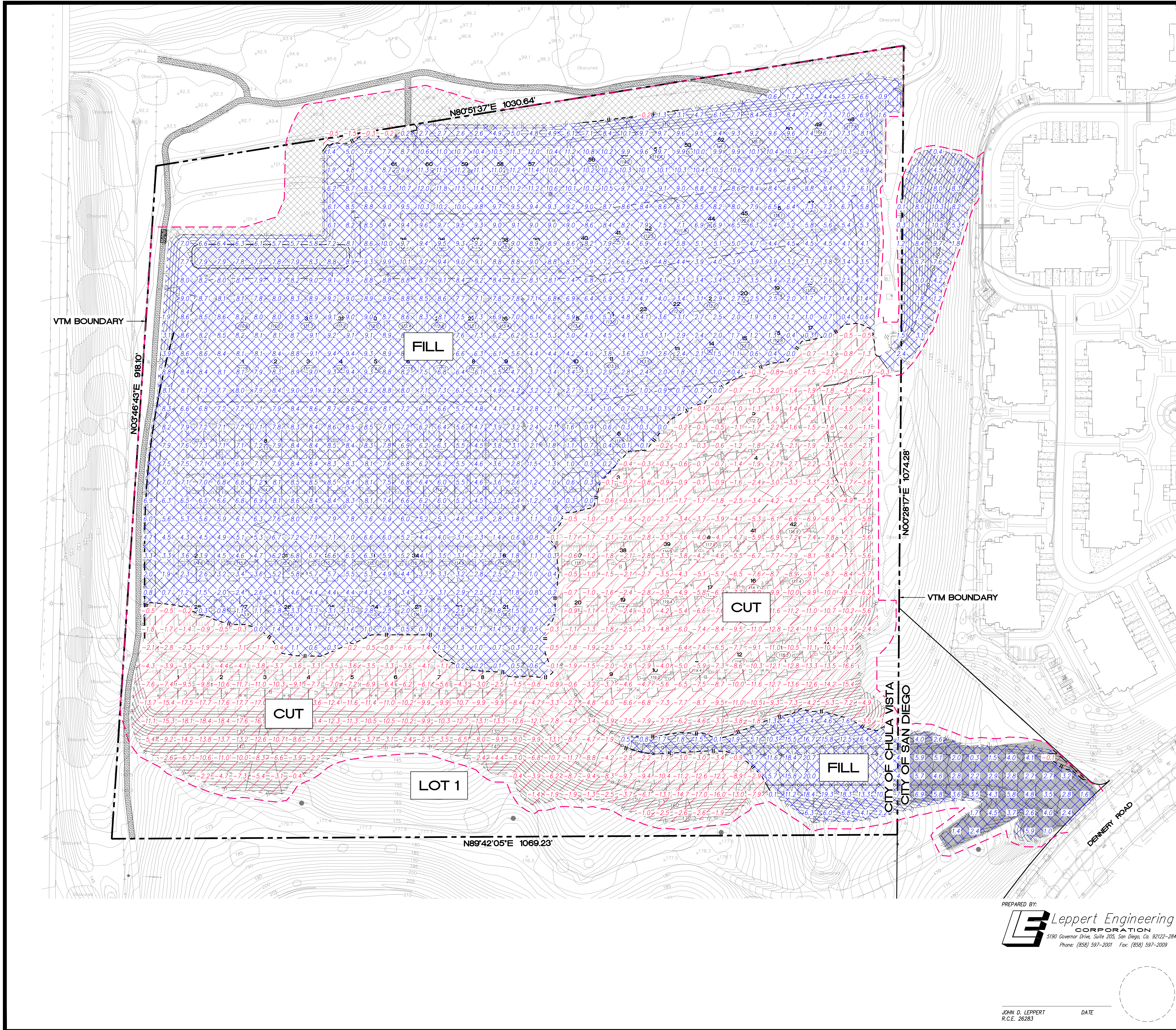
SHEET TITLE:  
SITE CROSS SECTIONS

SHEET 8 OF 20

DEP #

JOHN D. LEPPERT DATE  
R.C.E. 26283





**LEGEND**

DAYLIGHT LINE: - - - - -

CUT / FILL LINE: - - - - -

PROPOSED FILL AREA: [Blue hatched box]

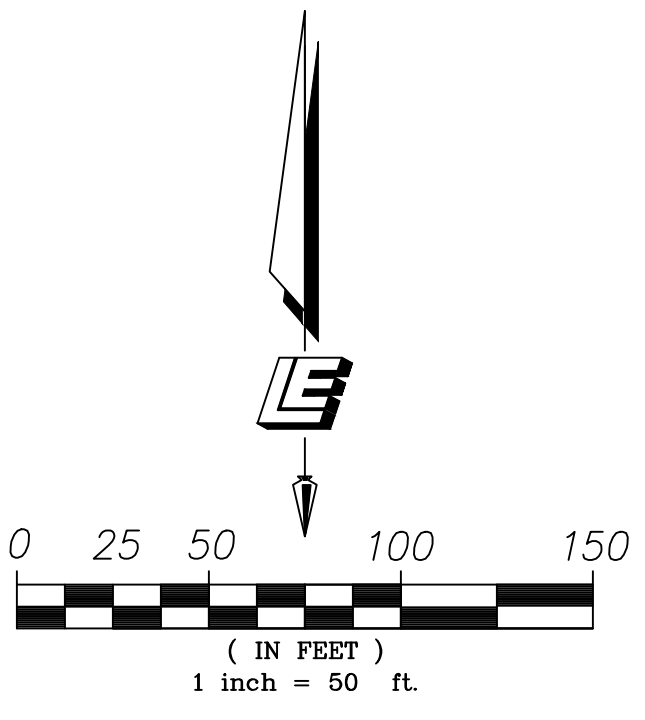
PROPOSED CUT AREA: [Red hatched box]

REMEDIAL GRADING AREA: [Green hatched box]

**GRADING**

- TOTAL AMOUNT OF SITE TO BE GRADED: 21.18 ACRES  
(INCLUDING OFFSITE GRADING)
- PERCENTAGE OF TOTAL SITE GRADED: 82.5% (21.18 AC / 25.66 AC)
- AMOUNT OF SITE WITH 25 PERCENT SLOPES OR GREATER: 4.06 ACRES
- PERCENTAGE OF THE EXISTING SLOPES STEEPER THAN 25% PROPOSED TO BE GRADED: 10.6% (2.76 AC / 25.66 AC)  
NOTE: 0.38 AC IS WITHIN EXISTING MANUFACTURED SLOPES
- PERCENTAGE OF TOTAL SITE WITH 25 PERCENT SLOPES OR GREATER: 15.8% (4.06 AC / 25.66 AC)
- AMOUNT OF CUT: 110,400 CUBIC YARDS
- AMOUNT OF FILL: 133,000 CUBIC YARDS
- MAXIMUM HEIGHT OF FILL(SLOPE(S)): 21 FEET  
MAX. 2:1 SLOPE RATIO
- MAXIMUM HEIGHT OF CUT(SLOPE(S)): 19 FEET  
MAX. 2:1 SLOPE RATIO
- AMOUNT OF IMPORT SOIL: 22,600 CUBIC YARDS
- RETAINING WALLS  
QUANTITY: 8  
MAX. LENGTH: 419 FEET  
MAX. HEIGHT: 24 FEET

NOTE: ADDITIONAL WALLS UNDER 3 FEET IN HEIGHT MAY BE REQUIRED IN RESIDENTIAL PAD AREAS BASED ON FINAL BUILDING PLOTTING.



NAME: LEPPERT ENGINEERING CORPORATION  
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 PHONE: 858-597-2001

PROJECT ADDRESS: NORTH-SIDE OF DENNERY RD BETWEEN REGATTA LANE AND SAND STAR WAY

PROJECT NAME: NAKANO

REVISION 12: \_\_\_\_\_  
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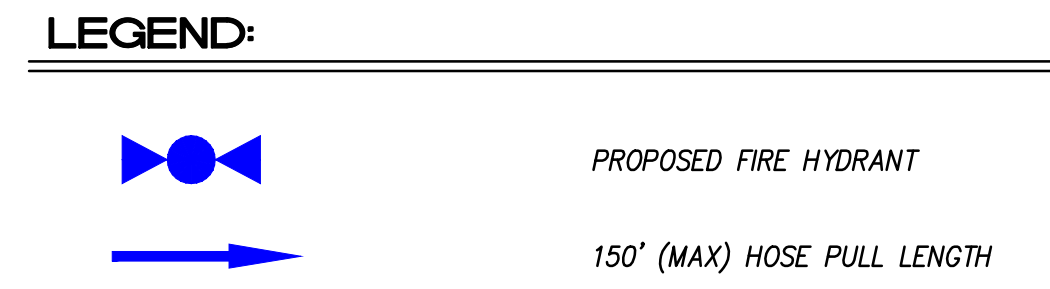
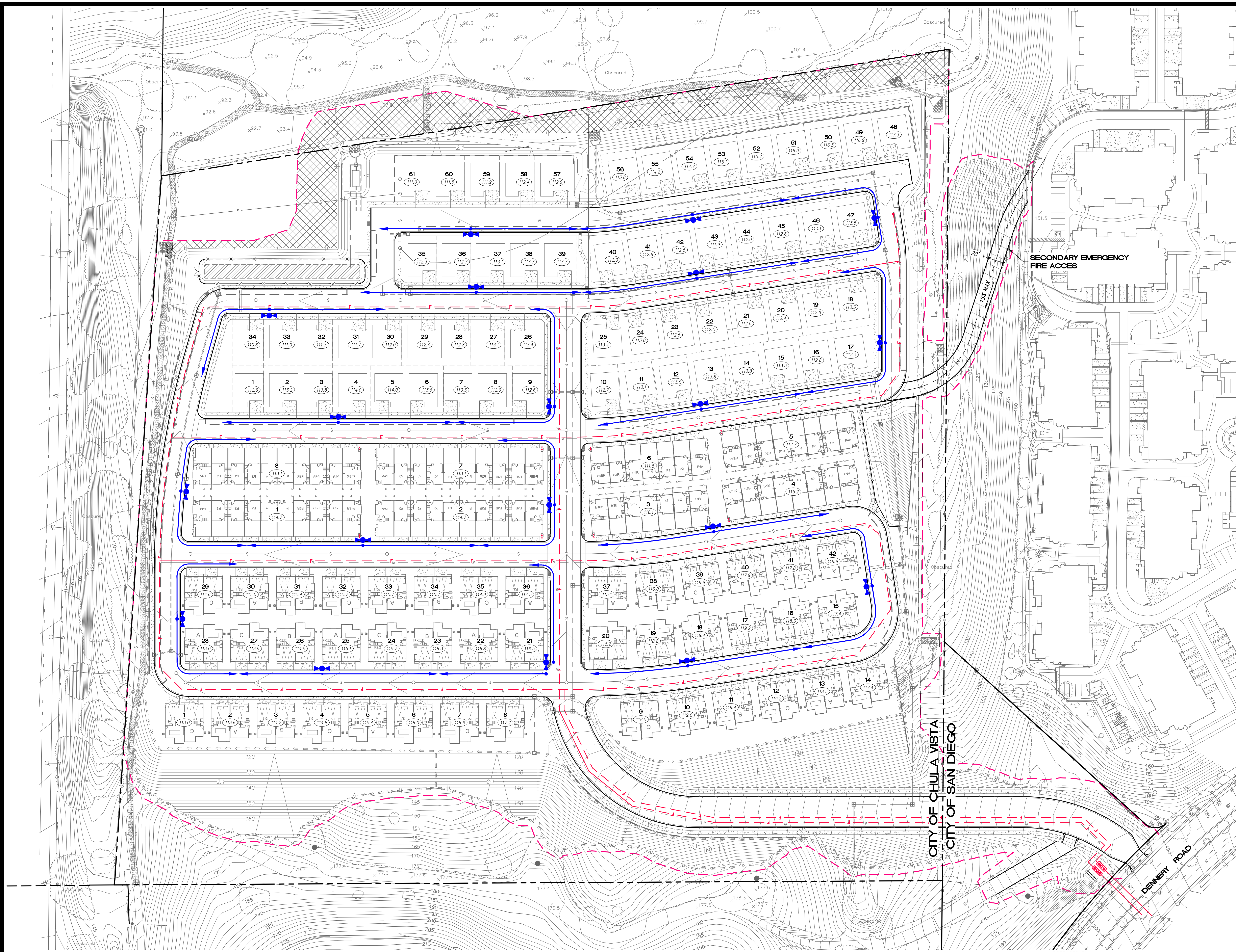


JOHN D. LEPPERT DATE  
 R.C.E. 26283

ORIGINAL DATE: 9/15/2021

SHEET TITLE: EARTHWORK SHEET 9 OF 20

DEP # \_\_\_\_\_



- FIRE NOTES:**
1. COMPLY WITH CVFD CONSTRUCTION SITE POLICY FOR THE COMPLIANCE WITH SAFETY PROVISIONS AS SHOWN ON DETAIL SHEET 11B.
  2. PROVIDE CLEAR SPACE AROUND HYDRANTS AS SPECIFIED ON CVFD FIRE HYDRANT DETAIL PROVIDED ON SHEET 11B.
  3. COMPLY CVFD UG FIRE SERVICE UTILITY REQUIREMENTS PER NOTES PROVIDED ON SHEET 11C.
  4. PHYSICAL PROTECTION OF FIRE HYDRANTS, FIRE DEPARTMENT CONNECTIONS, AND POST INDICATOR VALVES PER WATER SUPPLY BOLLARDS DETAIL PROVIDED ON SHEET 11B.
  5. VEGETATION SHALL BE SELECTED AND MAINTAINED IN SUCH A MANNER AS TO ALLOW IMMEDIATE ACCESS TO ALL HYDRANTS, VALVES, FIRE DEPARTMENT CONNECTIONS, PULL STATIONS, EXTINGUISHERS, SPRINKLER RISERS, ALARM CONTROL PANELS, RESCUE WINDOWS, AND OTHER DEVICES OR AREAS USED FOR FIREFIGHTING PURPOSES. VEGETATION OR BUILDING FEATURES SHALL NOT OBSTRUCT ADDRESS NUMBERS OR INHIBIT THE FUNCTIONING OR ALARM BELLS, HORNS OR STROBES.
  6. ALL BUILDINGS AND SITES UNDERGOING CONSTRUCTION, ALTERATION, OR DEMOLITION SHALL COMPLY WITH THE REQUIREMENTS OF CHAPTER 33 OF THE CFC.
  7. CFC 105.4.4 - CONSTRUCTION DOCUMENTS APPROVED BY THE FIRE CODE OFFICIAL ARE APPROVED WITH THE INTENT THAT SUCH CONSTRUCTION DOCUMENTS COMPLY IN ALL RESPECTS WITH THE CFC. REVIEW AND APPROVAL BY THE FIRE CODE OFFICIAL SHALL NOT RELIEVE THE APPLICANT OF THE RESPONSIBILITY OF COMPLIANCE WITH THIS CODE.
  8. FIRE APPARATUS ACCESS ROADS SHALL BE DESIGNED AND MAINTAINED TO SUPPORT THE IMPOSED LOADS OF FIRE APPARATUS AND SHALL BE SURFACED SO AS TO PROVIDE ALL WEATHER DRIVING CAPABILITIES. CFC 503.2.3.
  9. NO ON STREET PARKING ALLOWED ON ALL PRIVATE DRIVEWAYS AND PRIVATE ALLEYS.
  10. COMPLY WITH CVFD FIRE LANE IDENTIFICATION DETAIL PROVIDED ON SHEET 11B.
  11. PROVIDE AN ILLUMINATED DIRECTORY PER CVFD ILLUMINATED DIRECTORY DETAIL PROVIDED ON SHEET 11B.
  12. SITE PLAN, AS SHOWN, MEETS FIRE ACCESS AND SETBACK REQUIREMENTS FOR BUILDINGS LESS THAN 30' IN HEIGHT. SETBACK AND ACCESS REQUIREMENTS TO BE REVIEWED AGAIN DURING BUILDING PERMIT PROCESS TO ENSURE THAT REQUIREMENTS CONTINUE TO BE MET FOR BOTH RESIDENTIAL AND COMMERCIAL SITES.

**FIRE ACCESS**  
SEE SHEETS 11 AND 11A FOR FIRE APPARATUS ACCESS PATHS

CITY OF CHULA VISTA  
CITY OF SAN DIEGO

SECONDARY EMERGENCY  
FIRE ACCESS

NAME: CIVIL SENSE, INC.  
ADDRESS: 13475 DANIELSON STREET, SUITE 150  
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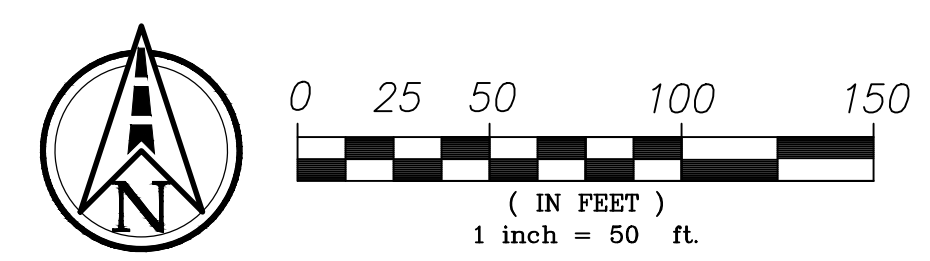
PROJECT NAME:  
NAKANO

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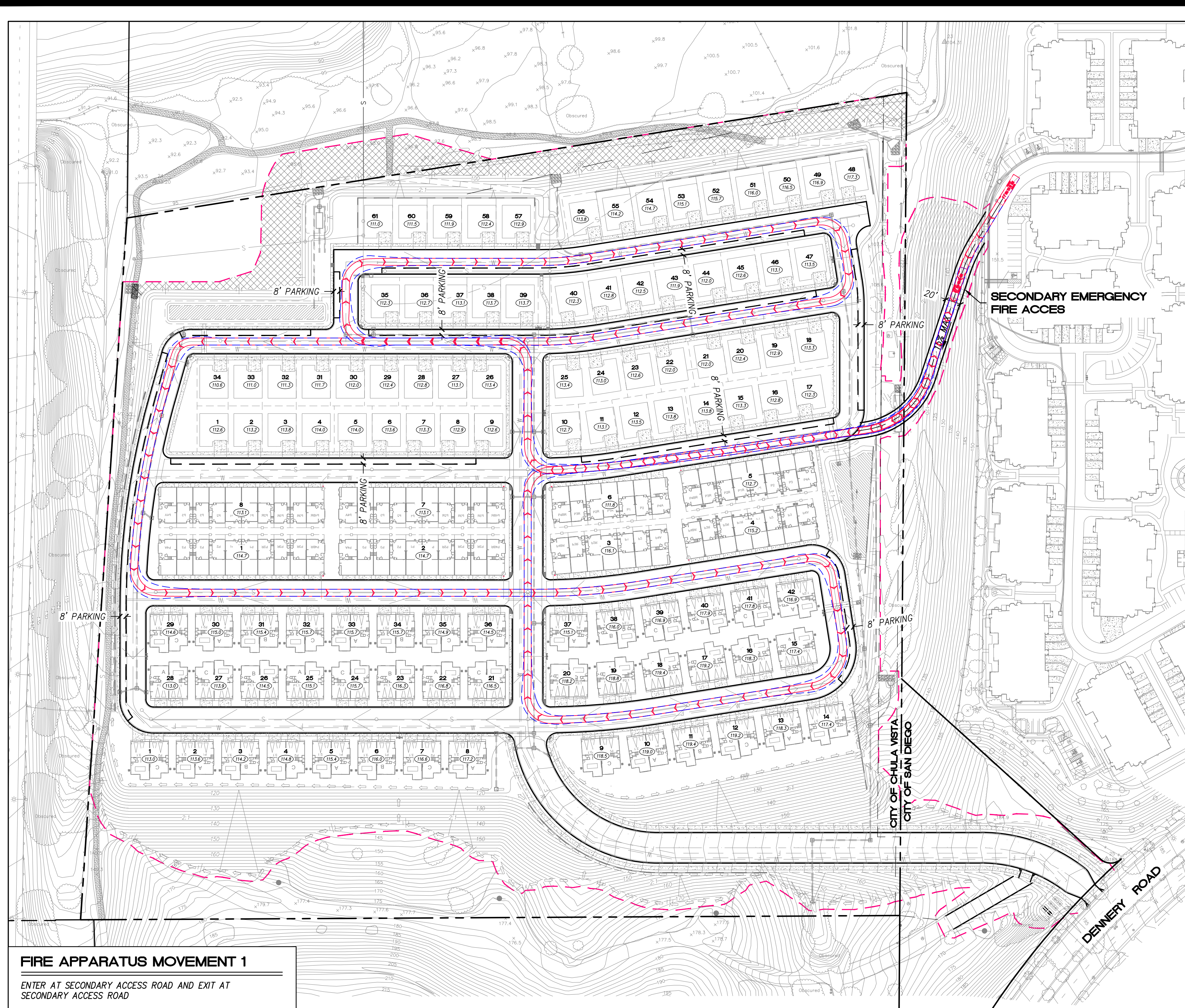
ORIGINAL DATE: 9/15/2021

SHEET TITLE:  
FIRE - HYDRANT PLAN  
AND NOTES

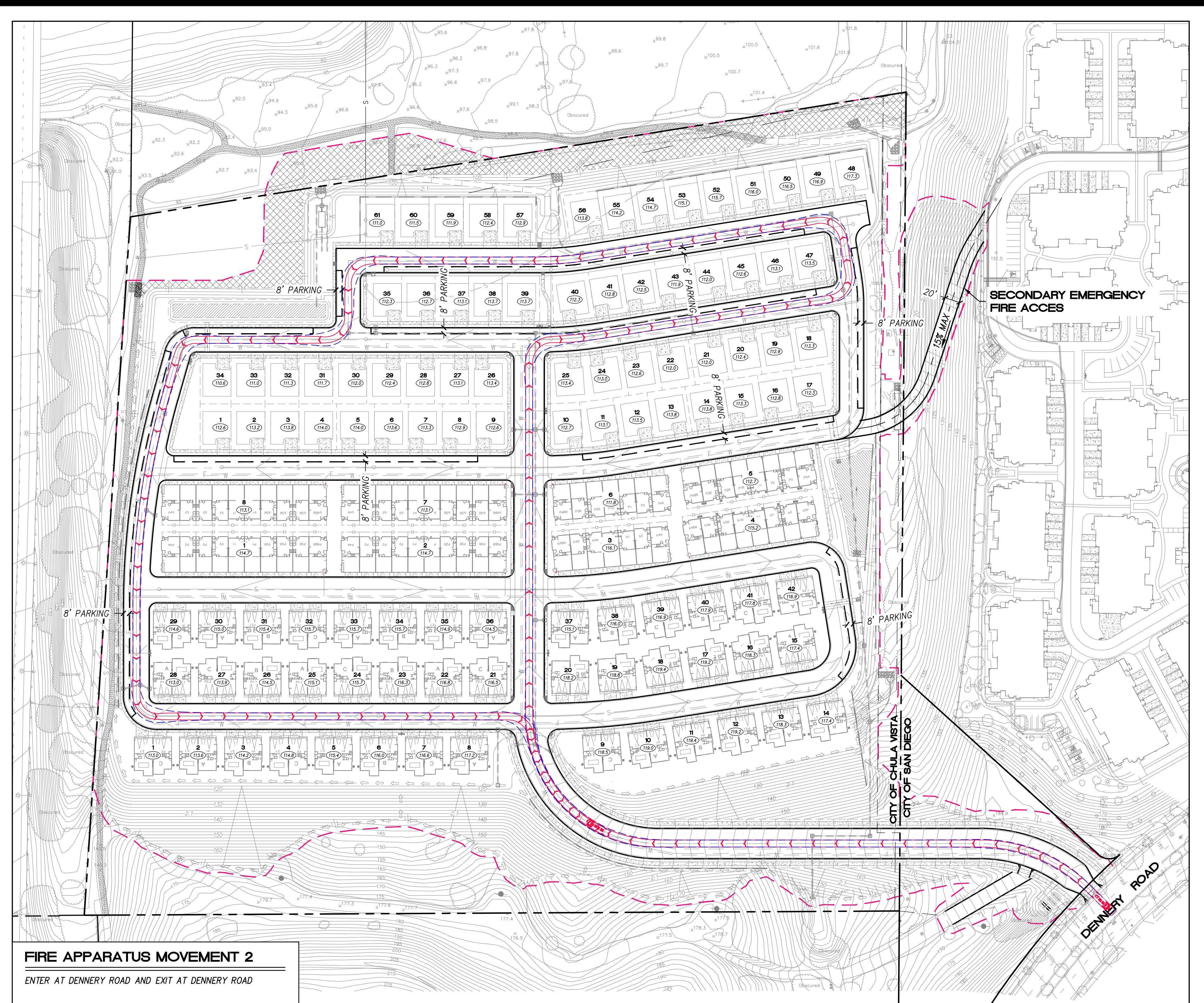
SHEET 10 OF 20  
DEP #



JOHN D. LEPPERT DATE  
R.C.E. 26283



**FIRE APPARATUS MOVEMENT 1**  
 ENTER AT SECONDARY ACCESS ROAD AND EXIT AT SECONDARY ACCESS ROAD



**FIRE APPARATUS MOVEMENT 2**  
 ENTER AT DENNERY ROAD AND EXIT AT DENNERY ROAD

**LEGEND:**



**FIRE NOTES:**  
 SEE SHEET 10 FOR FIRE NOTES.

PREPARED BY:  
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 NORTHSIDE OF DENNERY RD BETWEEN  
 REGATTA LANE AND SAND STAR WAY

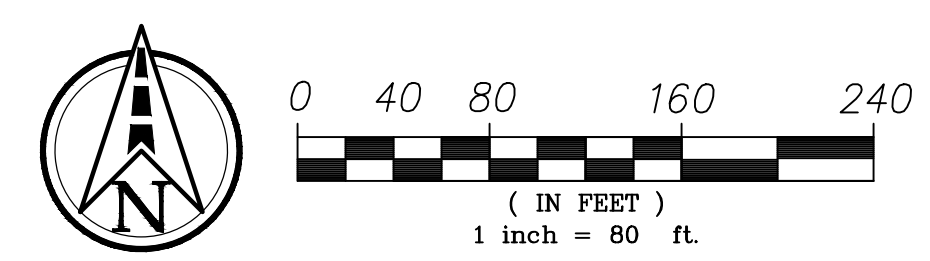
PROJECT NAME:  
 NAKANO

ORIGINAL DATE: 9/15/2021

SHEET TITLE:  
 FIRE - APPARATUS ACCESS  
 PATHS AND NOTES

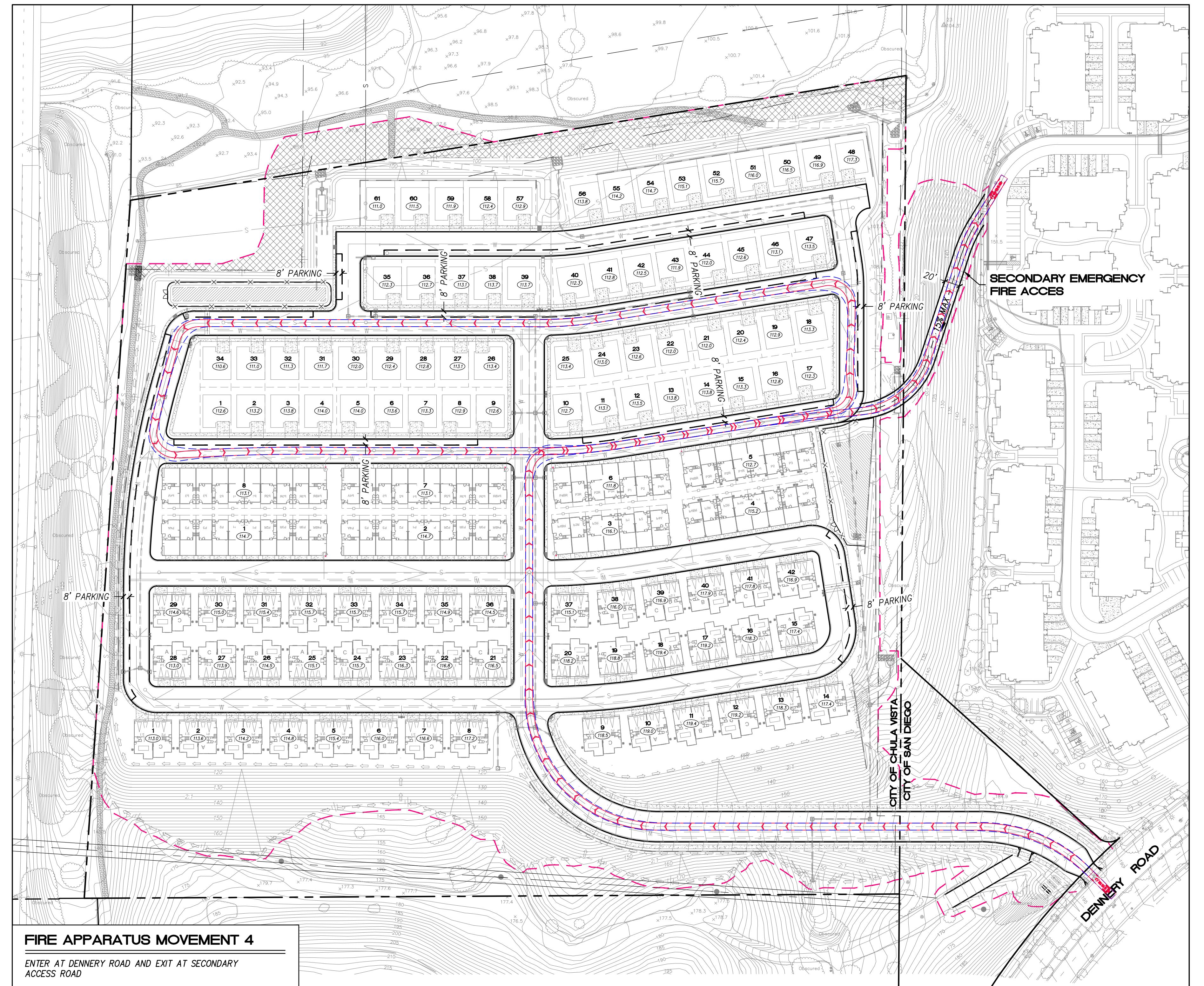
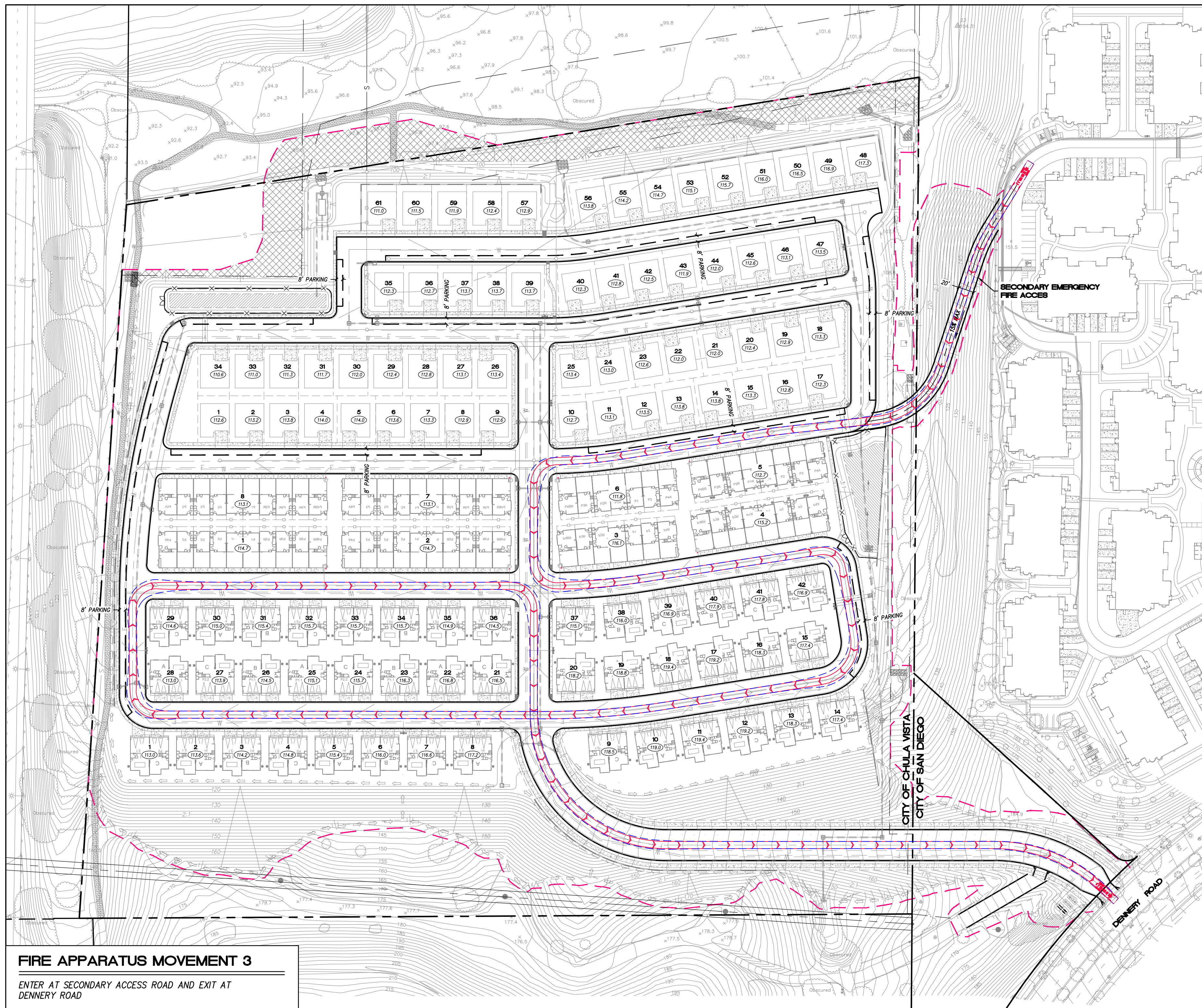
SHEET **11** OF **20**

DEP # \_\_\_\_\_



JOHN D. LEPPERT  
 R.C.E. 26283

DATE \_\_\_\_\_



**LEGEND:**



**FIRE NOTES:**  
 SEE SHEET 10 FOR FIRE NOTES.

PREPARED BY:  
**Leppert Engineering**  
 CORPORATION  
 5190 Governor Drive, Suite 205, San Diego, Ca. 92122-2848  
 Phone: (858) 597-2001 Fax: (858) 597-2009

NAME: CIVIL SENSE, INC.  
 ADDRESS: 13475 DANIELSON STREET, SUITE 150  
 POMAY, CA 92128  
 PHONE: 858-843-4253

PROJECT ADDRESS:  
 NORTHSIDE OF DENNERLY RD BETWEEN  
 REGATTA LANE AND SAND STAR WAY

PROJECT NAME:  
 NAKANO

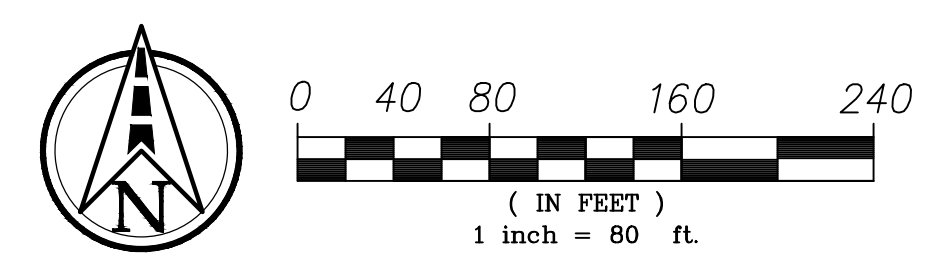
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REVISION 5:	6/09/2023
REVISION 4:	2/24/2023
REVISION 3:	11/04/2022
REVISION 2:	6/24/2022
REVISION 1:	2/17/2022

ORIGINAL DATE: 9/15/2021

SHEET TITLE:  
 FIRE - APPARATUS ACCESS  
 PATHS AND NOTES

SHEET **11A** OF **20**

DEP # \_\_\_\_\_



JOHN D. LEPPERT  
 R.C.E. 26283

DATE \_\_\_\_\_



Construction Site Policy for Compliance with Fire Safety Provisions

California has adopted a statewide building code, codified in title 24 of the California Code of Regulations. The code imposes a mandatory duty on local jurisdictions to adopt rules and regulations which include the same building code requirements as those contained in the statewide building codes.

California Fire Code chapters 5 and 33 establishes fire safety standards for sites during the construction phase. Section 3310 requires that access roads sufficient to accommodate fire department apparatus be established and maintained.

- Water Supply means a fully operational and tested fire service utility system serving the permanent hydrant system.
Access means a fully improved street section (private or public); a first layer of asphalt is also acceptable to allow for access to within 150 feet of all combustibles.
When approved by the Fire Marshal, temporary access roadways and temporary water services may be substituted for permanent road and water supplies.

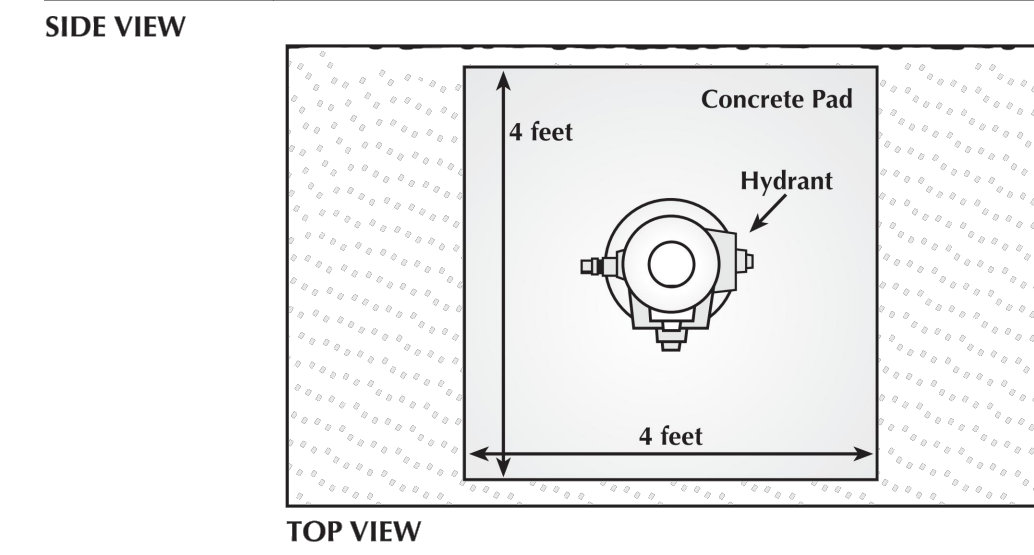
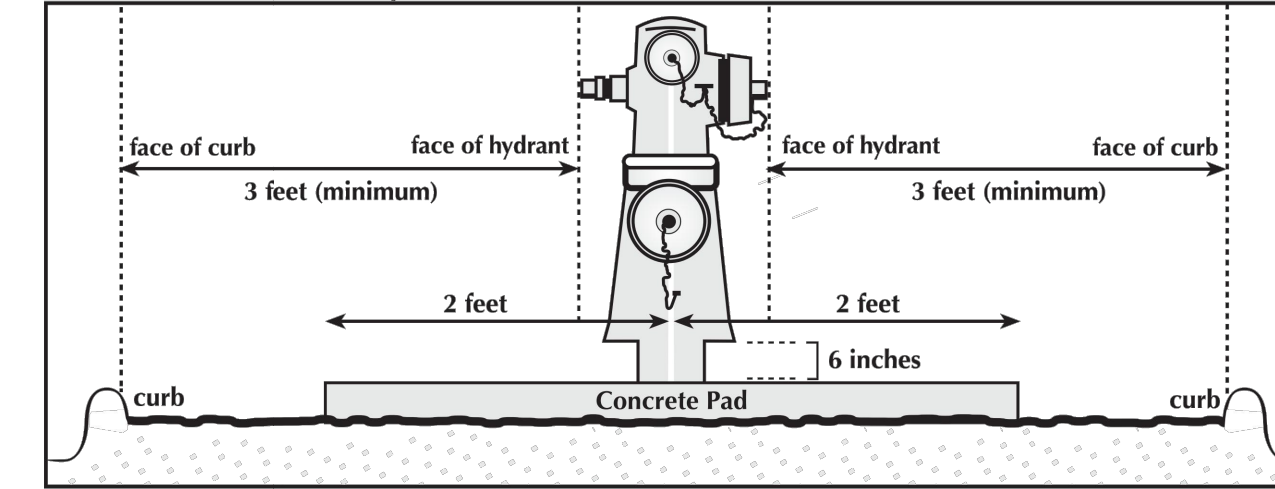
Requests for temporary roadways must be submitted in writing for review and approval by the Fire Marshal. Requests must include a site plan, geotechnical information, and a time frame indicating how long the temporary roadways will be in place.

Requests to install temporary water services must be submitted in writing for review and approval by the Fire Marshal. Requests must include a site plan, and a time frame indicating how long the temporary water services will be in place.

Street Signs - California Fire Code section 505.2 requires street signs at all construction sites. Street signs may be permanent signs as approved for installation by City staff or temporary signs approved by the Fire Marshal.



Fire Hydrant Detail



Hydrant Specifications

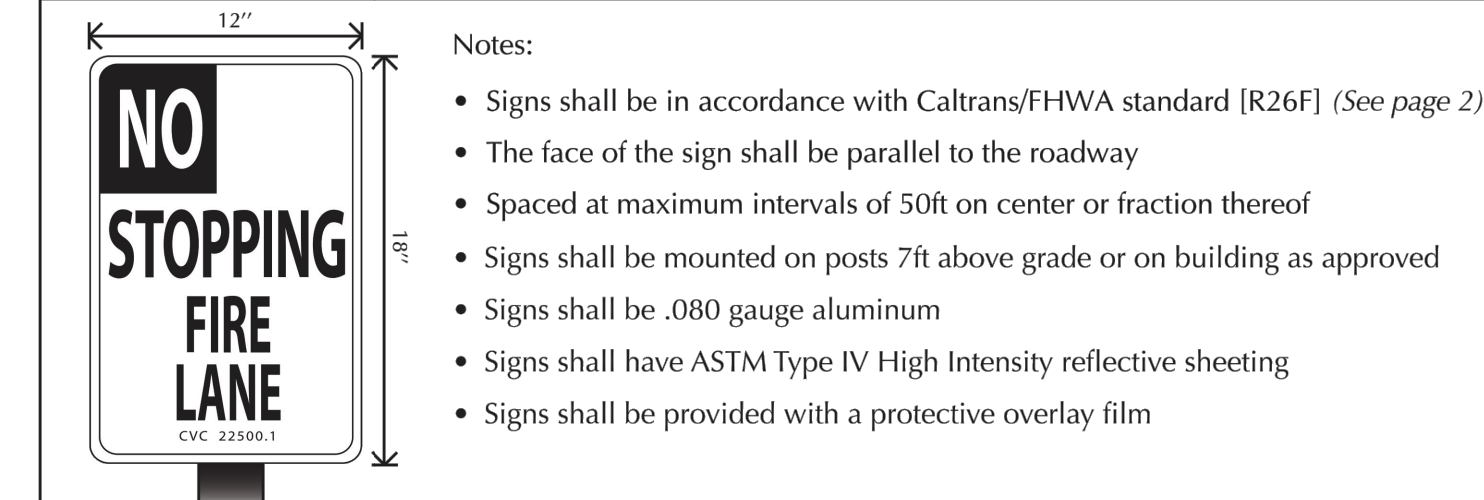
- 1. Measurements MUST be exact and will be subject to a field inspection
2. Residential and commercial hydrants must have one 4 inch port and two 2 1/2 inch ports with national standard threads (NST)
3. Industrial fire hydrants must have two 4 inch port and one 2 1/2 inch port with NST
4. Painted (OSHA) yellow
5. Must have concrete pad adhering to the above specifications
6. A blue reflective marker must be in place to identify fire hydrant location
7. Concrete pad must be a minimum of 4 inches thick
8. Base of hydrant must be 6 inches from concrete pad
9. Provide 3-foot (minimum) from the face of the hydrant to the face of the curb (bollards are required if distance is not met)



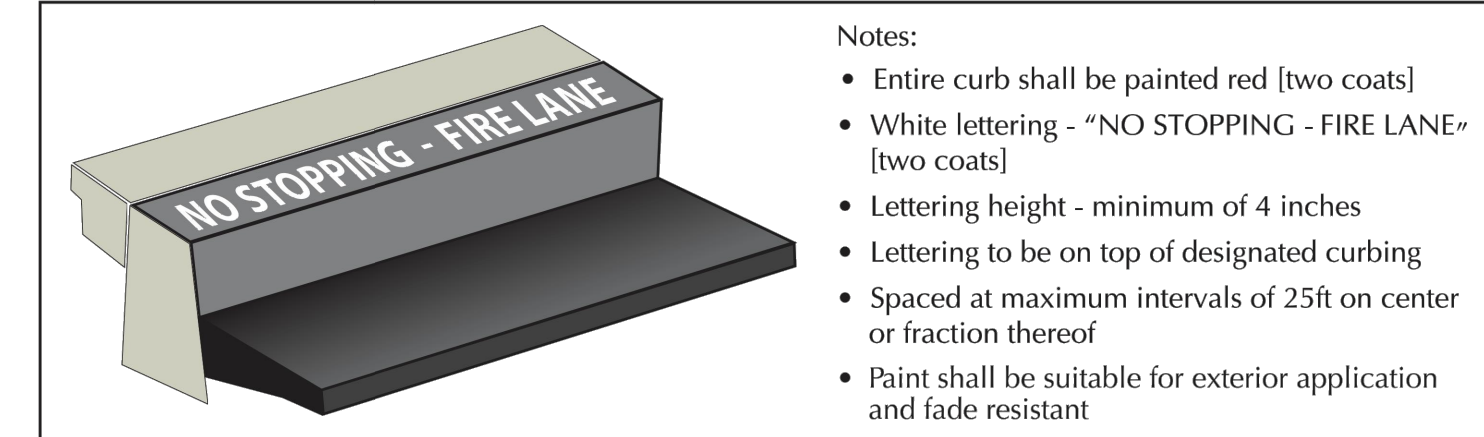
FIRE LANE IDENTIFICATION

Fire Lanes shall be identified in accordance with one of the details below:

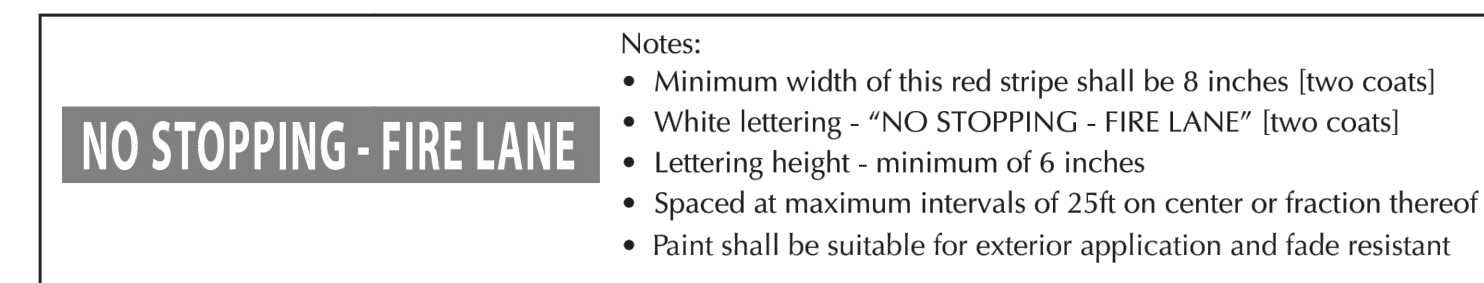
Detail A - No Stopping Sign



Detail B - Curb Painting - Both sides of fire lane unless otherwise approved

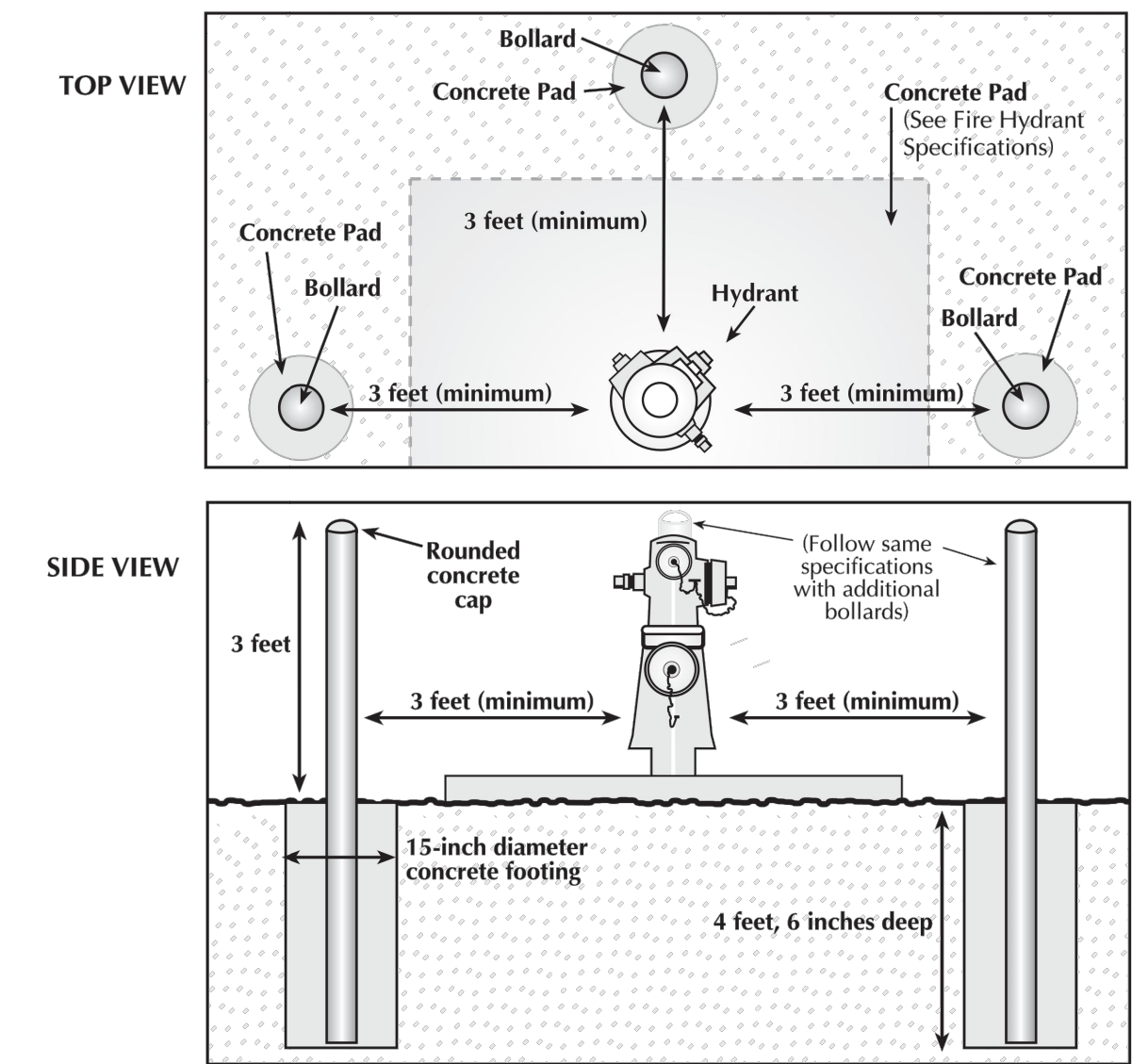


Detail C - Striping (with no curb) - Both sides of fire lane unless otherwise approved



Water Supply - Bollards

Fire Hydrants / Fire Dept. Connections / Post Indicating Valves



Bollard Specifications

- 1. Measurements MUST be exact and will be subject to a field inspection
2. Bollards must be 4-inch diameter galvanized steel post (1/4" wall) filled with concrete
3. A blue reflective marker must be in place to identify fire hydrant location
4. Bollards must be coated using safety yellow paint.



NO STOPPING SIGN Signs shall be in accordance with Caltrans/FHWA standard [R26F]

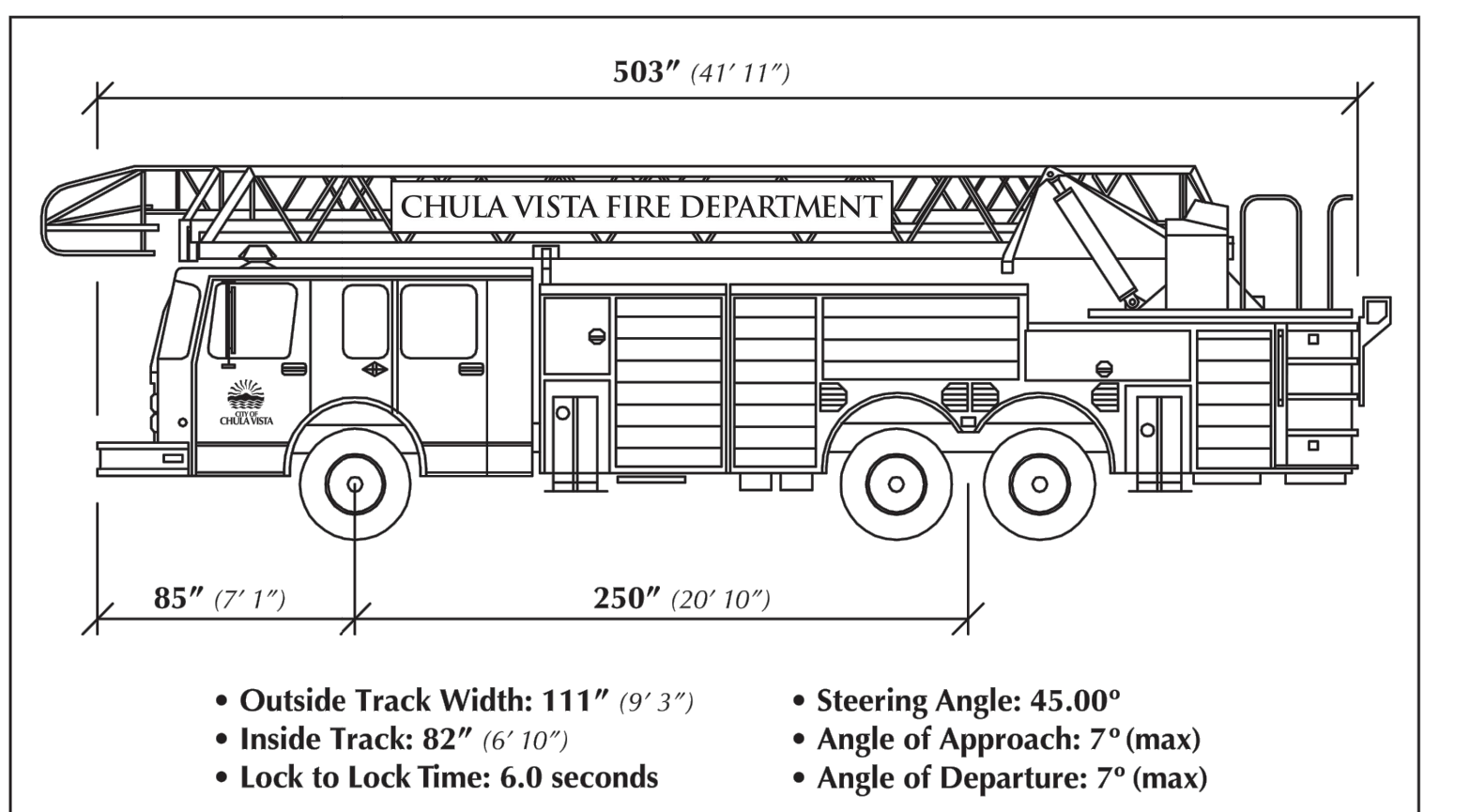


Table with columns: SIGN, DIMENSIONS (INCHES), A, B, C, D, E, F, G, H, J, K, L, M. Rows: STANDARD, SPECIAL.



AUTO TURN DATA: Ladder Truck

This design apparatus, along with data points, shall be used as the basis for roadway and parking lot geometrics.



Notes:

- 1. A Chula Vista Fire Department Maneuverability Analysis shall be performed by a licensed professional engineer to verify the turning capabilities of this design apparatus.
2. Paths must illustrate the full vehicle swept path (including wheel tracks and wall-to-wall vehicle overhang sweep) and must indicate a clear, unobstructed travel around the site without impact/collisions to buildings, curbs, landscaping, parking spaces, vehicles, etc.
3. Design speed (no less than 5mph; if speed varies indicate points of change by notes/tables).
4. The Chula Vista Fire Department Maneuverability Analysis shall be used to create an exhibit, which shall be submitted for review and approval.
5. Maneuverability Analysis shall also be designed to and confirm that any angle of approach/departure does not exceed 7 degrees.
6. This detail shall be reproduced on the submitted exhibit.



Table with columns: NAME, ADDRESS, PHONE, PROJECT ADDRESS, PROJECT NAME, REVISION 1-12.

Table with columns: ORIGINAL DATE, SHEET TITLE, SHEET, OF, DEP #.



UNDERGROUND FIRE SERVICE UTILITY REQUIREMENTS

SCOPE:  
1. This standard is applicable to all private underground piping for fire hydrants, fire sprinkler supply lines, and/or other underground fire and life safety appearances within the City of Chula Vista. This standard is not applicable to underground piping in the public right-of-way and for utilities serving fire sprinkler systems designed in accordance with NFPA 13D. The codes and standards listed herein provide the minimum requirements for the design, installation, testing, and inspection of Underground Fire Service Utility Systems in the City of Chula Vista:  
a. City of Chula Vista Fire Prevention Details  
b. California Fire Code, 2019 Edition  
c. California Building Code, 2019 Edition  
d. NFPA 13, 2016 Edition  
e. NFPA 14, 2016 Edition  
f. NFPA 24, 2016 Edition  
g. Water District Having Jurisdiction requirements  
h. San Diego Water Agency Standards (WAS)  
i. American Water Works Association (AWWA)

PERMITS:  
2. Underground Fire Service Utilities are required to be included as part of the City of Chula Vista:  
a. Development Services Department (DSD) Private Improvement Permit Plans, or  
b. DSD Building Permit Plans.  
*Exception: Emergency repair of an existing Underground Fire Service Utility System, replacing like for like appurtenances, may start immediately. Permit plans are submitted only to the Chula Vista Fire Department (CVFD) within 48 hours from the start of the repair work.*

3. Note: Applicants will need to apply for a DSD Private Improvement Permit if:  
a. Applying for a residential development (e.g., SFDs, Multi-family) where the streets are private,  
b. Multi-building commercial developments, or  
c. Site improvements are to commence at the time of grading, which is before a building permit.

4. Please note that if the applicant submits for a DSD Private Improvement Permit, Underground Fire Service Utilities shall be included as part of this submittal. If the project doesn't submit for a DSD Private Improvement Permit, Underground Fire Service Utilities are then required to be included with a DSD Building Permit.

5. In concert with the DSD Permits mentioned above, a Fire Safety Engineering Permit is also required. City staff will create this permit in concert with the above and charge fees in accordance with the City of Chula Vista's Master Fee Schedule. These fees are required to be paid in addition to the DSD Private Improvement Permit and/or DSD Building Permit fees, at the time of application.

6. Complete plans for underground piping and components shall be submitted for approval in advance of installation.

DESIGNER & INSTALLER:  
7. Underground fire protection plans shall be designed by a licensed contractor (i.e., A, C-16, C-34 or C-36) or by a registered professional engineer (e.g., Fire Protection Engineer), licensed by the State of California (Board of Professional Engineers). All copies and sheets of the plans shall be stamped and signed by the licensed individuals.

8. Class A, C-16, C-34, and C-36 contractors can only design underground fire service utility projects if their staff performs the entire installation without subcontracting installation work.

9. All design professionals and installing contractors shall also have and demonstrate proof of a City of Chula Vista Business License.

PLANS:  
Plans must include the following information:  
10. Legend.

11. Applicable codes and standards used for the system design.

12. Project Name.

13. Owner Name.

14. Design professional name, telephone number, address, and CA State registered professional engineer number.

15. Contractor's name, telephone number, address, and CA State contractor's license number and classification (if known/applicable).

16. Vicinity map indicating major cross streets adjacent to project.

17. Legal address of all buildings.

18. Curb lines, sidewalks, alleys, driveways, walls, fences, property lines, vehicle parking layouts (indicate whether or not parking is covered or uncovered), power poles, adjacent structures, all on site buildings, any other items which are pertinent to Fire Hydrant, Post Indicating Valve (PIV), and Fire Department Connection (FDC) placement.

19. Point of compass.

20. Size and location of all water supplies and all public Fire Hydrants within 500 feet of the site.

21. Respective Water Authority Pressure Zones.

22. The following items that pertain to private fire service mains:  
a. Size  
b. Length  
c. Stationing  
d. Weight  
e. Material  
f. Pressure class  
g. Point of connection to public main  
h. Sizes, types, and locations of fittings, valves, valve indicators, regulators, and meters  
i. Depth at which the top of the pipe is laid below grade  
j. Sectional view of typical trench  
k. Method/type of pipe/appurtenance restraint

23. The plan submittal shall include the manufacturer's installation instructions for any specially listed equipment, including descriptions, applications, and limitations for any devices, piping, or fittings.

24. Project Data. Project Date table shall include:  
a. Required fire flow provided by CVFD

b. Total square footage per building  
c. CBC construction type per building  
d. CBC occupancy type per building  
e. Building heights  
f. Number of stories  
g. Type of sprinkler system provided, and if any reductions in fire flow are being used (25% max.)  
h. Number of hydrants installed

25. Provide a summary pipe length data table for Underground Fire Service Utility piping on the top sheet.

26. Complete listings and manufacturers technical data sheets for all system materials shall be included with all Underground Fire Service Utility submittals. All system materials shall be U.L./F.M. listed for fire service and approved by the Fire Prevention Division prior to installation.

HYDRAULIC ANALYSIS:  
27. A hydraulic water flow analysis shall accompany the plans. This analysis shall show the actual flow and pressure for all Fire Hydrants. The Hazen Williams Formula shall be used in the determination of these flows and pressures. The analysis shall show that the required fire flow is available at the Fire Hydrants.

28. The system shall be designed and sized such that the maximum velocity in the pipe shall not exceed the velocity allowed by the pipe type listing.

29. Calculations shall extend to the point at which the water supply data was determined.

30. Water supply data is required to accompany hydraulic water flow analysis. An official water flow letter can be obtained from the respective water authority. The water flow requirements shall be based upon the currently adopted California Fire Code. The date of the water flow test shall be no older than twelve (12) months from the time of the plan submittal. Per CVFD Ordinance, the maximum fire flow reduction for an approved automatic fire sprinkler system is 25%.

RESTRAINT METHOD:  
31. Underground Fire Service Utilities shall be restrained against movement at changes in direction and as required in other locations. The two approved methods are Thrust Blocks or Mechanical Restraint, which shall be designed and installed in accordance with NFPA 24, manufacturers recommendations, and product listings. Additional requirements related to Thrust Blocks and Mechanical Restraints are listed below.

THRUST BLOCK RESTRAINT:  
32. Calculations shall be submitted, and the resulting dimensions of thrust blocks shall be shown on the plans. Soil bearing strength shall be substantiated, via a geotechnical report, and shall be noted within the calculations. The Chula Vista Fire Department's Thrust Block example calculations can be used if the design Engineer substantiates that the example Thrust Blocks are more conservative based upon known soil bearing capacity.

33. Thrust blocks shall be installed on unrestrained pressure pipelines at all tees, wyes, reducers, horizontal bends, ascending vertical bends, and dead-ends, and shall bear directly against fittings and firm, wetted, undisturbed soil. Thrust blocks shall be located so that bearing areas on both fittings and soil are centered along the direction of thrust. For tees and wyes, the direction of thrust is along a line directly opposite the side outlet. For bends, the direction of thrust is along a line bisecting the outside angle formed by the adjacent pipe segments. For reducers, the direction of thrust is along the pipeline from the large end to the small end of the reducer. For dead-ends, including in-line valves, the direction of thrust is along the pipeline.

34. Anchor blocks shall be located at all unrestrained descending vertical bends. Thrust blocks are not suited for such applications because excavation necessarily disturbs soil in the direction of thrust. Anchor blocks rely on the weight of the concrete used to restrain thrust. Anchor blocks must include a minimum two (2) number four (4#) steel reinforcing bars with 2-inch minimum concrete embedment as directed design Engineer.

35. Results of calculations for all Thrust Blocks and Anchor Blocks shall be individually noted in the plan presented in the form of a clear and complete "Thrust/Anchor Block Table." Thrust Block and Anchor Block information shall include pipe station, type of block, test pressure, total thrust, assumed or tested soil capacity, and area or volume of block(s) required.

36. All applications shall use a minimum of Class 560-C-3250 concrete (Cast-in-place piles), unless otherwise directed by the design Engineer.

37. When determining thrust at fittings, in the calculation of concrete blocks, a thrust pressure of 200psi shall be used.

MECHANICAL RESTRAINT:  
38. When utilizing Restrained Joint Systems, one of the following shall be used: (1) Locking mechanical or push-on joints, (2) Mechanical joints utilizing setscrew retainer gans, (3) Bolted flange joints, (4) Pipe clamps and tie rods, or (5) Other approved methods or devices.

FIRE DEPARTMENT CONNECTIONS/POST INDICATING VALVES/BACKFLOWS:

39. The Chula Vista Fire Department requires separate free-standing PIVs and FDCs for all structures protected by fire sprinkler systems. *Exception: CVFD allows the configurations below, based upon the specific project restrictions. Please consult with your Fire Department Inspector / Plan Reviewer for additional details and approvals.*  
a. Multi-building residential projects, protected by residential fire sprinkler systems, where real estate is limited and PIVs and FDCs are considered impractical:  
i. A separate PIV and FDC is not required.  
ii. FDC is allowed to be located on the building.  
iii. When the FDC is located on the building, the PIV shall be eliminated and replaced by a control and check valve on the sprinkler riser.

b. Single-building commercial projects, protected by commercial fire sprinkler systems, where there are no on-site Fire Hydrants and/or other appurtenances served:  
i. A separate PIV and FDC is not required.  
ii. FDC may be located as either part of the Backflow Assembly or on the building.  
iii. When the FDC is located on the Backflow Assembly or building, the PIV shall be eliminated and replaced by a control and check valve on the sprinkler riser.

40. Notwithstanding the above, FDCs shall not be located on any Backflow Assembly or building unless approved by the Fire Marshal.

41. FDCs shall be equipped with listed caps. All protective caps shall be of breakable cast iron. Plastic caps are not permitted.

42. When PIVs and FDCs are provided in accordance with CVFD's standard detail an additional Check Valve per sprinkler lateral is required. The Check Valve shall be located at either: (1) the piping between the Post Indicator Valve and the Fire Department Connection, or (2) the supply piping serving the Post Indicating Valve. See FDC/PIV and Riser Sweep Detail.

43. PIVs and FDCs shall be physically secured to an underground concrete anchor block via restraining rods, approved mechanical restraints or restrained back to the next fitting.

44. PIVs and FDCs shall be painted red: Rust-oleum safety red #2163 or equivalent.

45. PIVs and FDCs shall be set so that the top of each is 36 in to 44 in above final grade.

46. PIVs and FDCs shall incorporate a concrete pad.

47. PIVs and FDCs shall have a sign to indicate what buildings they serve.

48. PIVs and Backflow Devices shall be provided with a breakaway security lock. Keys shall be kept in the Knox Box/Vault.

49. PIVs and Backflow Devices shall be installed with a supervisory switch, which sounds a supervisory alarm at a U.L. listed central receiving station (central station monitoring for certified system and central station remote service for non-certified monitoring systems).

FIRE HYDRANTS:

50. Fire Hydrants shall not be under the control of PIVs controlling Automatic Fire Sprinkler Systems.

51. Fire Hydrants shall not be subject to pressure supplied by way of a FDC.

52. Fire Hydrant sizes:  
a. Residential and Commercial: One (1) – four inch (4") x Two (2) – two and one half inch (2 1/2")  
b. Industrial: Two (2) – four-inch (4") x One (1) – two and one half inch (2 1/2")

53. Wet-barrel Fire Hydrants shall generally be used for pressures up to two hundred (200) psi. System pressures up to and including one hundred fifty (150) psi require standard Wet-barrel Fire Hydrants, and pressures up to two hundred (200) psi require high-pressure Wet-barrel Fire Hydrants.

54. Fire Hydrant number and spacing shall be derived from CFC Table C102.1, Required Number and Spacing for Fire Hydrants.

55. Fire Hydrants require breakaway spools, which shall be set within the concrete pad. Break off groove, maximum of two, shall terminate above the pad.

56. Fire Hydrant gate valves shall be provided on the lateral in a road box at ten (10) feet from the Fire Hydrant.

57. Blue reflective markers shall be installed to identify location of Fire Hydrants. These markers shall be visible from both directions of vehicle travel. On undivided roads, markers will be placed one foot from centerline in the direction of the fire appliance.

ADDITIONAL REQUIREMENTS:

58. Regardless of hydraulic calculations, two points of connections to the public main are required when the system serves three (3) or more Fire Hydrants. Distribution must be configured to provide at least 50 percent of the required fire flow in case of a single break.

59. Underground lateral supplies for Fire Sprinkler Systems shall be a minimum of 4 inches.

*Exception: Underground fire sprinkler laterals serving NFPA 13R systems shall comply with one of the following designs based upon the parameters described.*  
a. The system lateral design shall comply with this document's requirements when:  
i. Serving more than four group R-2 buildings and/or  
ii. The FDC is located between the city supply and sprinkler riser check valve.  
b. The system lateral design shall comply with NFPA 13R, and the California Plumbing Code (CPC) or NFPA 24 when:  
i. Serving four or less group R2 buildings, and  
ii. The FDC is located downstream of the sprinkler system riser check valve, and  
iii. There are no fire hydrants served by the same system lateral.

60. Fire Sprinkler System laterals shall terminate inside of the building. Consult with your Fire Inspector / Plan Reviewer for exceptions.

61. Automatic Fire Sprinkler System lateral transition fittings installed under the building shall be a UL listed one-piece solid sweep In-Building Riser.

62. Underground lateral supplies for Fire Hydrants shall be a minimum of 6 inches.

63. All underground piping shall be per AWWA C900-16; in addition, piping shall be a minimum of DR18/Pressure Class 235 or have a dimension ratio/higher pressure class per the design Engineer.

64. When public water supply pressure exceeds 150psi (static), a pressure reducing device shall be added to the backflow prevention device and set/adjusted to 150psi. Check with Water Authority Having Jurisdiction for specific requirements.

65. Tracer Wire is required for all Underground Fire Service Utilities.  
a. Wire shall be #14 AWG solid copper UF B type wire with cross-linked polyethylene insulation.  
b. The insulation shall be white or yellow in color.  
c. Wire splices shall be accomplished using a direct bury silicone-filled capsule tube with standard wire nut or silicone-filled wire nut connectors of the appropriate size.  
d. Tracer Wires shall run continuously along the entire pipe length and be secured to the pipe at 6' intervals with plastic adhesive tape (or alternate).  
e. Tracer Wire access port shall be provided with the concrete splash pad of all Fire Hydrants and at the Fire Sprinkler System Riser.  
f. Wire shall extend into the access port and shall terminate with a coiled 24" length of wire.

66. Warning/Identification Tape is required for all Underground Fire Service Utilities.  
a. Tape's printed message shall be, Caution: Waterline Buried Below (in black ink).  
b. Tape color shall be Blue.  
c. Tape shall be a minimum of 6" wide and 0.004" thick.  
d. Tape shall be inert, non-metallic plastic film that is non degrading and puncture resistant.  
e. Tape shall be placed 12" inches above the pipe with the printed side up.

67. On site Fire Hydrants, PIVs, and FDCs shall be located no less than 3 feet behind the face of a compliant curb and no further than 5 feet behind the face of curb. When no curb is provided, Bollards shall be provided.

68. The design Engineer shall confirm piping wall thickness where there are unusual external/internal conditions. If applicable, trench loads shall consider both prism and live loads.

69. Chula Vista Fire Department maintains up-to-date policies, construction details, and fee schedules. Use the link below to access additional Underground Fire Service Utility items:  
<https://www.chulavistaca.gov/departments/fire-department/about-cvfd/fire-prevention/forms-details>

INSPECTIONS:

70. The City of Chula Vista Fire Prevention Division will require the following inspections and tests at a minimum (some inspections may be combined):  
a. Components  
b. Thrust block pre-pour/mechanical restraint  
c. Trench and backfill  
d. Tracer wire and continuity test  
e. Underground hydrostatic test  
f. Underground final  
g. Underground final

71. CVFD Field Inspection Record shall be kept on the project site at all times.

72. A completed "Contractors Material & Test Certificate for Underground Piping" is required at the time of Underground Fire Service Utility Final Inspection. Underground systems will not pass the Final Inspection until the Fire Prevention Division receives this completed certificate.

NAME: LEPPERT ENGINEERING CORPORATION  
ADDRESS: 5190 GOVERNOR DRIVE, SUITE 205  
SAN DIEGO, CA 92122  
PHONE: 858-597-2001

PROJECT ADDRESS:  
NORTHSIDE OF DENNERY RD BETWEEN  
REGATTA LANE AND SAND STAR WAY

PROJECT NAME:  
NAKANO

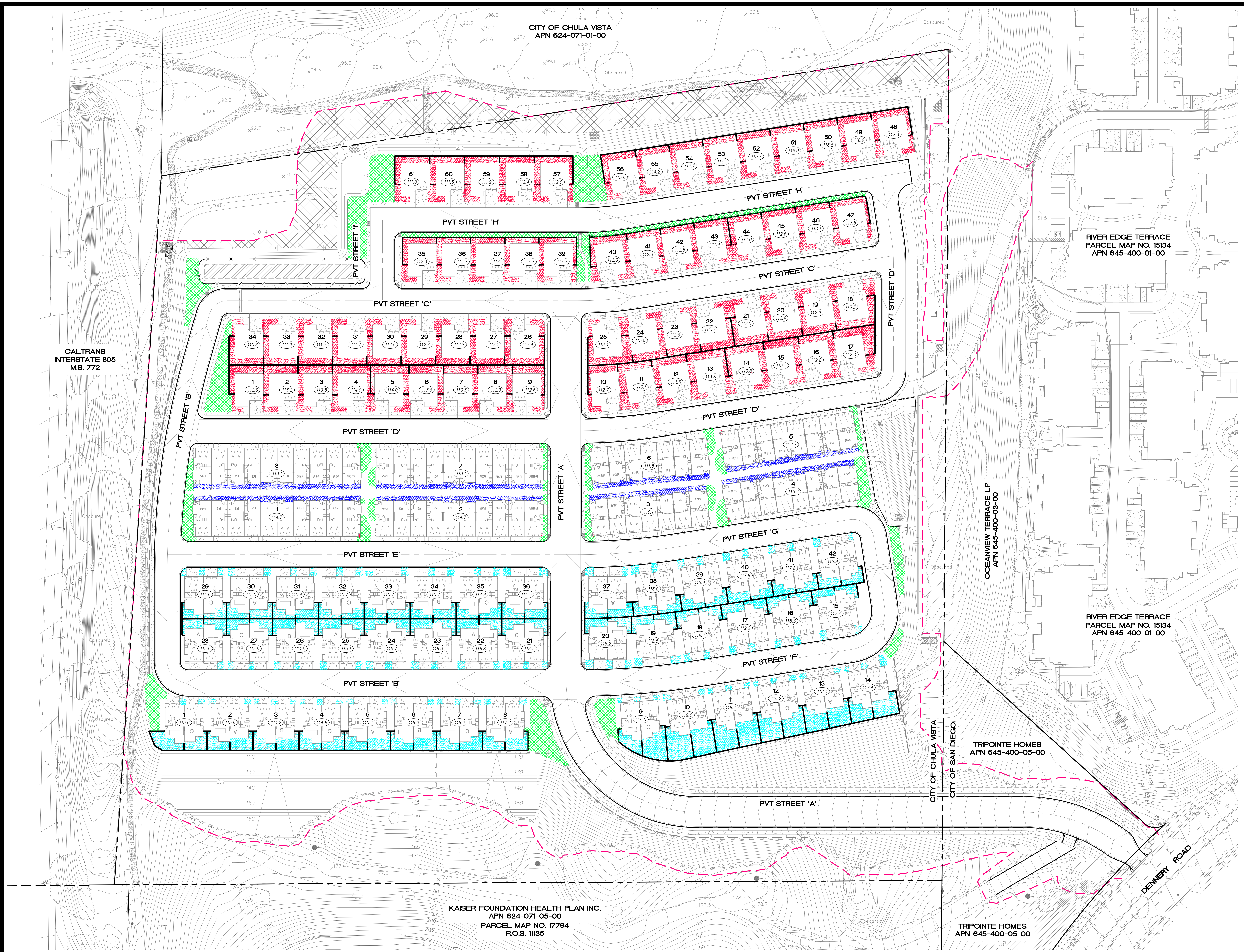
ORIGINAL DATE: 9/15/2021

SHEET TITLE: FIRE NOTES  
SHEET 1C OF 20

DEP #



PREPARED BY: JOHN D. LEPPERT  
R.C.E. 26283  
DATE



**GENERAL NOTES**

- COMMON OPEN SPACE
- PRIVATE OPEN SPACE DETACHED
- PRIVATE OPEN SPACE MULTIFAMILY
- PRIVATE OPEN SPACE DUPLEX
- PROPOSED PRIVACY WALL/FENCE

**SUMMARY TABLE**

UNIT CALCULATIONS	
<b>61 TOTAL DETACHED (R-3 OCCUPANCY)</b>	
PLAN 1 (3 BEDROOM)	15
PLAN 2 (4 BEDROOM)	21
PLAN 3 (5 BEDROOM)	25
<b>TOTAL</b>	<b>61</b>
<b>70 TOTAL MULTIFAMILY (R-2 OCCUPANCY)</b>	
PLAN 1 (2 BEDROOM)	9
PLAN 2 (3 BEDROOM)	24
PLAN 3 (3 BEDROOM)	24
PLAN 4 (4 BEDROOM)	28
<b>TOTAL</b>	<b>70</b>
<b>84 TOTAL DUPLEX (R-3 OCCUPANCY)</b>	
PLAN 1 (3 BEDROOM)	21
PLAN 2 (3 BEDROOM)	29
PLAN 3 (4 BEDROOM)	34
<b>TOTAL</b>	<b>84</b>
OPEN SPACE CALCULATIONS	
<b>COMMON OPEN SPACE PROVIDED</b>	
TOTAL	26,726 SF
RATIO (OPEN SPACE/DU)	124 SF/DU
<b>PRIVATE OPEN SPACE PROVIDED</b>	
DETACHED (61 TOTAL)	58,760 SF
MULTIFAMILY (70 TOTAL)	9,700 SF
DUPLEX (84 TOTAL)	46,025 SF
<b>TOTAL</b>	<b>114,485 SF</b>
RATIO (OPEN SPACE/DU)	532 SF/DU
<b>COMMON OPEN SPACE REQUIRED*</b>	
(25 SF PER DU @ 215 DU)	5,375 SF
<b>PRIVATE OPEN SPACE REQUIRED*</b>	
DETACHED (61 TOTAL)	32,960 SF
MULTIFAMILY (70 TOTAL)	34,400 SF
DUPLEX (84 TOTAL)	43,040 SF
<b>TOTAL</b>	<b>110,400 SF</b>
RATIO (OPEN SPACE/DU)	513 SF/DU

**\*REQUIRED COMMON AND PRIVATE OPEN SPACE IN THE SPECIFIC PLAN**

Common Open Space <sup>2</sup>	A rate of 25 square feet per dwelling unit, with at least one common open space area with minimum dimensions of 12 feet by 15 feet that is improved with lawn or recreational facilities.
Private Open Space (including private balconies and patios, front yards, back yards, and side yards) <sup>7</sup>	
1 Bedroom	400 sf
2 Bedrooms	400 sf
3 Bedrooms	480 sf
4 Bedrooms	560 sf

CALTRANS  
INTERSTATES 805  
M.S. 772

CITY OF CHULA VISTA  
APN 624-071-01-00

RIVER EDGE TERRACE  
PARCEL MAP NO. 15134  
APN 645-400-01-00

RIVER EDGE TERRACE  
PARCEL MAP NO. 15134  
APN 645-400-01-00

OCEANVIEW TERRACE LP  
APN 645-400-03-00

TRIPPOINTE HOMES  
APN 645-400-05-00

KAISER FOUNDATION HEALTH PLAN INC.  
APN 624-071-05-00  
PARCEL MAP NO. 17794  
R.O.S. 11135

TRIPPOINTE HOMES  
APN 645-400-05-00

PREPARED BY:  
**Leppert Engineering CORPORATION**  
5190 Governor Drive, Suite 205, San Diego, Ca. 92122-2848  
Phone: (658) 597-2001 Fax: (658) 597-2009

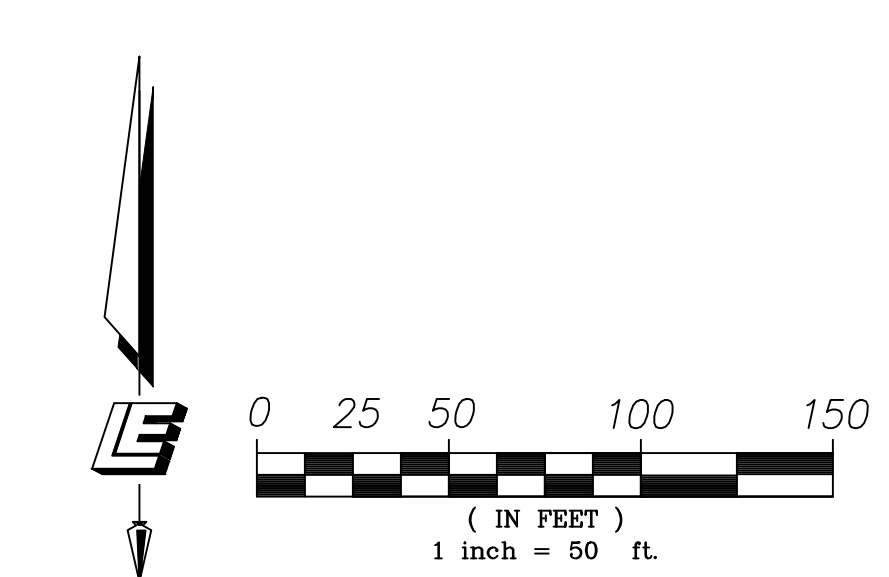
NAME: LEPPERT ENGINEERING CORPORATION  
ADDRESS: 5190 GOVERNOR DRIVE, SUITE 205  
SAN DIEGO, CA 92122  
PHONE: 858-597-2001

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REVISION 5: 6/09/2023  
REVISION 4: 2/24/2023  
REVISION 3: 11/04/2022  
REVISION 2: 6/24/2022  
REVISION 1: 2/17/2022

PROJECT ADDRESS:  
NORTH-SIDE OF DENNEY RD BETWEEN  
REGATTA LANE AND SAND STAR WAY

PROJECT NAME:  
NAKANO

ORIGINAL DATE: 9/15/2021



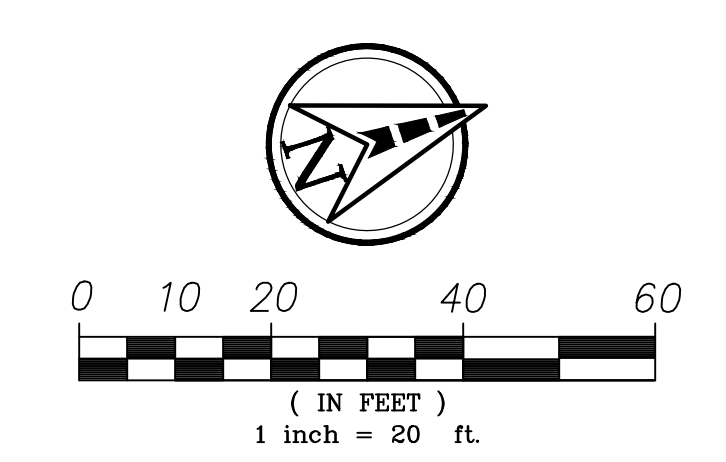
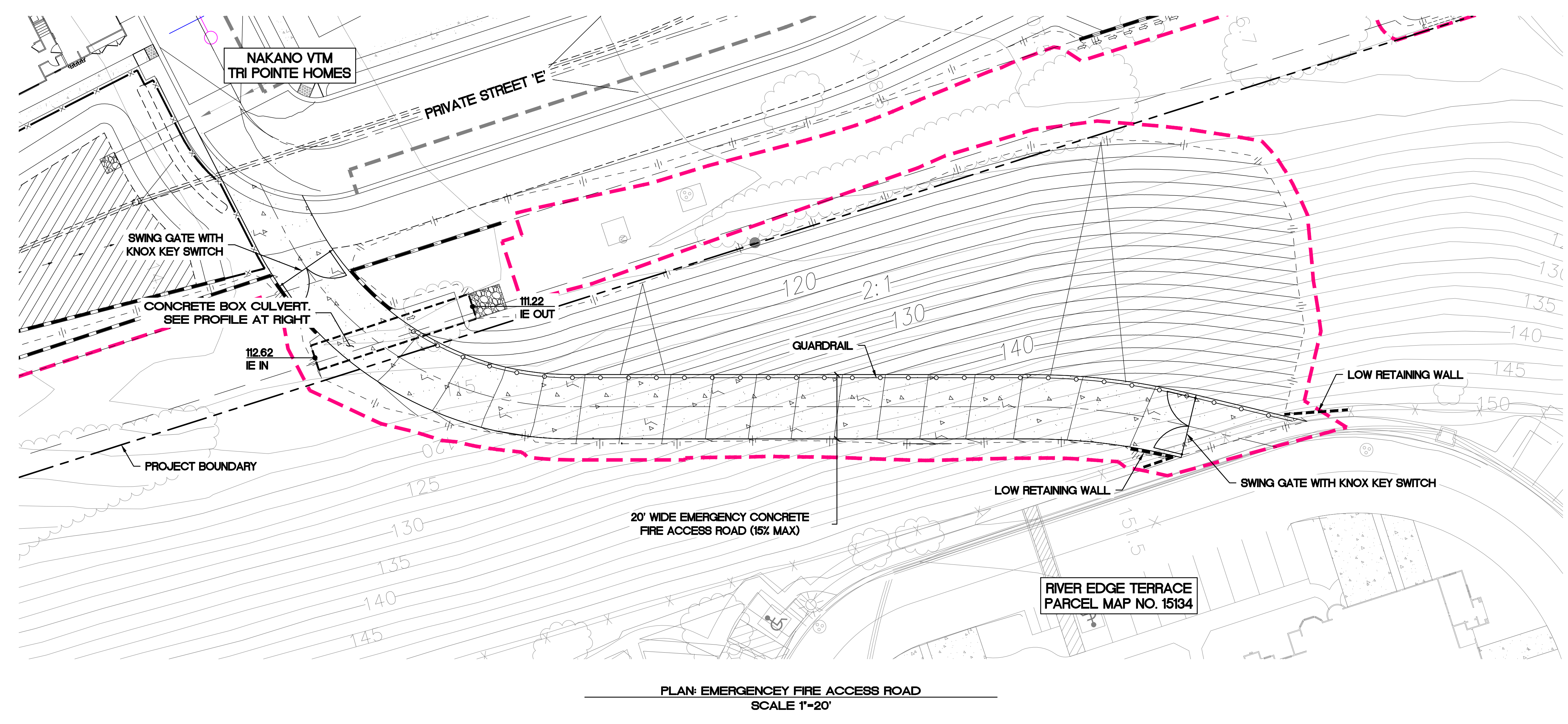
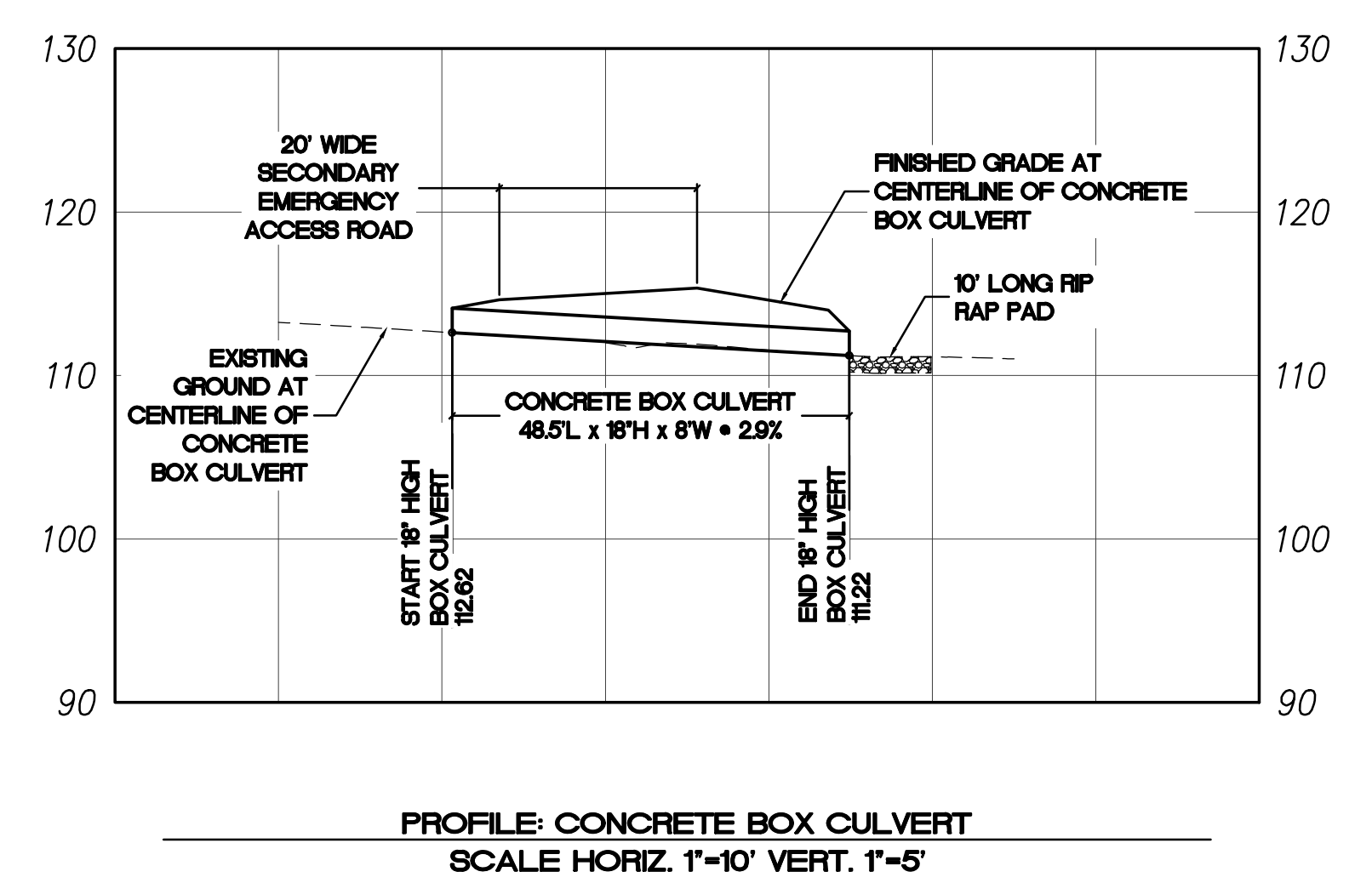
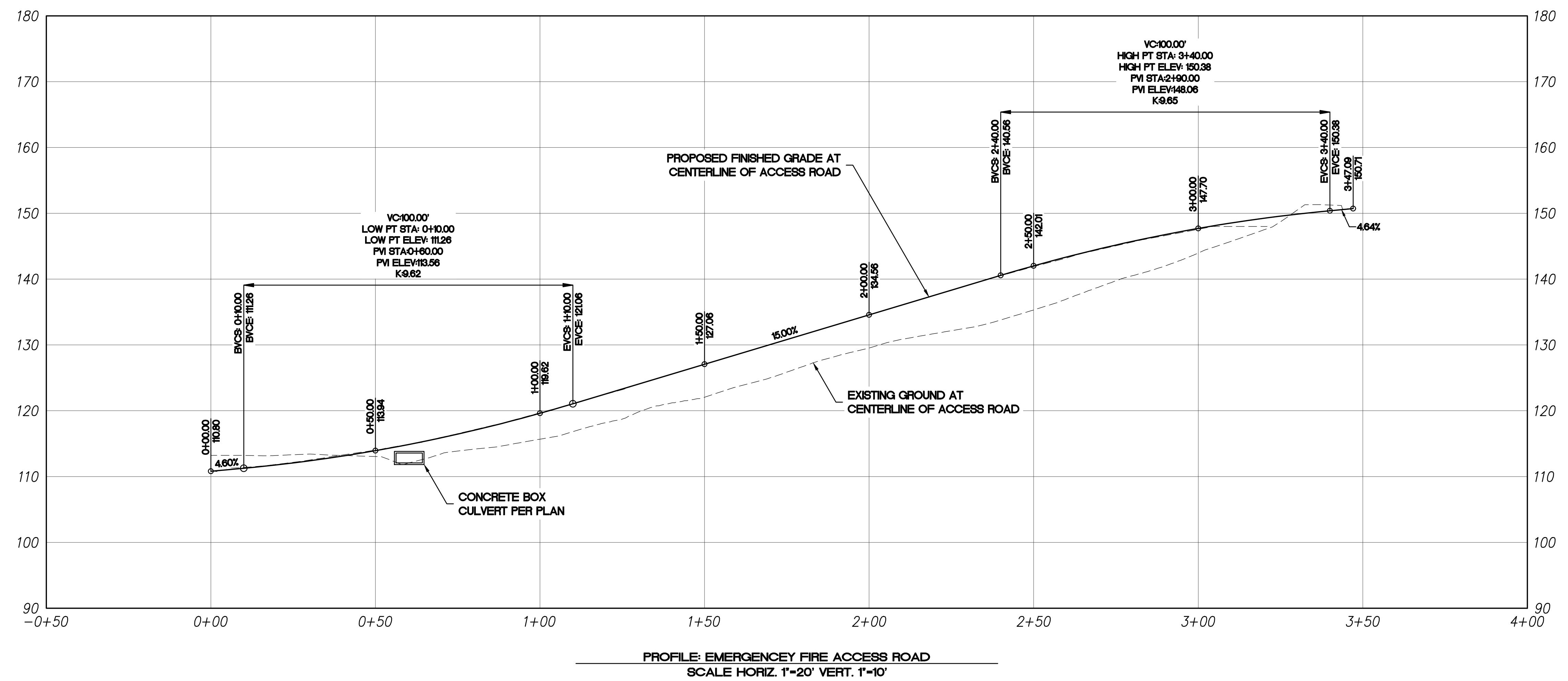
SHEET TITLE:  
LOTTING SITE PLAN AND  
SUMMARY TABLE

SHEET 12 OF 20

DEP # \_\_\_\_\_

JOHN D. LEPPERT  
R.C.E. 26283

DATE \_\_\_\_\_



PREPARED BY:  
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 5190 Governor Drive, Suite 205, San Diego, Ca. 92122-2848  
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 ADDRESS: 13475 DANIELSON STREET, SUITE 150  
 POMAY, CA 92128  
 PHONE: 858-843-4253

PROJECT ADDRESS:  
 NORTHSIDE OF DENNERLY RD BETWEEN  
 REGATTA LANE AND SAND STAR WAY

PROJECT NAME:  
 NAKANO

REVISION 12:	
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REVISION 1:	2/17/2021

ORIGINAL DATE: 9/15/2021

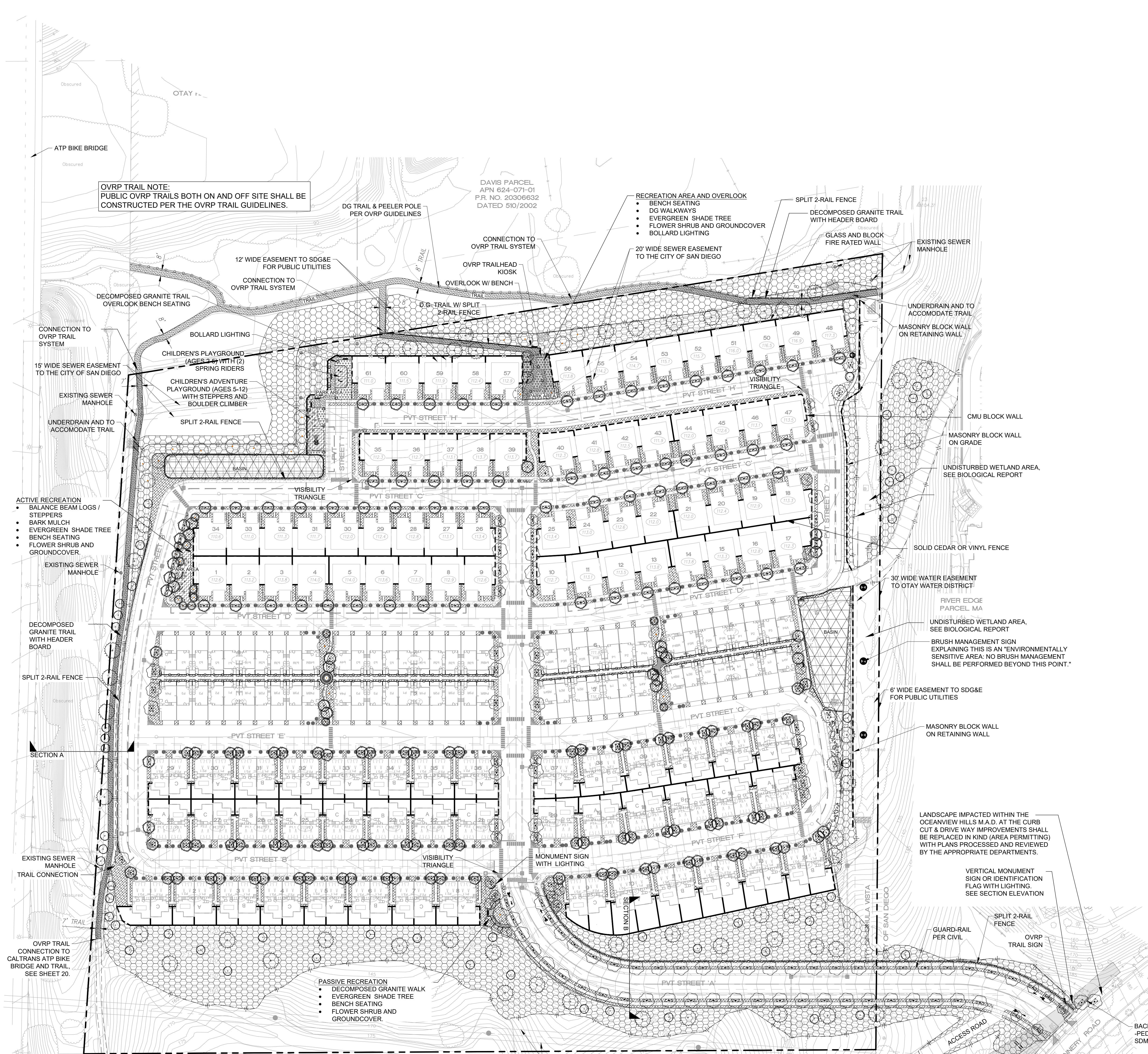
SHEET TITLE:  
 EMERGENCY FIRE ACCESS  
 ROAD - PLAN AND PROFILE

SHEET 13 OF 20  
 DEP #

JOHN D. LEPPERT  
 R.C.E. 26283

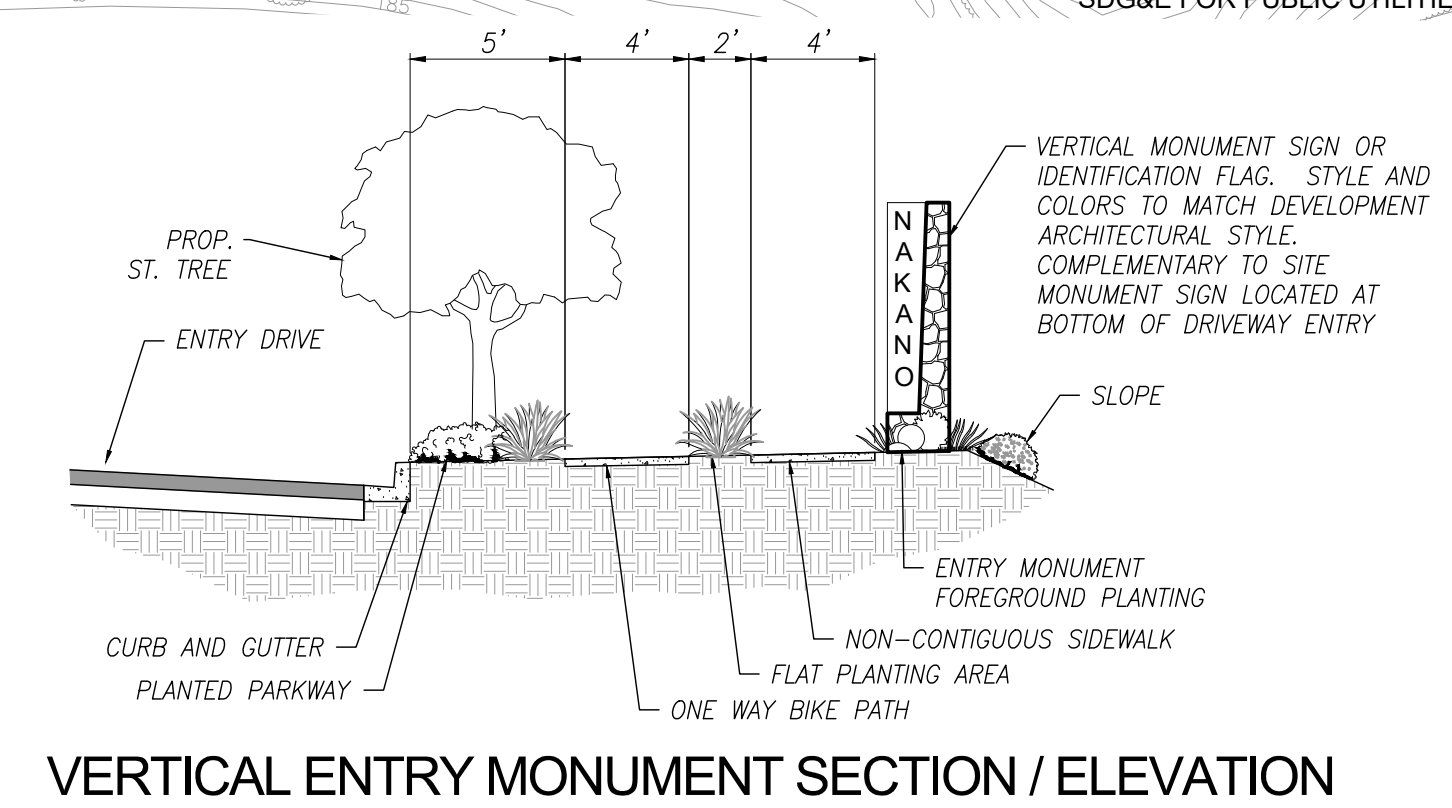
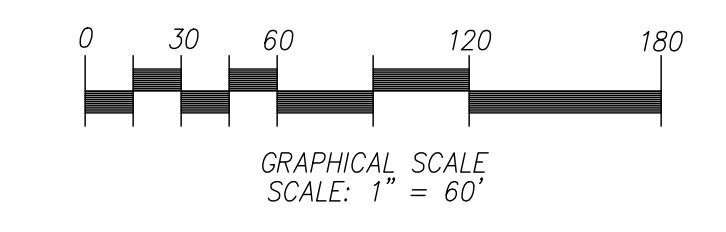
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**OVRP TRAIL NOTE:**  
PUBLIC OVRP TRAILS BOTH ON AND OFF SITE SHALL BE CONSTRUCTED PER THE OVRP TRAIL GUIDELINES.

**CONCEPTUAL LANDSCAPE PLAN**



**VERTICAL ENTRY MONUMENT SECTION / ELEVATION**  
N.T.S.

**DESIGN STATEMENT:**

THE PRIMARY GOAL OF THE LANDSCAPE DESIGN IS TO BLEND AND COMPLEMENT THE EXISTING NATIVE PLANTING IN THE AREA. NATIVE LOW FUEL VOLUME SPECIES WILL BE USED TO RE-VEGETATE THE GRADED SLOPES. THE TREATMENT FOR THE INTERIOR SHALL PRIMARILY BE PARKWAY STREET TREES AND GROUND COVER. ORNAMENTAL, IN NATURE, FIRE-RESISTENT, AND COMPLIMENT THE BUILDING ARCHITECTURE. THE RECREATION AREA WILL BE MIX OF ORNAMENTAL AND NATURALIZED MATERIAL AND LOW MAINTENANCE.

**LANDSCAPE DESIGN OBJECTIVES:**

1. PLANT MATERIALS SPECIFIED FOR USE ON THIS PROJECT WILL BE FROM THE PALETTE OF PLANTS KNOWN TO PERFORM WELL IN THIS CLIMATIC ZONE AND AMENDED SOIL TYPE.
2. THE PALETTE OF LANDSCAPE PLANT MATERIALS WILL PROVIDE VARIATIONS OF FOLIAGE, BARK, AND FLOWER FORM, TEXTURE, AND COLOR. THESE VARIATIONS WILL BE USED TO BLEND IN WITH EXISTING SURROUNDING LANDSCAPE TREATMENTS ESPECIALLY AT PERIMETER SLOPES.
3. LANDSCAPE PLANTING AREAS WILL BE GRADED TO ASSURE POSITIVE SURFACE DRAINAGE.
4. ONSITE SOILS WILL BE AMENDED TO COMPLY WITH THE RECOMMENDATION OF A CERTIFIED SOILS TESTING LABORATORY.
5. ALL SLOPE ASPECTS 2:1 OR STEEPER SHALL RECEIVE JUTE MATTING (OR PER THE RECOMMENDATION BY THE GEO-TECHNICAL ENGINEER).

**GRADING NOTES:**

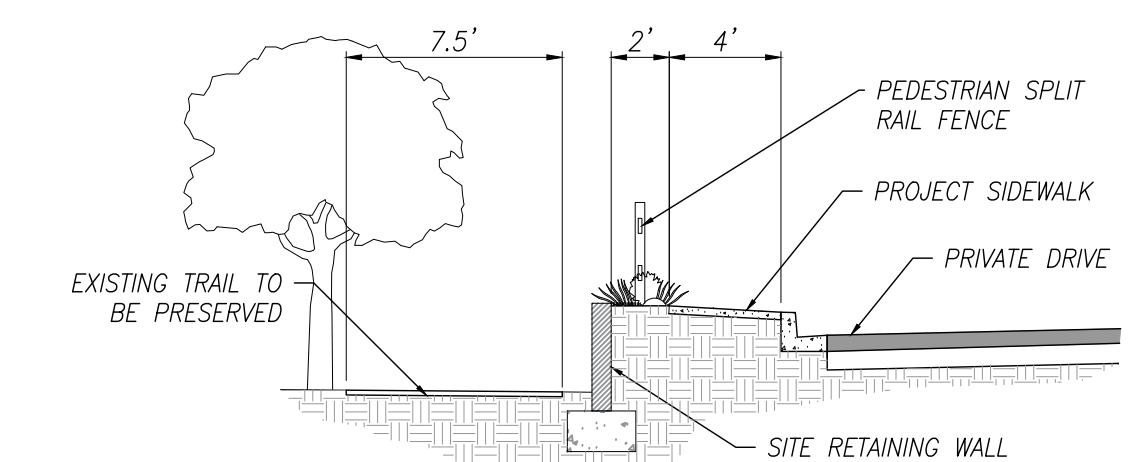
1. PERMANENT REVEGETATION - ALL GRADED, DISTURBED, OR ERODED AREAS THAT WILL NOT BE PERMANENTLY PAVED, COVERED BY STRUCTURE, OR PLANTED FOR A PERIOD OVER 90 CALENDAR DAYS SHALL BE TEMPORARILY REVEGETATED WITH A NON-IRRIGATED HYDROSEED MIX, GROUND COVER, OR EQUIVALENT MATERIAL. TEMPORARY IRRIGATION SYSTEMS MAY BE USED TO ESTABLISH THE VEGETATION.
2. TEMPORARY REVEGETATION - GRADED, DISTURBED, OR ERODED AREAS THAT WILL NOT BE PERMANENTLY PAVED, COVERED BY STRUCTURE, OR PLANTED FOR A PERIOD OVER 90 CALENDAR DAYS SHALL BE TEMPORARILY REVEGETATED WITH A NON-IRRIGATED HYDROSEED MIX, GROUND COVER, OR EQUIVALENT MATERIAL. TEMPORARY IRRIGATION SYSTEMS MAY BE USED TO ESTABLISH THE VEGETATION.
3. ALL REQUIRED REVEGETATION AND EROSION CONTROL SHALL BE COMPLETED WITHIN 90 CALENDAR DAYS OF THE COMPLETION OF GRADING OR DISTURBANCE.
4. INTERIM BINDER NOTE: GRADED, DISTURBED OR ERODED AREAS TO BE TREATED WITH A NON-IRRIGATED HYDROSEED MIX AND INTERIM BINDER / TACKIFIER AS NEEDED BETWEEN APRIL 2ND AND SEPTEMBER 30 FOR DUST-EROSION CONTROL WITH SUBSEQUENT APPLICATION OF HYDROSEED MIX DURING THE RAINY SEASON BETWEEN OCTOBER 1ST AND APRIL 1ST.

**MAINTENANCE NOTE:**

1. ALL REQUIRED COMMON LANDSCAPE AREAS SHALL BE MAINTAINED BY THE HOMEOWNERS ASSOCIATION. THE LANDSCAPE AREAS SHALL BE MAINTAINED FREE OF DEBRIS AND LITTER AND ALL PLANT MATERIAL SHALL BE MAINTAINED IN A HEALTHY GROWING CONDITION. DISEASED OR DEAD PLANT MATERIAL SHALL BE SATISFACTORILY TREATED OR REPLACED PER THE CONDITIONS OF THE PERMIT.
2. ALL PRUNING SHALL COMPLY WITH THE STANDARDS OF THE AMERICAN NATIONAL STANDARDS INSTITUTE (ANSI) FOR TREE CARE OPERATIONS AND THE INTERNATIONAL SOCIETY OF ARBORICULTURE (ISA) FOR TREE PRUNING. TOPPING OF TREES IS NOT PERMITTED.
3. ALL PLANTING WILL HAVE A MINIMUM 25-MONTH MAINTENANCE AND MONITORING PERIOD THAT INCLUDES A SUCCESS CRITERIA, PRIOR TO ACCEPTANCE BY THE CITY OF SAN DIEGO PARKS & RECREATION DEPT.
4. ONCE THE PROJECT IS ANNEXED INTO THE CITY OF SAN DIEGO, THIS PROJECT WOULD BE ELIGIBLE FOR INCLUSION IN THE OCEANVIEW HILLS MAINTENANCE ASSESSMENT DISTRICT (MAD) MANAGED BY THE CITY OF SAN DIEGO PARKS AND RECREATION DEPARTMENT. PLEASE NOTE THE SMALLER PARCEL ASSOCIATED WITH THIS PROJECT ADJACENT TO DENNERY ROAD IS ALREADY WITHIN THE MAD.

**MINIMUM TREE SEPARATION DISTANCE:**

TRAFFIC SIGNAL, STOP SIGN	20 FEET
UNDERGROUND UTILITY LINES	5 FEET
ABOVE GROUND UTILITY STRUCTURES	10 FEET
DRIVEWAYS	10 FEET
INTERSECTIONS	25 FEET
SEWERS	10 FEET



**SECTION A**  
N.T.S.

**IRRIGATION:**

ORNAMENTAL LANDSCAPE AREAS WILL BE SERVED BY A PERMANENT, AUTOMATIC MULTIPLE- VALVE IRRIGATION SYSTEM. THIS SYSTEM WILL USE LOW PRECIPITATION HEADS. SEGREGATED BASED ON PLANT MATERIAL TYPE AND ASPECT, AND BE DESIGNED TO MINIMIZE OVERSPRAY ONTO ANY NATIVE AREAS, HARDCAPE SURFACE. RECYCLED WATER MAY BE USED, IF AVAILABLE. PERMANENT IRRIGATION WILL BE PROVIDED FOR THE REQUIRED STREET TREES AND INTERIOR SLOPES PER THE PLANT LEGEND SHEET. TEMPORARY IRRIGATION WILL BE PROVIDED FOR THE PERIMETER SLOPES TO REVEGETATE AND STABILIZE THE SLOPES FOR EROSION CONTROL. PROPOSED IRRIGATION SYSTEMS WILL USE AN APPROVED RAIN SENSOR SHUTOFF DEVICE.

**NOTES:**

1. ALL LANDSCAPE AND IRRIGATION SHALL CONFORM TO THE CITY OF SAN DIEGO & CHULA VISTA LANDSCAPE REGULATIONS AND CITY OF SAN DIEGO & CHULA VISTA LANDSCAPE MANUAL AND ALL REGIONAL STANDARDS FOR LANDSCAPE INSTALLATION AND MAINTENANCE.
2. NO IMPROVEMENTS, INCLUDING ENHANCED PAVING, IRRIGATION AND LANDSCAPING, SHALL BE INSTALLED IN OR OVER ANY EASEMENT PRIOR TO THE APPLICANT OBTAINING AN ENCROACHMENT MAINTENANCE AND REMOVAL AGREEMENT.
3. PERMANENT MONUMENT SIGNAGE MAYBE PROPOSED BY THE DEVELOPER.
4. MINIMUM 24-INCH BOX SIZE STREET TREES SHALL BE INSTALLED IN THE PUBLIC RIGHT-OF-WAY. TREE PLANTING AREAS SHALL HAVE A MINIMUM 40 SQUARE FEET OF AIR-AND-WATER, PERMEABLE AREA.
5. INSTALL ALL APPROVED LANDSCAPE AND OBTAIN ALL REQUIRED LANDSCAPE INSPECTION FORMS. COPIES OF THESE APPROVED DOCUMENTS MUST BE SUBMITTED TO THE CITY.
6. IMPROVEMENTS SUCH AS DRIVEWAYS, UTILITIES, DRAINS, AND WATER/SEWER LATERALS SHALL BE DESIGNED SO AS NOT TO PROHIBIT THE PLACEMENT OF STREET TREES, ALL TO THE SATISFACTION OF THE CITY.
7. TREE ROOT BARRIERS SHALL BE INSTALLED WHERE TREES ARE PLACED WITHIN 10 FEET OF PUBLIC IMPROVEMENTS INCLUDING WALKS, CURBS, OR STREET PAVEMENT OR WHERE NEW PUBLIC IMPROVEMENTS ARE PLACED ADJACENT TO EXISTING TREES. ROOT BARRIERS WHICH WRAP AROUND THE ROOT BALL ARE NOT PERMITTED.
8. MULCH: ALL REQUIRED PLANTING AREAS SHALL BE COVERED WITH MULCH TO A MINIMUM DEPTH OF 3 INCHES, EXCLUDING SLOPES REQUIRING REVEGETATION AND AREAS PLANTED WITH GROUND COVER. ALL EXPOSED SOIL AREAS WITHOUT VEGETATION SHALL ALSO BE MULCHED TO THIS MINIMUM DEPTH.
9. NO TREES OR SHRUBS EXCEEDING THREE FEET IN HEIGHT AT MATURITY MAY BE LOCATED WITHIN TEN FEET OF ANY SEWER FACILITIES.
10. C.A.P. COMPLIANCE: THE TOTAL LOT AREA FOR NAKANO IS 2376 ACRES OR 1,035,418 SF. THE RESILIENT INFRASTRUCTURE AND HEALTHY ECOSYSTEMS REGULATIONS REQUIRES TWO TREES TO BE PROVIDED ON THE PREMISES FOR EVERY 5,000 SQUARE FEET OF LOT AREA. A TOTAL OF 414 TREES ARE REQUIRED TO MEET THE MINIMUM. A TOTAL OF 447 TREES HAVE BEEN PROVIDED TO MEET THE MINIMUM REQUIREMENTS.

**DEVELOPER INSTALLED LANDSCAPE AREAS**

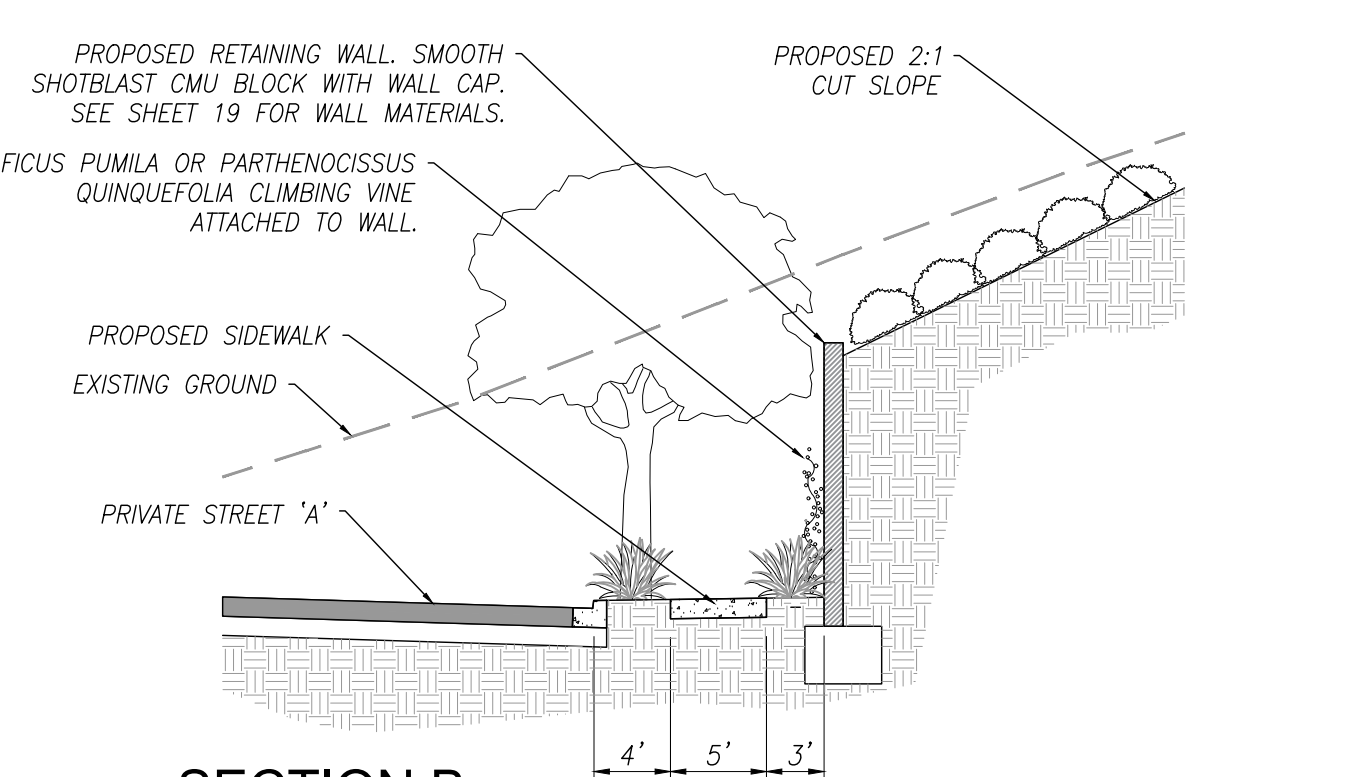
RE-VEGETATED SLOPES	141,406 SF
FRONT YARDS / PARKWAYS	82,250 SF
RECREATION AREA	22,482 SF
WATER QUALITY BASIN	14,645 SF

**PERCENTAGE OF LANDSCAPED AREA TO TOTAL SITE**

NON-LANDSCAPE AREA	532,921 SF
LANDSCAPE AREA	502,496 SF (48.5%)
TOTAL PROJECT AREA	1,035,417 SF

**STREET TREES:**

STREET TREES SHALL HAVE A 40 S.F. ROOT ZONE AREA(10' FROM UNDERGROUND SEWER & 5' FROM UNDERGROUND WATER UTILITIES) OR IF CONFLICTS ARISE THE TREES SHALL BE LOCATED ON THE RESIDENTIAL LOT.



**SECTION B**  
N.T.S.

I AM FAMILIAR WITH THE REQUIREMENTS FOR LANDSCAPE AND IRRIGATION PLANS CONTAINED IN THE CITY OF CHULA VISTA'S LANDSCAPE MANUAL AND WATER CONSERVATION ORDINANCE, PER MUNICIPAL CODE CHAPTER 20.12. I HAVE PREPARED THIS PLAN IN COMPLIANCE WITH THOSE REGULATIONS AND THE LANDSCAPE MANUAL AND AGREE TO COMPLY WITH ALL REQUIREMENTS WHEN SUBMITTING CONSTRUCTION DOCUMENTS. I CERTIFY THAT THE PLAN IMPLEMENTS THOSE REGULATIONS TO PROVIDE EFFICIENT USE OF WATER.\*

SIGNATURE \_\_\_\_\_ DATE \_\_\_\_\_

**FRONT YARD AND STREET TREE NOTE:**  
IMPROVEMENT SUCH AS DRIVEWAYS UTILITIES, DRAINS AND WATER SEWER LATERALS SHALL BE DESIGNED SO AS NOT TO PROHIBIT THE PLACEMENT OF STREET TREES, ALL TO THE SATISFACTION OF THE DEVELOPMENT SERVICES DEPARTMENT.

PREPARED BY:  
**ARCHITECT OF WORK**  
PROJECT DESIGN CONSULTANTS  
701 B STREET, SUITE 800  
SAN DIEGO, CA 92101  
TELEPHONE: (619) 235-6471

JON JAY BECKER, LIC. NO. 2542  
REGISTRATION EXPIRES 7/31/23

EXPIRES 7/31/23

**PROJECT DESIGN CONSULTANTS**  
701 B Street, Suite 800  
San Diego, CA 92101  
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	REVISION 5: 05/12/2023
	REVISION 4: 01/26/2023
	REVISION 3: 11/04/2022
	REVISION 2: 6/24/2022
	REVISION 1: 2/17/2022
	ORIGINAL DATE: 9/15/2021
<b>SHEET TITLE:</b> LANDSCAPE CONCEPT PLAN AND NOTES	<b>SHEET 14 OF 20</b>
<b>DEP #</b> _____	

**EXTERIOR SLOPE PLANTING LEGEND**

SLOPE LANDSCAPE TREATMENT (PERIMETER AND INTERIOR SLOPE EROSION CONTROL) THESE SLOPES WILL BE PLANTED TO CONTROL EROSION, PROVIDE PRIVACY (SCREENING), AND BLEND IN WITH THE EXISTING PLANTING ALONG ADJACENT PARKWAY. THE COMBINATION OF SMALL TO MEDIUM TEXTURALLY RICH TREES WILL BE COUPLED WITH FREE-FLOWING DRIFTS OF FLOWERING SHRUBS. GROUND COVER WILL BE ADDED TO PROVIDE A THIRD LEVEL OF VISUAL INTEREST. ACCEPTABLE SPECIES INCLUDE BUT ARE NOT LIMITED TO:

EXTERIOR SLOPES MATURE HEIGHT & SPREAD

EXTERIOR SLOPE TREES 25% 1 GAL, 50% 5 GALLON, 25% 15 GAL  
FORM/FUNCTION: LARGE, BROAD, ROUND HEADED CANOPY TREE

GEJERA PARVIFLORA	AUSTRALIAN WILLOW	25'X40'
KOELREUTERIA PANICULATA	GOLDEN RAIN TREE	40'X40'
PLATANUS RACEMOSA	SYCAMORE	40'X60'
POPULUS FREMONTII	BLACK COTTONWOOD	40'X60'
QUERCUS AGRIFOLIA	COAST LIVE OAK	30'X60'
QUERCUS BERBERIDIFOLIA	SCRUB OAK	15'X20'
QUERCUS DUMOSA	SOUTHERN OAK	15'X20'
QUERCUS ENGELMANNII	ENGLEMAN OAK	40'X60'

TRANSITION AREA TREES 100% 15 GAL  
FORM/FUNCTION: SHADE, SEASONAL COLOR, MEDIUM TO LARGE CANOPY

AGONIS FLEXUOSA	PEPPERMINT TREE	30'X30'
PLANTANUS RACEMOSA	CALIFORNIA SYCAMORE	25'X25'
QUERCUS AGRIFOLIA	COAST LIVE OAK	20'X20'
QUERCUS ENGELMANNII	ENGLEMAN OAK	45'X25'
MALOSMA LAURINA	LAUREL SUMAC	20'X20'
SAMBUCUS MEXICANA	ELDERBERRY	40'X60'
UMBELLULARIA CALIFORNICA	CALIFORNIA LAUREL	30'X40'

SMALL TREES AND SHRUBS - 3' - 5' EVERGREEN, SCREENING & GROUND COVER 65% 1-GALLON, 35% 5 GAL.  
(GROUND COVER PLANT SPACING SHALL BE 10' ON CENTER)  
FORM/FUNCTION: EVERGREEN, SCREENING, NATIVE SAGE SCRUB SHRUBS

ADOLPHIA CALIFORNICA	SPRINESHRUB	4'X5'
COMAROSTAPHYLIS DIVERSIFOLIA	SUMMER HOLLY	10'X20'
ENCELIA CALIFORNICA	SAN DIEGO SUNFLOWER	3'X4'
ELAEAGNUS PUNGENS	SILVERBERRY	12'X12'
ERIODICTYON TRICHOCALYX	SMOOTH YERBA SANTA	4'X6'
ERIOPHYLLUM CONFERTIFLORUM	GOLDEN-YARROW	2'X3'
ESCHSCHOLZIA CALIFORNICA	CALIFORNIA POPPY	2'X2'
GNAPHALIIUM CALIFORNICUM	CA. PEARLY EVERLASTING	2'X2'
HAZARDIA SQUARROSA	COMMON HAZARDIA	8'X8'
HETEROMELES ARBUTIFOLIA	TOYON	10'X10'
LOTUS SCOPARIUS	DEERWEED	2'X3'
MALOSMA LAURINA	LAUREL SUMAC	15'X15'
MIMULUS AURANTIACUS	RED MONKEY FLOWER	5'X5'
NEMOPHILA MENZIESI	BABY BLUE EYES	6'X6'
RHUS INTEGRIFOLIA	LEMONADE BERRY	5'X6'
SALVIA APIANA	WHITE SAGE	5'X5'
SALVIA CLEVELANDII	CLEVELAND SAGE	4'X4'

SCREENING SLOPE TREES 25% 24" BOX, 75% 16 GALLON (100% 24" BOX IN STREET YARD)  
FORM/FUNCTION: MEDIUM ROUND HEADED EVERGREEN TREES

ACACIA FARNESIANA	SWEET ACACIA	15'X15'
HETEROMELES ARBUTIFOLIA	TOYON	15'X15'
MALOSMA LAURINA	LAUREL SUMAC	15'X20'
RHUS INTEGRIFOLIA	LEMONADE BERRY	20'X20'

**SLOPES (TEMPORARY IRRIGATION) HYDROSEED MIX**

THE SLOPE AREAS TO BE HYDROSEED WITH A MIX OF NATIVE PLANT MATERIAL FOR SOIL EROSION PURPOSES. 50% OF SEED MIX TO BE PLANT MATERIAL THAT IS 24" OR LESS TO MEET BRUSH MANAGEMENT GUIDELINES.

PLANT MATERIAL	COMMON NAME	LB/AC	% PURITY/ GERMINATION RECOMMENDED
ACMISPON GLABER	DEERWEED	6	90 / 80
ARTEMESIA CALIFORNICA	CALIFORNIA SAGEBRUSH	2	15 / 50
DIAPLACUS AJR. 'PUNICEUS'	REDMONKEY FLOWER	2	2 / 55
ENCELIA CALIFORNICA	BUSH SUNFLOWER	4	40 / 60
ERIOGONUM FASCICULATUM	CALIFORNIA BUCKWHEAT	6	10 / 65
ERIOPHYLLUM CONFERTIFLORUM	GOLDEN YARROW	3	30 / 60
ESCHSCHOLZIA CALIFORNICA	CALIFORNIA POPPY	1	98 / 75
LUPINUS BICOLOR	MINIATURE LUPINE	4	98 / 80
LUPINUS NANUS	SKY LUPINE	4	98 / 85
SALVIA MELLIFERA	BLACK SAGE	1	70 / 50
STIPA FULCHRA	PURPLE NEEDLE GRASS	8	90 / 60

NOTE: CONTAINER STOCK ARE TO BE PLACED AT A MINIMUM RATE OF ONE PLANT PER 100 S.F. OF DISTURBED AREA.

**PLANTING LEGEND (URBAN PLANTING PER OVRP)**

THE INTERIOR SITE AREAS ARE TO BE PLANTED WITH COLORFUL, CONTAINER MATERIAL WITH DEEP ROOTING CHARACTERISTICS IN CONFORMANCE WITH THE GRADING ORDINANCE. DROUGHT TOLERANT NATIVE AND NATURALIZED SPECIES ARE PLANTED IN AN INFORMAL PATTERN. SEASONAL MAINTENANCE WILL BE NEEDED ONCE ESTABLISHED. ACCEPTABLE SPECIES INCLUDE BUT ARE NOT LIMITED TO:

STREET TREES BETWEEN HOUSE AND DRIVE AISLES WITH 4' OR GREATER PLANTABLE AREA

STREET TREES 100% 24-INCH BOX OR LARGER  
FORM/FUNCTION: MEDIUM TO LARGE DECIDUOUS, ROUND HEAD, SHADE, STREET TREES

ARBUTUS MARINA	MARINA STRAWBERRY TREE	25' x 25'
CALLISTEMON VIMINALIS	WEeping BOTTLEBRUSH	20' x 25'
CERCIS CANADENSIS	EASTERN REDBUD	25' x 25'
CHIONANTHUS RETUSUS	CHINESE FRINGE TREE	20' x 20'
GINKGO BILOBA	MAIDENHAIR	50 x 25'
MAGNOLIA GRANDIFLORA	SOUTHERN MAGNOLIA	20' x 20'

ACCENT TREES ALONG DRIVE AISLES WITH 3' OR GREATER PLANTABLE AREA

ACCENT TREES DECIDUOUS ROUND HEAD 100% 24-INCH BOX  
FORM/FUNCTION: ORNAMENTAL FLOWERING ACCENT TREES

CERCIS OCCIDENTALIS	WESTERN REDBUD	20' x 20'
ERIOBOTRYA DEFLEKA	BRONZE LOQUAT	25' x 25'
LANTANA MONTEVIDENSIS	CRAPPE MYRTLE	20' x 25'
LIRIODENDRON TULIPIFERA 'ARNOLD'	ARNOLD TULIP TREE	25' x 8'
PODOCARPUS HENKELII	LONG LEAFED YELLOW-WOOD	15' x 8'
STENOCARPUS SINUATUS	FIRE WHEEL TREE	25' x 10'
TABEBUIA IMPETIGINOSA	PINK TRUMPET TREE	25' x 25'

INTERIOR PARKWAY PLANTING & FRONT YARD

SHRUBS 36" O.C.  
FORM/FUNCTION: LOW ORNAMENTAL SHRUBS

ANIGOZANTHOS 'BUSH SUNSET'	BUSH SUNSET KANGAROO PAW	3'x4'
CALLISTEMON 'LITTLE JOHN'	LITTLE JOHN BOTTLEBRUSH	4'x4'
CISTUS SPP	PURPLE ROCKROSE	3'x3'
DIETES GRANDIFLORA	FORTNIGHT LILLY	3'x4'
LANTANA MONTEVIDENSIS	PURPLE LANTANA	2'x5'
LEPTOSPERMUM SCOPARIUM	RUBY RED TEA TREE	4'x4'
NANDINA 'GULF STREAM'	GULF STREAM NANDINA	3'x2'
PHORMIUM TENAX 'MAORI QUEEN'	VARIEGATED FLAX	4'x4'
RAPHIOLEPSIS INDICA 'BALLERINA'	INDIAN HAWTHORNE	3'x4'
STRELITZIA REGINIA	BIRD OF PARADISE	4'x5'
WESTRINGIA FRUTICOSA	COAST ROSEMARY	5'x10'

GROUND COVER & ACCENTS (GROUND COVER PLANT SPACING SHALL BE 10' ON CENTER)  
FORM/FUNCTION: LOW ORNAMENTAL GROUND COVER

CEANOTHOS GRISEUS 'YANKEE POINT'	YANKEE POINT CEANOTHUS	2'x8'
ROSMARINUS O. 'HUNTINGTON CARPET'	H. CARPET ROSEMARY	2'x6'
TRACHELOSPERMUM JASMINOIDES	STAR JASMINE	2'x5'
TULBAGHIA VIOLACEA	VARIEGATED SOCIETY GARLIC	1'x5'
SENECIO SERPENS	BLUE CHALKSTICKS	1'x2'

NON-INVASIVE GRASSES  
FORM/FUNCTION: ACCENT GRASSES

CAREX SPISSA	SAN DIEGO SEDGE	5'x4'
FESTUCA GLAUCA 'ELIJAH BLUE	ELIJAH BLUE FESCUE	1'x1'
MUHLENBERGIA RIGENS	DEER GRASS	4'x4'

VINES  
FORM/FUNCTION: UPRIGHT VINES

BOUGAINVILLEA 'BARBARA KARST'	BARBARA KARST BOUGAINVILLEA	4'x5'
DISTICTIS 'RIVERS'	ROYAL TRUMPET VINE	5'x5'
JASMINUM POLYANTHUM	PINK JASMINE	5'x4'
TRACHELOSPERMUM JASMINOIDES	STAR JASMINE	5'x5'
TECOMARIA CAPENSIS	CAPE HONEYSUCKLE	4'x8'

VINES  
FORM/FUNCTION: CLIMBERS FOR RETAINING WALL

FICUS PUMILA	CREeping FIG	5'x15'
PARTHENOCISSUS QUINQUEFOLIA	VIRGINIA CREEPER	4'x25'

**RECREATIONAL AREA PLANTING LEGEND**

RECREATIONAL AREA LANDSCAPE TREATMENT RECREATIONAL AREAS WILL BE PLANTED WITH DROUGHT TOLERANT PLANTS THAT ARE ALSO SAFE FOR CHILDREN AND PETS. PLANTING SELECTION WILL PROVIDE PRIVACY (SCREENING), ALTERNATIVE LAWN AREA, AND BLEND IN WITH THE ADJACENT BASIN AND EXTERIOR SLOPES PLANTING. THE COMBINATION OF SMALL TO MEDIUM TEXTURALLY RICH TREES WILL BE COUPLED WITH GROUPINGS OF FLOWERING SHRUBS. GROUND COVER WILL BE ADDED TO PROVIDE A THIRD LEVEL OF VISUAL INTEREST. A LAWN ALTERNATIVE WILL BE INCLUDED TO PROVIDE A PLAY SPACE FOR CHILDREN AND PETS. ACCEPTABLE SPECIES INCLUDE BUT ARE NOT LIMITED TO:

RECREATIONAL AREA TREES 100% 15 GAL  
FORM/FUNCTION: SHADE, SEASONAL COLOR, MEDIUM TO LARGE CANOPY

AGONIS FLEXUOSA	PEPPERMINT WILLOW
CASSIA LEPTOPHYLLA	GOLDEN MEDALLION
CERCIS OCCIDENTALIS	WESTERN REDBUD
LOPHOSTEMON CONFERTUS	BRISBANE BOX
MAGNOLIA GRANDIFLORA	SOUTHERN MAGNOLIA
QUERCUS AGRIFOLIA	COAST LIVE OAK
QUERCUS SUBER	CORK OAK

RECREATIONAL AREA SHRUBS AND GROUND COVERS 65% 1-GALLON, 35% 5 GAL.  
FORM/FUNCTION: EVERGREEN, SCREENING, ACCENT COLOR, DROUGHT TOLERANT

SHRUBS

ARBUTUS UNEDO 'COMPACTA'	DWARF STRAWBERRY TREE
CISTUS x PURPULUS	ORCHID ROCKROSE
EURPHORBIA CHARACIAS 'WULFENII'	MEDITERRANEAN SPURGE
OLEA EUROPAEA 'LITTLE OLLIE'	DWARF OLIVE
SALVIA CLEVELANDII	CLEVELAND SAGE
TEUCRIUM FRUTICANS	BUSH GERMANDER

GROUND COVERS

BACCHARIS PILULARIS 'PIGEON POINT'	PIGEON POINT COYOTE BRUSH
CEANOTHUS THYRSIFOLIA 'YANKEE POINT'	YANKEE POINT WILD LILAC
DYMONDIA MARGARETAE	SILVER CARPET
IVA HAYESIANA	POVERTY WEED
LIPPIA NODIFLORA	KURAPIA
VERBENA RIGIDA	SANDPIPER VERBENA

TURF

UC VERDE BUFFALO GRASS	
KURAPIA	
ARTIFICIAL TURF	

**DETENTION BASIN (TEMPORARILY IRRIGATED)**

BASINS TO BE LINED WITH 18" MEDIUM DEPTH.

STORM WATER BASIN (BOTTOM)

PLANT MATERIAL	COMMON NAME	SIZE
BACCAHRIS SALICIFOLIA	MULE FAT	LINERS
CAREX PRAEGRACILLIS	CALIFORNIA FIELD SEDGE	LINERS
CAREX SPISSA	SAN DIEGO SEDGE	LINERS
ELYMUS CONDENSATUS	GIANT WILDRYE	1G / LINERS
JUNCUS DUBIUS	DUBIUS RUSH	LINERS
JUNCUS MEXICANUS	MEXICAN RUSH	LINERS
MUHLENBERGIA RIGENS	DEERGRASS	LINERS

STORM WATER BASIN (SLOPES)

PLANT MATERIAL	COMMON NAME	SIZE
ACHILLEA MILLEFOLIUM	YARROW	LINERS
ANEMOPSIS CALIFORNICA	YERBA MENZA	LINERS
CAREX PRAEGRACILLIS	CALIFORNIA FIELD SEDGE	LINERS
CAREX SPISSA	SAN DIEGO SEDGE	LINERS
ELYMUS CONDENSATUS	GIANT WILD RYE	LINERS
IVA HAYESIANA	POVERTY WEED	1G
JUNCUS DUBIUS	DUBIUS RUSH	1G / LINERS
JUNCUS MEXICANUS	MEXICAN RUSH	LINERS
MAHONIA NEVINI	NEVINS BARBERRY	LINERS
MIMULUS CARDINALIS	SCARLET MONKEY FLOWER	1G
SISYRINCHIUM BELLUM	BLUE-EYED GRASS	LINERS

**WATER EFFICIENT LANDSCAPE WORKSHEET**

IRIGATION POINT OF CONNECTION (P.O.C.) # 1

A	B	C	D	E	F	G	H	I	J
Controller #	Hydrozone #	Valve Circuit #	Irrigation Method (Code)	Plant Factor (average) (PF)	Hydrozone Area (sf) (HA)	% of Total Landscaped Area	PF x HA	IE	PF x HA / IE
A	1 (REC AREAS)	1	DRIP	0.4	22,482	8.6%	8,992.8	0.9	9,992.0
	3 (EXT SLOPES)	2	MP	0.3	141,406	54.2%	42,421.8	0.75	56,562.4
	4 (FRONT YARDS & PARKWAYS)	3	DRIP	0.3	82,250	31.5%	24,675.0	0.9	27,416.7
	5 (BASIN)	3	MP	0.4	14,645	5.6%	5,858.0	0.75	7,810.7
				SLA	0	0.0%	0.0	0.0	0.0
				TOTAL	260,783	100.0%			101,781.7

**Maximum Applied Water Allowance (MAWA)**

MAWA Formula: (Eto)(0.62)[(0.42 x LA) + (0.42x SLA)]  
Maximum Applied Water Allowance = **3,470,093.3** gallons per year

**Estimated Total Water Use (ETWU)**

ETWA Formula: (Eto)(0.62)[(PF)(HA)/IE+SLA]  
ETWU Formula: (Eto)(0.62)(Total of Column J)  
Estimated total Water Use = **3,224,648.9** gallons per year

Eto =	51.1
LA =	260,783.0
SLA =	0.0
Percentage Allowance Used:	92.93%
MAWA - ETWU = (gallons)	245,444.5
Efficiency =	0.81

**MAINTENANCE REQUIREMENTS:**

- THE 120 DAY PEP WILL BE BEGIN FOLLOWING SUCCESSFUL COMPLETION OF REVEGETATION INSTALLATION AND ACCEPTANCE BY THE CITY REPRESENTATIVE.
- THE MAINTENANCE PERIOD BEGINS FOLLOWING COMPLETION AND ACCEPTANCE OF THE 120 DAY PEP AND MAY BE EXTENDED AT THE DETERMINATION OF THE CITY REPRESENTATIVE. REVEGETATION AREA SHALL BE MAINTAINED FOR A PERIOD OF NOT LESS THAN 25 MONTHS (TABLE 2). ALL REVEGETATED AREAS SHALL BE MAINTAINED BY THE CONTRACTOR UNTIL FINAL APPROVAL BY THE CITY.
- PRIOR TO FINAL APPROVAL, THE CITY REPRESENTATIVE MAY REQUIRE CORRECTIVE ACTION INCLUDING BUT NOT LIMITED TO RESEEDING AND THE REPAIR OF ANY SOIL EROSION OR SLOPE SLIPPAGE, IN CONSULTATION WITH THE PROJECT BIOLOGIST.
- WEEDING AND/OR HERBICIDE APPLICATION SHALL BE DONE REGULARLY BY THE CONTRACTOR. WEEDING SHALL BE DONE AT A MINIMUM OF BIWEEKLY UNTIL THE END OF THE 120 DAY PEP, AND MONTHLY THROUGHOUT THE 25 MONTHS OF MAINTENANCE.

STREET TREE NOTE: IMPROVEMENT SUCH AS DRIVEWAYS UTILITIES, DRAINS AND WATER SEWER LATERALS SHALL BE DESIGNED SO AS NOT TO PROHIBIT THE PLACEMENT OF STREET TREES. ALL TO THE SATISFACTION OF THE DEVELOPMENT SERVICES DEPARTMENT.

\* I AM FAMILIAR WITH THE REQUIREMENTS FOR LANDSCAPE AND IRRIGATION PLANS CONTAINED IN THE CITY OF CHULA VISTA'S LANDSCAPE MANUAL AND WATER CONSERVATION ORDINANCE, PER MUNICIPAL CODE CHAPTER 20.12. I HAVE PREPARED THIS PLAN IN COMPLIANCE WITH THOSE REGULATIONS AND THE LANDSCAPE MANUAL AND AGREE TO COMPLY WITH ALL REQUIREMENTS WHEN SUBMITTING CONSTRUCTION DOCUMENTS. I CERTIFY THAT THE PLAN IMPLEMENTS THOSE REGULATIONS TO PROVIDE EFFICIENT USE OF WATER.\*

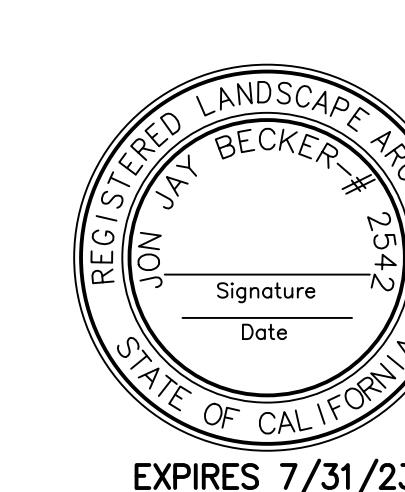
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Revegetation	Performance Standards	
	Minimum Percent Cover Vegetation	Maximum Percent Cover of Invasive Plants
	Annual	Perennial
120 Day PEP	20	25 0
Year 1	40	25 0
Year 2 (25-Month)	65	25 0

Note: Areas with this success criteria are composed of ornamental, disturbed or native areas with high non-native cover. Native and weed cover should be combined to calculate percent cover. The revegetation goals are primarily to prevent erosion.

Summary and Schedule for Maintenance, Monitoring, and Reporting for Project

Period	Contractor Responsibilities	Project Biologist Responsibilities	Reporting and Submittals
Installation	Contractor is responsible for preparation of site, implementation of the revegetation plan, and installation of container plants and seed as shown on the plans or as directed by the Project Biologist.	Project Biologist is responsible for monitoring installation, as needed, to ensure successful installation and implementation of the revegetation plan.	Project Biologist to submit memo to City Representative within 7 days of installation completion.
120 Day PEP	Contractor is responsible for all necessary maintenance (watering, weed abatement, replacement planting, maintain BMP's) to ensure establishment of vegetation and site remains erosion free. Maintenance activities shall occur as-needed, but not less than bi-weekly.	Project Biologist is responsible for monitoring revegetation and providing maintenance recommendations. Monitoring shall occur bi-weekly for the first two months, then monthly thereafter.	Contractor to notify City Representative prior to the completion of the 120 Day PEP for site inspection. Project Biologist to submit monitoring memo to City Representative following each site visit and completion memo within 7 days of completion.
25 Month Maintenance and Monitoring	Contractor is responsible for all necessary maintenance (watering, weed abatement, replacement planting, maintain BMP's) to meet success criteria. Maintenance activities shall occur as-needed, but not less than monthly.	Project Biologist is responsible for monitoring revegetation and providing maintenance recommendations. Monitoring shall occur quarterly.	Project Biologist to submit quarterly monitoring memo to City Representative. Prior to completion of the 25 Month, Contractor to contact City Representative for final site visit. Project Biologist to submit final memo within 14 days of completion of the 25 Month monitoring period.

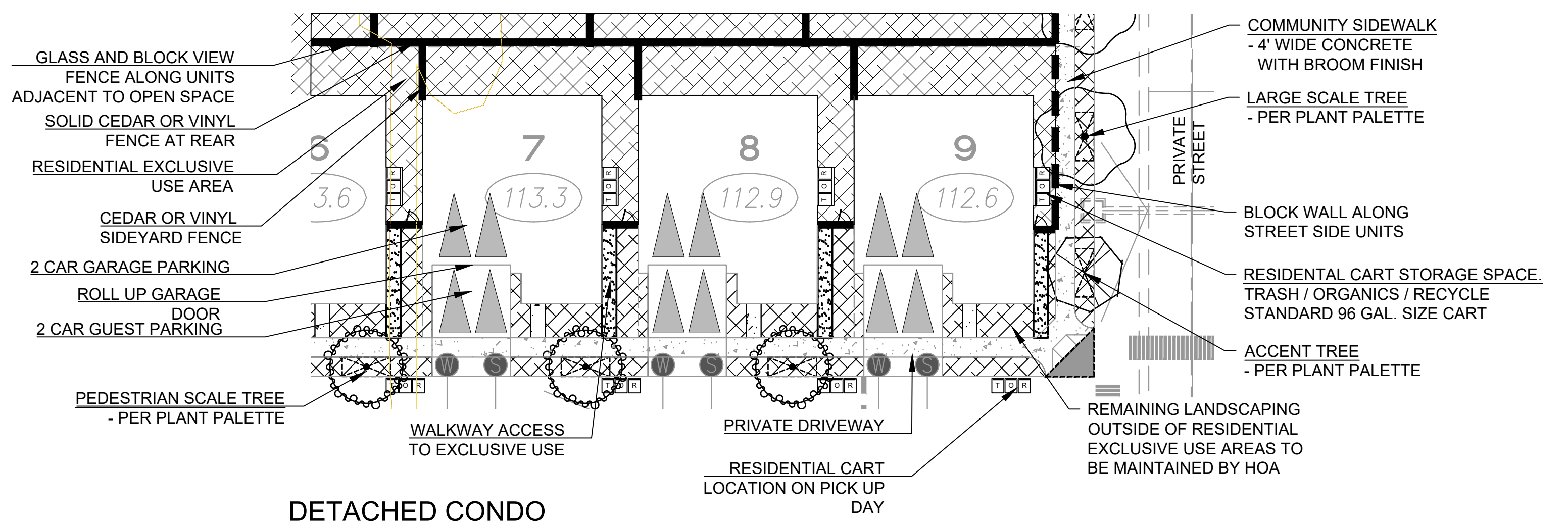


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REGISTRATION EXPIRES 7/31/23

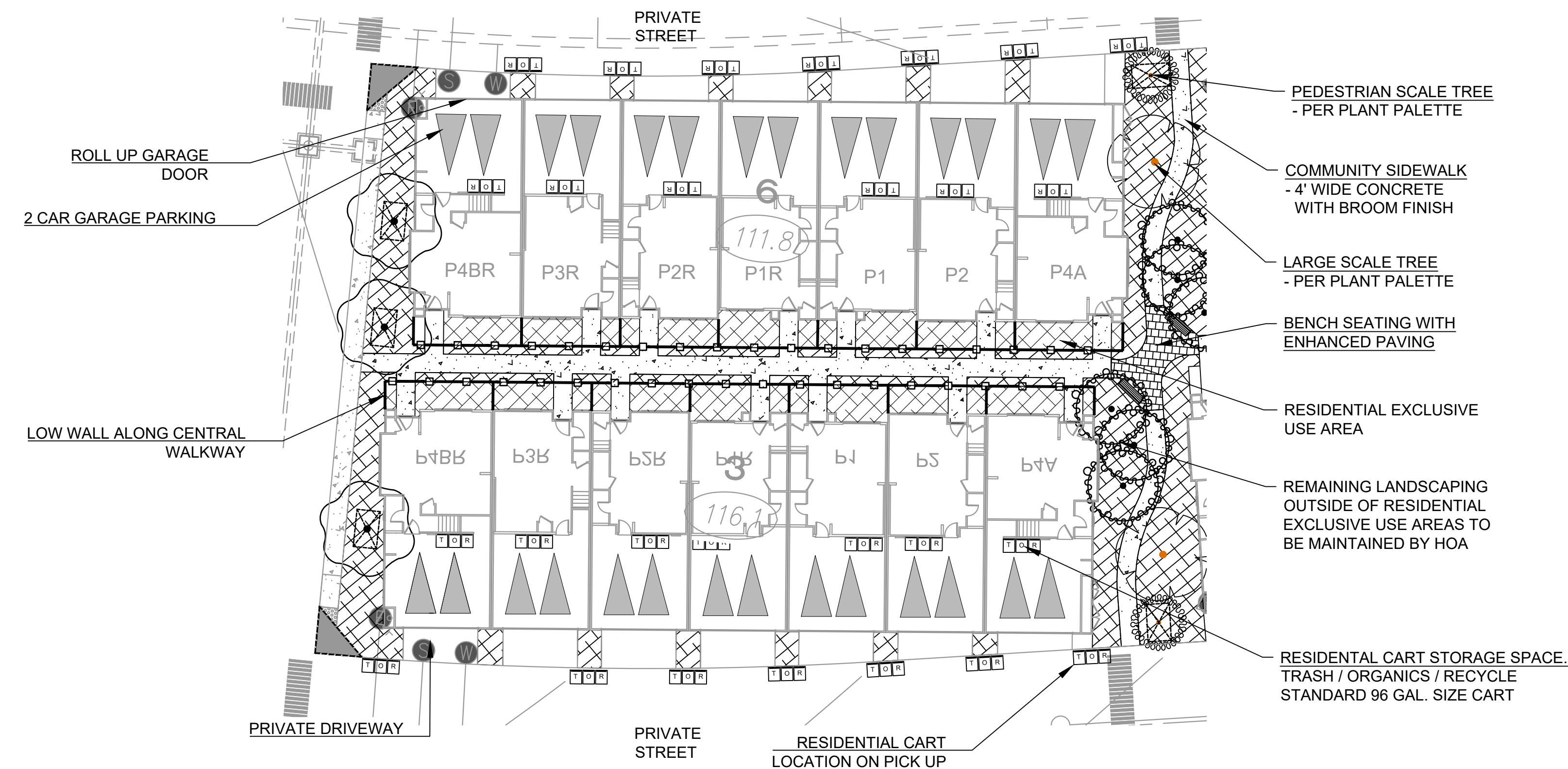
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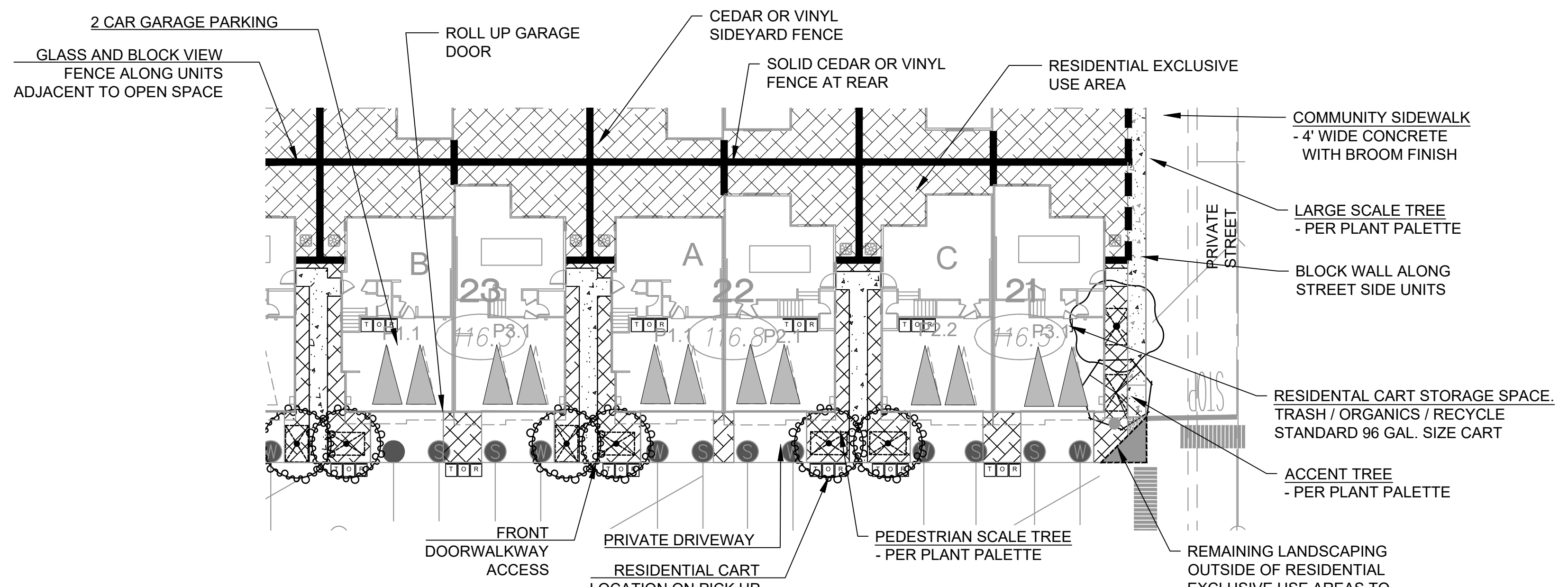
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	REVISION 9: _____
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	REVISION 7: _____
	REVISION 6: _____
	REVISION 5: 05/12/2023
	REVISION 4: 01/26/2023
	REVISION 3: 11/04/2022
	REVISION 2: 6/24/2022
	REVISION 1: 2/17/2022
<b>PROJECT ADDRESS:</b> NORTHSIDE OF DENNEY RD BETWEEN REGATTA LANE AND SAND STAR WAY	<b>ORIGINAL DATE:</b> 9/15/2021
<b>PROJECT NAME:</b> NAKANO	<b>SHEET 15 OF 20</b>
<b>SHEET TITLE:</b> LANDSCAPE CONCEPT PLAN ENLARGEMENTS AND PLANT LEGEND	<b>DEP #</b> _____



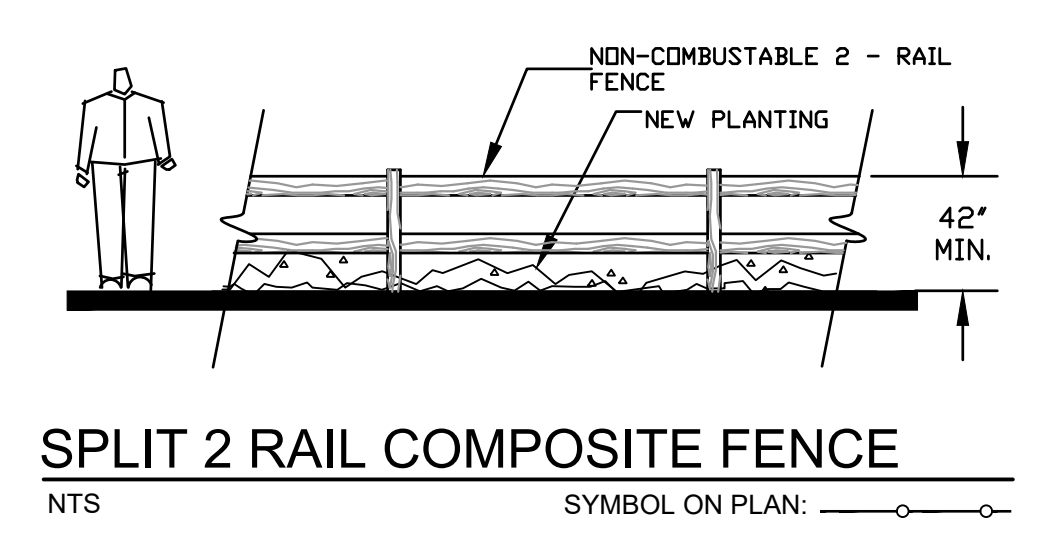
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TYPICAL STREETSCAPE AND EXCLUSIVE USE AREA  
NTS



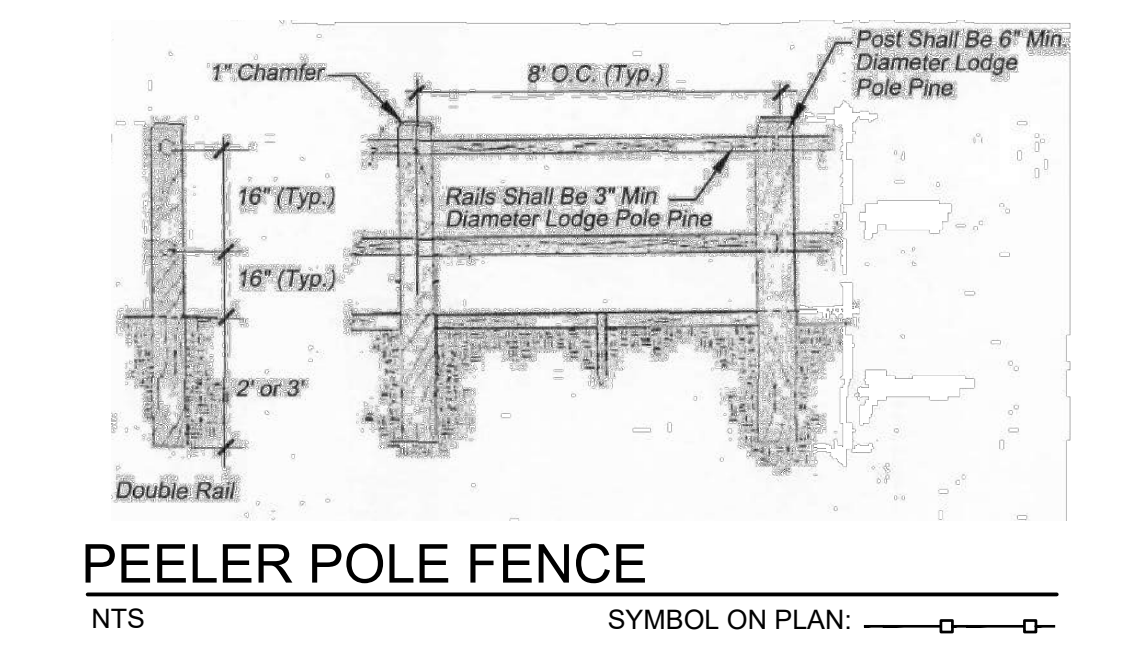
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TYPICAL STREETSCAPE AND EXCLUSIVE USE AREA  
NTS



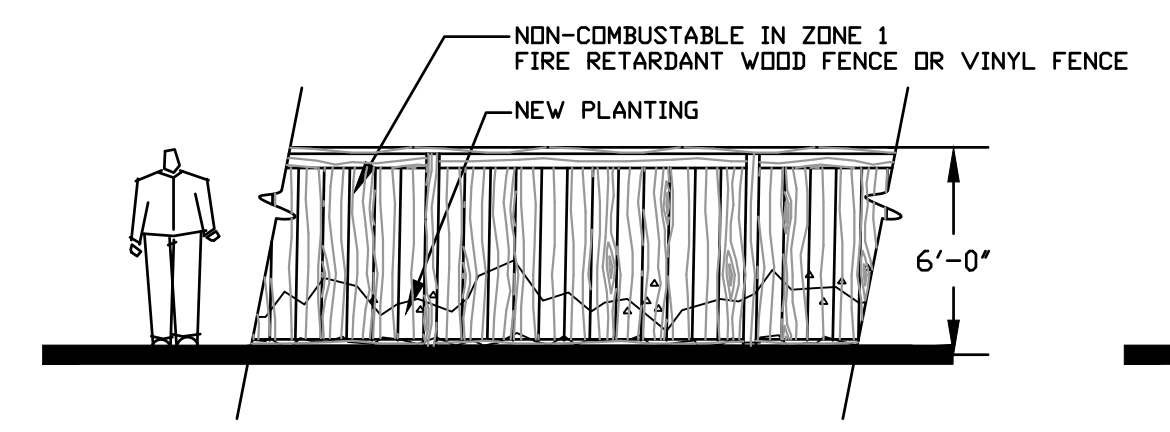
**DUPLEX**  
TYPICAL STREETSCAPE AND EXCLUSIVE USE AREA  
NTS



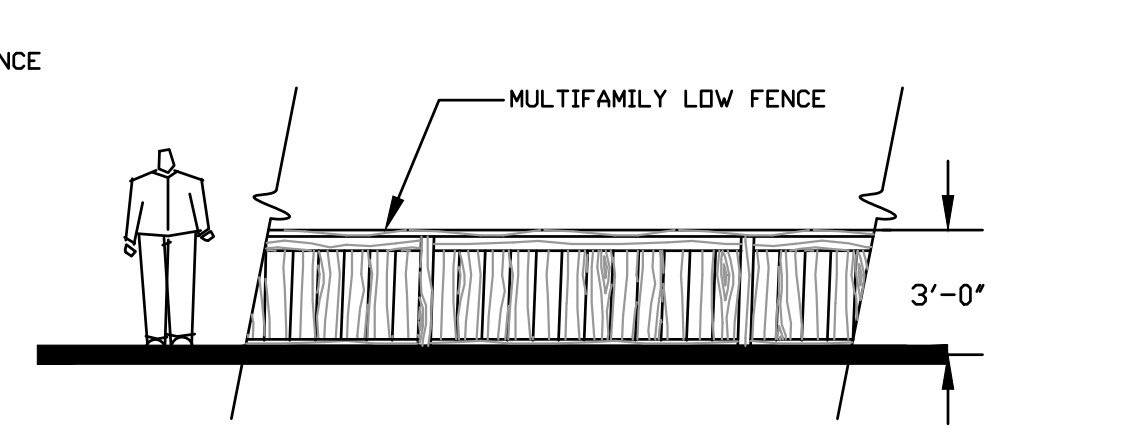
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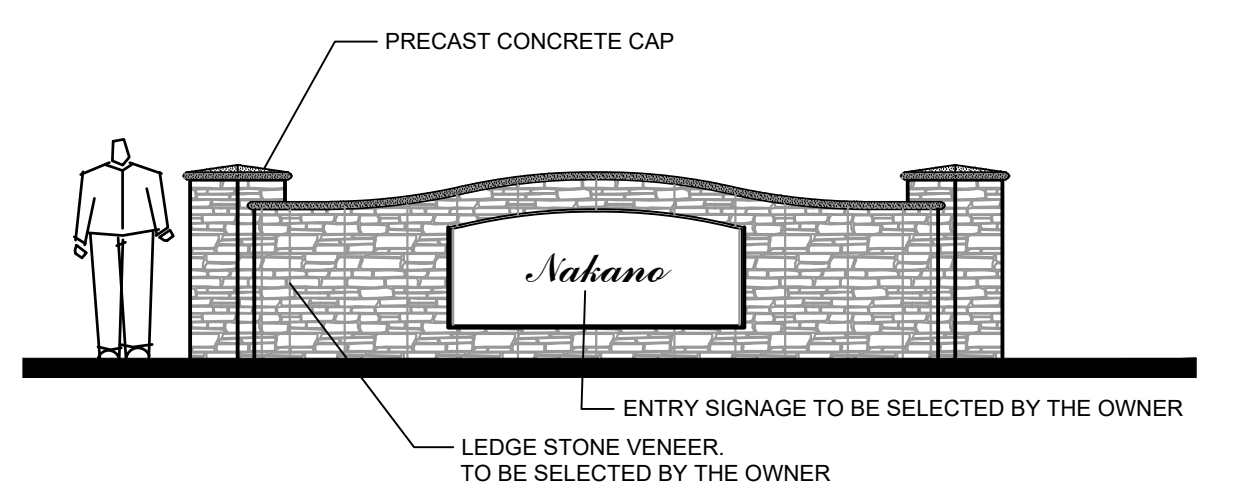
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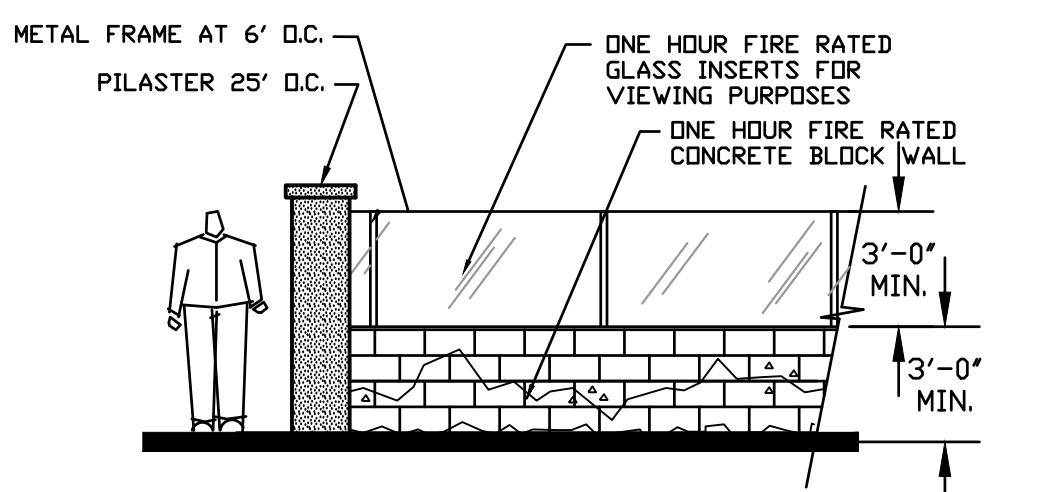
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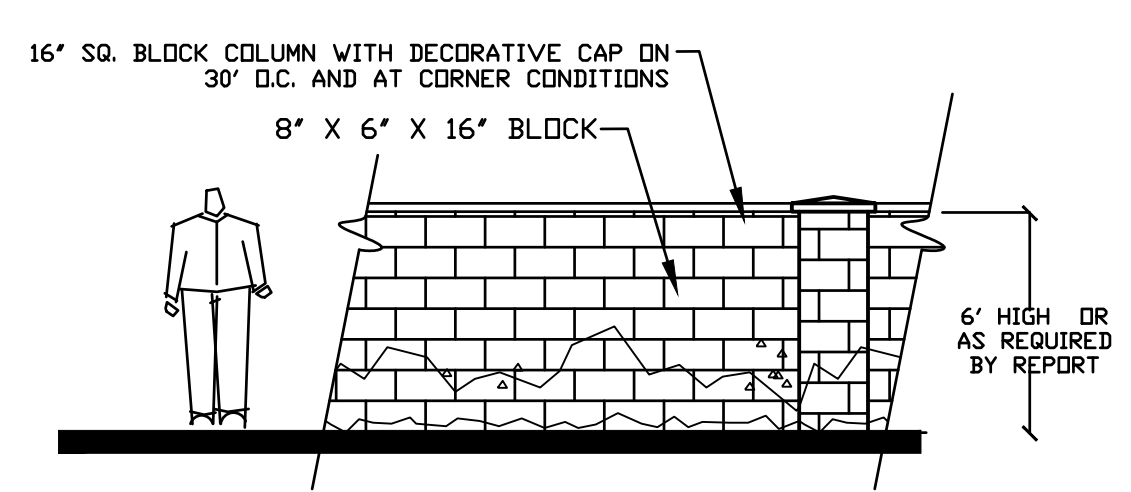
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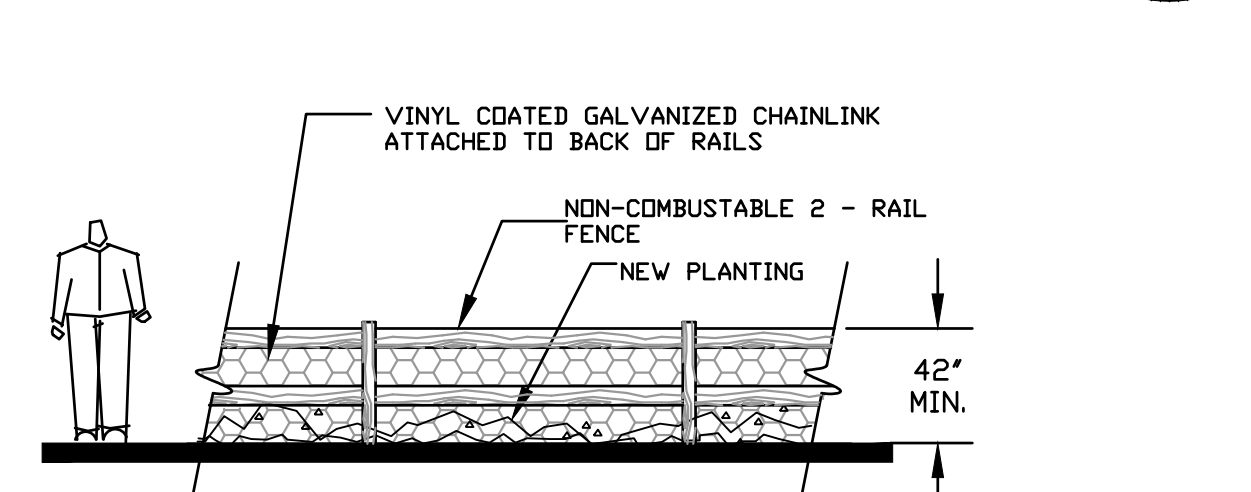
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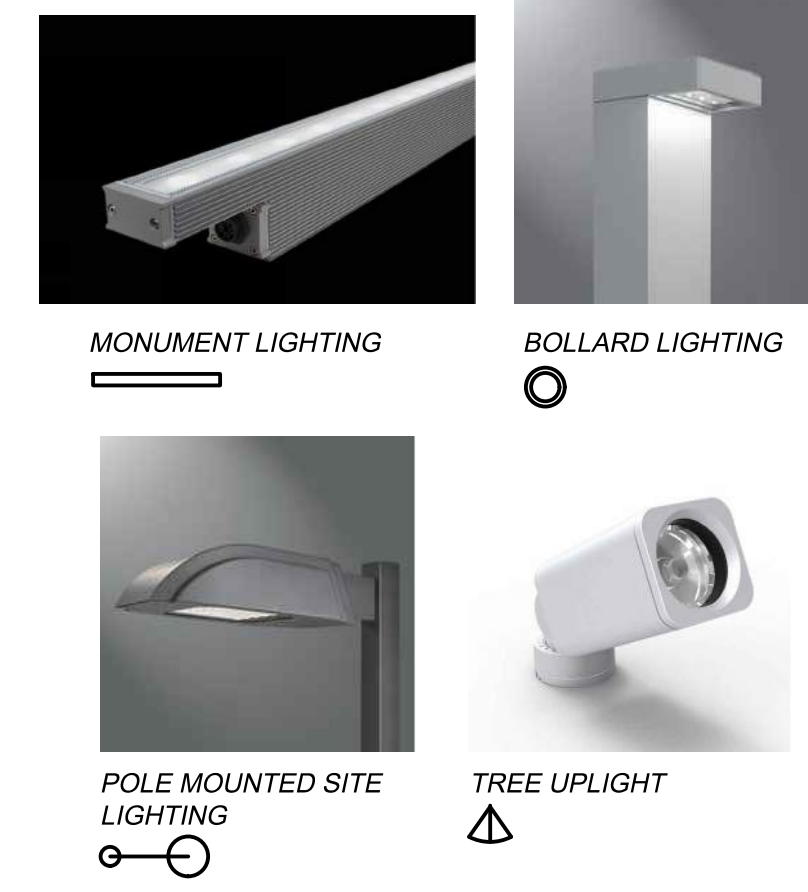
**MASONRY + GLASS VIEW FENCE & RADIANT HEAT WALL**  
NTS SYMBOL ON PLAN: [Symbol]  
\* REQUIRED RADIANT HEAT WALL SEE BRUSH MANAGEMENT PLAN



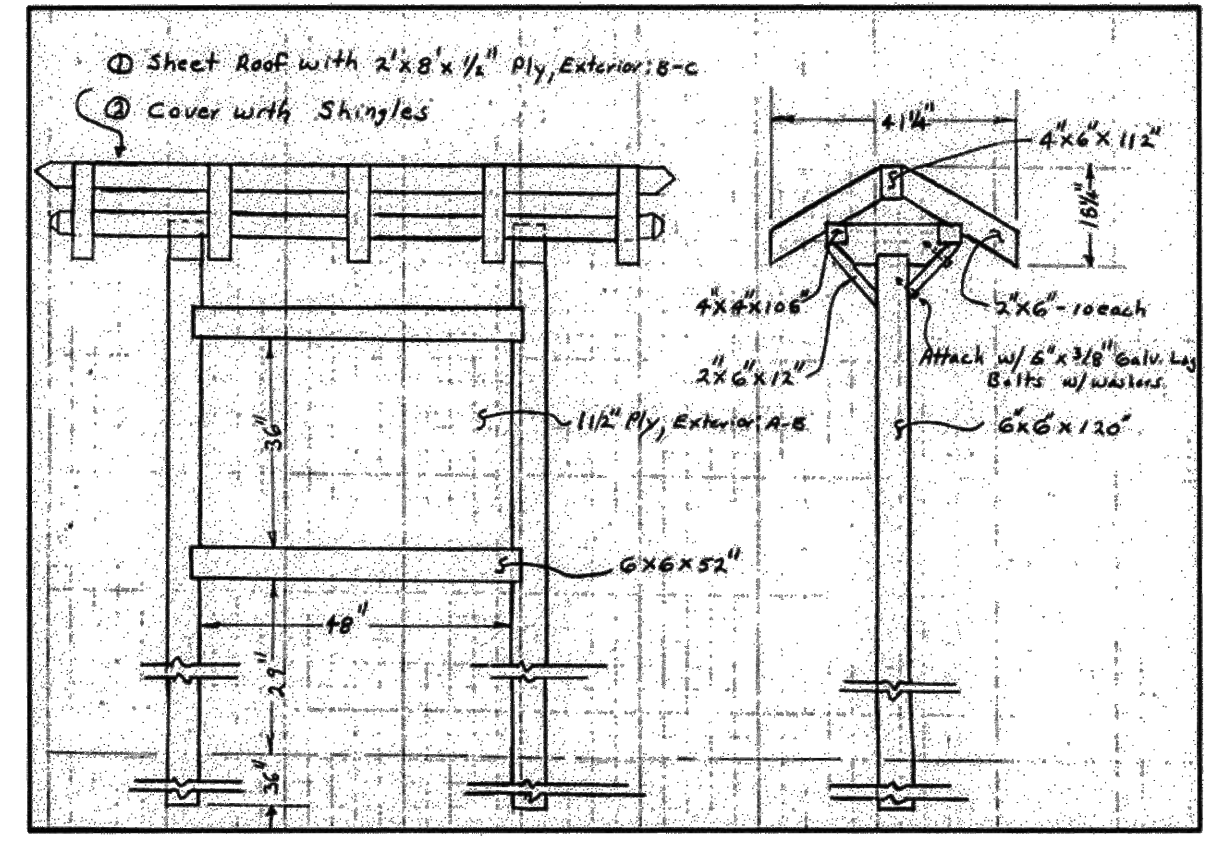
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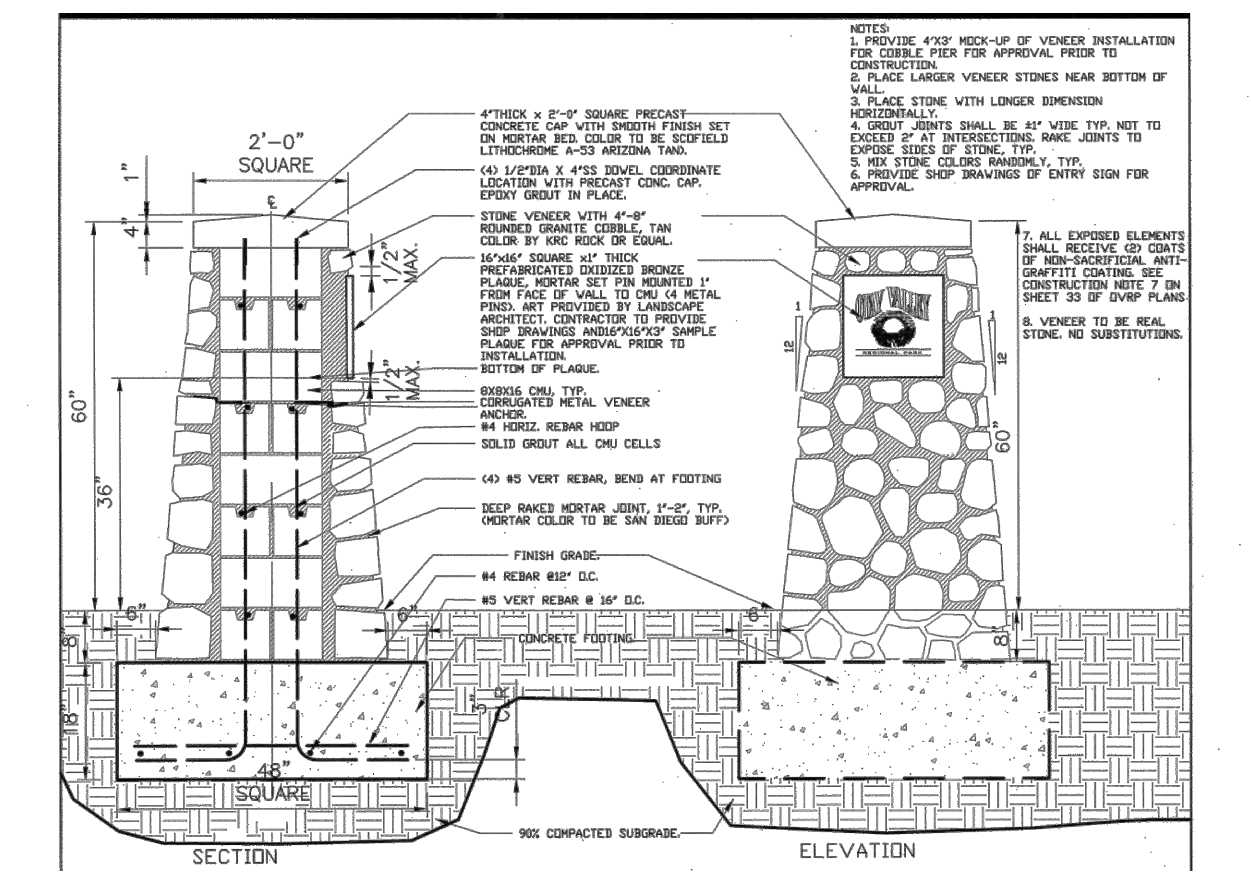
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NTS SYMBOL ON PLAN: [Symbol]



**LIGHTING SAMPLES**



**OVRP KIOSK**  
NTS



**OVRP TRAIL SIGN**  
NTS

**STREET TREE NOTE:**  
IMPROVEMENT SUCH AS DRIVEWAYS UTILITIES, DRAINS AND WATER SEWER LATERALS SHALL BE DESIGNED SO AS NOT TO PROHIBIT THE PLACEMENT OF STREET TREES. ALL TO THE SATISFACTION OF THE DEVELOPMENT SERVICES DEPARTMENT.

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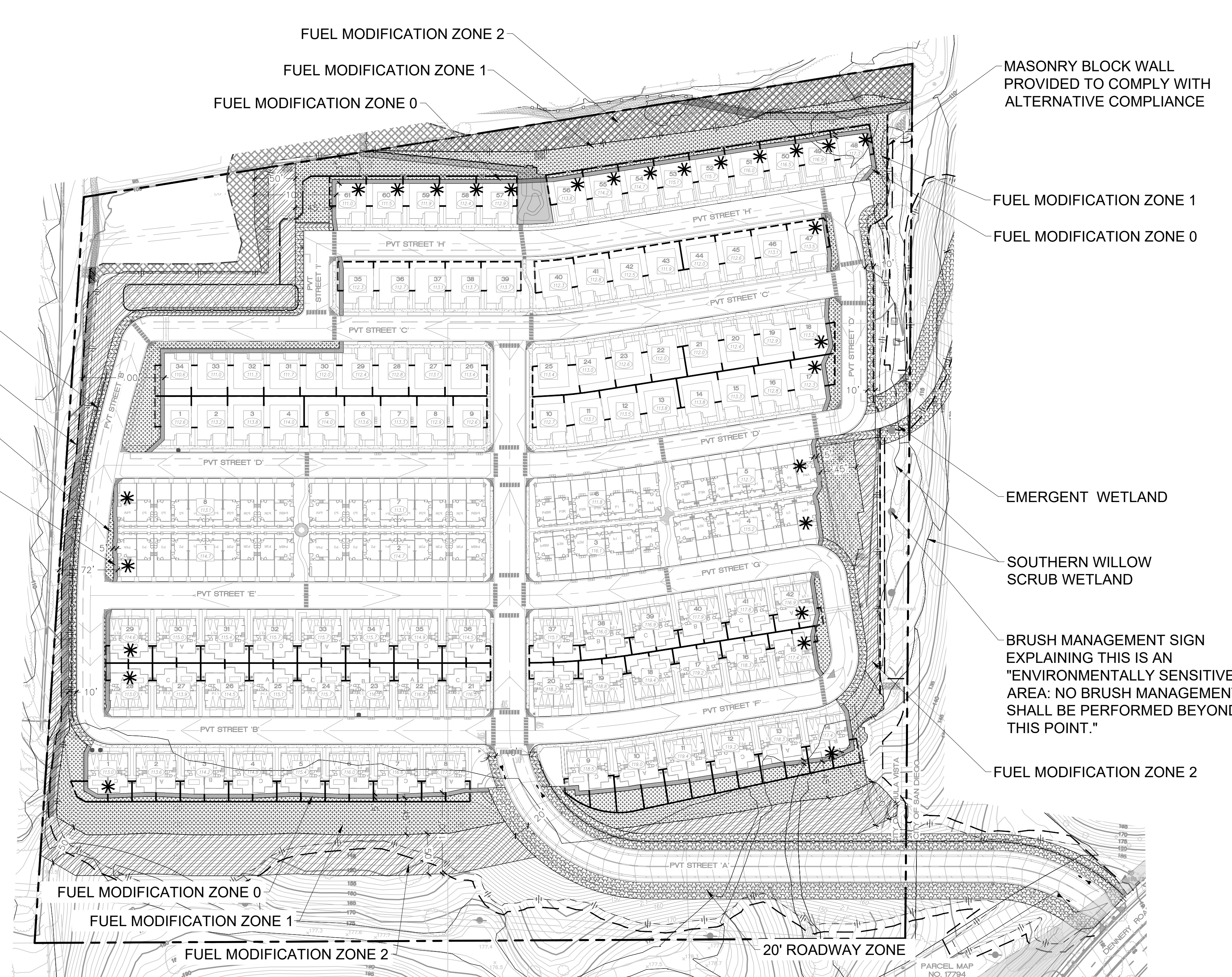


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<b>PROJECT ADDRESS:</b> NORTHSIDE OF DENNERY RD BETWEEN REGATTA LANE AND SAND STAR WAY	REVISION 9: _____
<b>PROJECT NAME:</b> NAKANO	REVISION 8: _____
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	REVISION 1: 2/17/2022
<b>ORIGINAL DATE:</b> 9/15/2021	
<b>SHEET TITLE:</b> LANDSCAPE CONCEPT SECTIONS, ELEVATIONS, AND LEGENDS	<b>SHEET 16 OF 20</b>
<b>DEP #</b> _____	

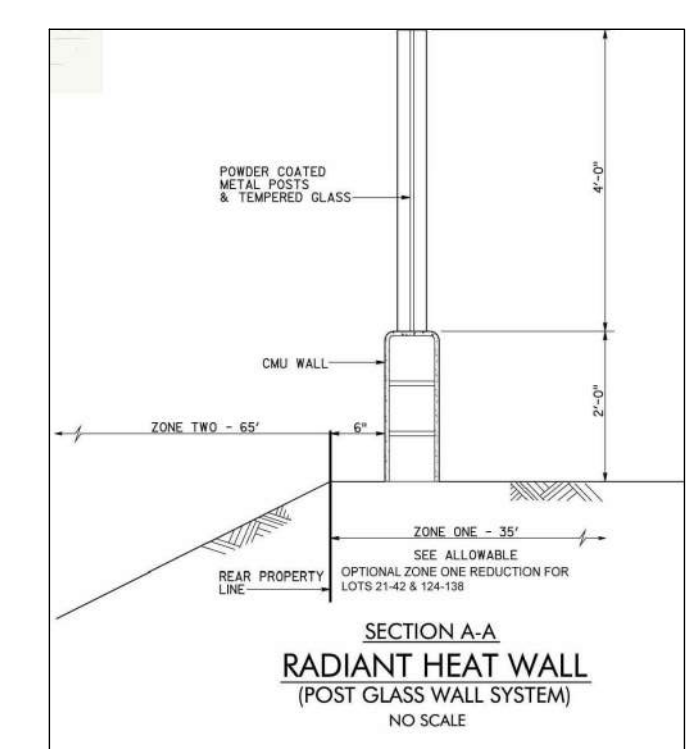


**CITY OF CHULA VISTA FUEL MODIFICATION ZONE**

FOR ANY ADDITIONAL INFORMATION SEE FIRE PROTECTION PLAN FROM DUDEK

CHULA VISTA FIRE DEPARTMENT (CVFD)  
FUEL MODIFICATION WIDTH REQUIREMENTS

CRITERIA	ZONE WIDTHS
ZONE 0 WIDTH	5'
ZONE 1 WIDTH	45'
ZONE 2 WIDTH	50'



**CITY OF SAN DIEGO BRUSH MANAGEMENT ZONE**

(A) BRUSH MANAGEMENT IS REQUIRED IN ALL BASE ZONES ON THE FOLLOWING TYPES OF PREMISES:

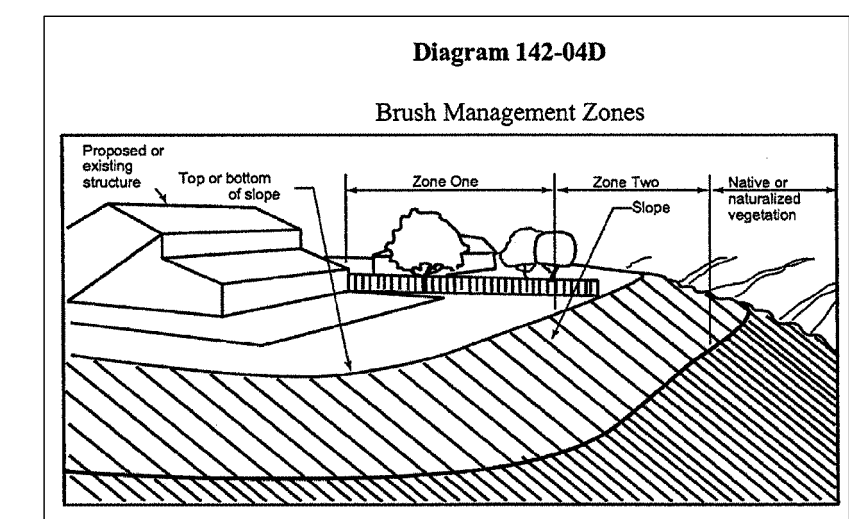
- (1) PUBLICLY OR PRIVATELY OWNED PREMISES THAT ARE WITHIN 100 FEET OF A STRUCTURE AND CONTAIN NATIVE OR NATURALIZED VEGETATION.
- (2) EXCEPT FOR WETLANDS, ENVIRONMENTALLY SENSITIVE LANDS THAT ARE WITHIN 100 FEET OF A STRUCTURE, UNLESS THE FIRE CHIEF DEEMS BRUSH MANAGEMENT NECESSARY IN WETLANDS IN ACCORDANCE WITH SECTION 142.0412 (I), WHERE BRUSH MANAGEMENT IN WETLANDS IS DEEMED NECESSARY BY THE FIRE CHIEF, THAT BRUSH MANAGEMENT SHALL NOT QUALIFY FOR AN EXEMPTION UNDER THE ENVIRONMENTALLY SENSITIVE LANDS REGULATIONS, SECTION 143.0110(C)(7).
- (B) BRUSH MANAGEMENT ZONES, WHERE BRUSH MANAGEMENT IS REQUIRED, A COMPREHENSIVE PROGRAM SHALL BE IMPLEMENTED THAT REDUCES FIRE HAZARDS AROUND STRUCTURES BY PROVIDING AN EFFECTIVE FIRE BREAK BETWEEN ALL STRUCTURES AND CONTIGUOUS AREA OF NATIVE OR NATURALIZED VEGETATION. THIS FIRE BREAK SHALL CONSIST OF TWO DISTINCT BRUSH MANAGEMENT AREAS CALLED "ZONE ONE" AND "ZONE TWO" AS SHOWN IN DIAGRAM 142-04D.

TABLE 142-04H  
BRUSH MANAGEMENT ZONE WIDTH REQUIREMENTS

CRITERIA	ZONE WIDTHS
ZONE ONE WIDTH	35'
ZONE TWO WIDTH	65'

(5) THE FOLLOWING STANDARDS SHALL BE USED WHERE ZONE TWO IS IN AN AREA PREVIOUSLY GRADED AS PART OF LEGAL DEVELOPMENT ACTIVITY AND IS PROPOSED TO BE PLANTED WITH NEW PLANT MATERIAL INSTEAD OF CLEARING EXISTING NATIVE OR NATURALIZED VEGETATION:

- (A) ALL NEW PLANT MATERIAL FOR ZONE TWO SHALL BE NATIVE NON-IRRIGATED, LOW-FUEL, AND FIRE-RESISTIVE. NO NON-NATIVE PLANT MATERIAL MAY BE PLANTED IN ZONE TWO EITHER INSIDE THE MHPA OR IN THE COASTAL OVERLAY ZONE, ADJACENT TO AREAS CONTAINING SENSITIVE BIOLOGICAL RESOURCES.
- (B) NEW PLANTS SHALL BE LOW-GROWING WITH A MAXIMUM HEIGHT AT MATURITY OF 24 INCHES. SINGLE SPECIMENS OF NATIVE TREES AND TREE FORM SHRUB MAY EXCEED THIS LIMITATION IF THEY ARE LOCATED TO REDUCE THE CHANCE OF TRANSMITTING FIRE FROM NATIVE OR NATURALIZED VEGETATION TO HABITABLE STRUCTURES AND IF THE VERTICAL DISTANCE BETWEEN THE LOWEST BRANCHES OF THE TREES AND THE TOP OF ADJACENT PLANTS ARE THREE TIMES THE HEIGHT OF THE ADJACENT PLANTS TO REDUCE THE SPREAD OF FIRE THROUGH LADDER FUELING.
- (C) ALL NEW ZONE TWO PLANTINGS SHALL BE IRRIGATED TEMPORARILY UNTIL ESTABLISHED TO THE SATISFACTION OF THE CITY MANAGER. ONLY LOW-FLOW, LOW-GALLONAGE SPRAY HEADS MAY BE USED IN ZONE TWO. OVERSPRAY AND RUNOFF FROM THE IRRIGATION SHALL NOT DRIFT OR FLOW INTO ADJACENT AREAS OF NATIVE OR NATURALIZED VEGETATION. TEMPORARY IRRIGATION SYSTEMS SHALL BE REMOVED UPON APPROVED ESTABLISHMENT OF THE PLANTINGS. PERMANENT IRRIGATION IS NOT ALLOWED IN ZONE TWO.
- (D) WHERE ZONE TWO IS BEING REVEGETATED AS A REQUIREMENT OF SECTION 142.0411(A), REVEGETATION SHALL COMPLY WITH THE SPACING STANDARDS IN THE LAND DEVELOPMENT MANUAL. FIFTY PERCENT OF THE PLANTING AREA SHALL BE PLANTED WITH MATERIAL THAT DOES NOT GROW TALLER THAN 24 INCHES. THE REMAINING PLANTING AREA MAY BE PLANTED WITH TALLER MATERIAL, BUT THIS MATERIAL SHALL BE MAINTAINED IN ACCORDANCE WITH THE REQUIREMENTS FOR EXISTING PLANT MATERIAL IN ZONE TWO.
- (E) ZONE TWO SHALL BE MAINTAINED ON A REGULAR BASIS BY PRUNING AND THINNING PLANTS AND CONTROLLING WEEDS.
- (F) EXCEPT AS PROVIDED IN SECTION 142.0412(I), WHERE THE REQUIRED ZONE ONE WIDTH SHOWN IN TABLE 142-04H CANNOT BE PROVIDED ON PREMISES WITH EXISTING STRUCTURES, THE REQUIRED ZONE TWO WIDTH SHALL BE INCREASED BY ONE FOOT FOR EACH FOOT OF REQUIRED ZONE ONE WIDTH THAT CANNOT BE PROVIDED.
- (G) THE FIRE CHIEF MAY MODIFY THE REQUIREMENTS OF THIS SECTION IF THE FOLLOWING CONDITIONS EXIST:
  - (1) IN THE WRITTEN OPINION OF THE FIRE CHIEF, BASED UPON A FIRE FUEL LOAD MODEL REPORT CONDUCTED BY A CERTIFIED FIRE BEHAVIOR ANALYST, THE REQUIREMENTS OF SECTION 142.0412 FAIL TO ACHIEVE THE LEVEL OF FIRE PROTECTION INTENDED BY THE APPLICATION OF ZONE ONE AND TWO, AND
  - (2) THE MODIFICATION TO THE REQUIREMENTS ACHIEVES AN EQUIVALENT LEVEL OF FIRE PROTECTION AS PROVIDED BY SECTION 142.0412, OTHER REGULATIONS OF THE LAND DEVELOPMENT CODE, AND THE MINIMUM STANDARDS CONTAINED IN THE LAND DEVELOPMENT MANUAL, AND
  - (3) THE MODIFICATION TO THE REQUIREMENTS IS NOT DETRIMENTAL TO THE PUBLIC HEALTH, SAFETY, AND WELFARE OF PERSONS RESIDING OR WORKING IN THE AREA.
- (H) IF THE FIRE CHIEF APPROVES A MODIFIED PLAN IN ACCORDANCE WITH THIS SECTION AS PART OF THE CITY'S APPROVAL OF A DEVELOPMENT PERMIT, THE MODIFICATIONS SHALL BE RECORDED WITH THE APPROVED PERMIT CONDITIONS.
- (I) FOR EXISTING STRUCTURES, THE FIRE CHIEF MAY REQUIRE BRUSH MANAGEMENT IN COMPLIANCE WITH THIS SECTION FOR ANY AREA, INDEPENDENT OF SIZE, LOCATION, OR CONDITION IF IT IS DETERMINED THAT AN IMMINENT FIRE HAZARD EXISTS.
- (J) MANAGEMENT FOR EXISTING STRUCTURES SHALL BE PERFORMED BY THE OWNER OF THE PROPERTY THAT CONTAINS THE NATIVE AND NATURALIZED VEGETATION. THIS REQUIREMENT IS INDEPENDENT OF WHETHER THE STRUCTURE BEING PROTECTED BY BRUSH MANAGEMENT IS OWNED BY THE PROPERTY OWNER SUBJECT TO THESE REQUIREMENTS OR IS ON NEIGHBORING PROPERTY.
- (K) ALL AMENITIES LOCATED WITHIN THE BRUSH MANAGEMENT ZONES WILL CONFORM TO THE BRUSH MANAGEMENT PLAN.



- (1) BRUSH MANAGEMENT ZONE ONE IS THE AREA ADJACENT TO THE STRUCTURE, SHALL BE LEAST FLAMMABLE, AND SHALL CONSIST OF PAVEMENT AND PERMANENTLY IRRIGATED ORNAMENTAL PLANTING. BRUSH MANAGEMENT ZONE ONE SHALL NOT BE ALLOWED ON SLOPES WITH A GRADIENT GREATER THAN 4:1 (4 HORIZONTAL FEET TO 1 VERTICAL FOOT) UNLESS THE PROPERTY THAT RECEIVED TENTATIVE MAP APPROVAL BEFORE NOVEMBER 15, 1989 OR AS MODIFIED PER THIS PLAN, HOWEVER, WITHIN THE COASTAL OVERLAY ZONE COASTAL DEVELOPMENT SHALL BE SUBJECT TO THE ENCRoACHMENT LIMITATIONS SET FORTH IN SECTION 143.0142 (A)(4) OF THE ENVIRONMENTALLY SENSITIVE LANDS REGULATIONS.
- (2) BRUSH MANAGEMENT ZONE TWO IS THE AREA BETWEEN ZONE ONE AND ANY AREA OF NATIVE OR NATURALIZED VEGETATION AND SHALL CONSIST OF THINNED, NATIVE OR NON-IRRIGATED VEGETATION.
- (C) EXCEPT AS PROVIDED IN SECTION 142.0412 (F) OR 142.0412 (I), THE WIDTH OF ZONE ONE AND ZONE TWO SHALL NOT EXCEED 100 FEET AND SHALL MEET THAT SHOWN IN TABLE 142-04H. BOTH ZONE ONE AND ZONE TWO SHALL BE PROVIDED ON THE SUBJECT PROPERTY UNLESS A RECORDED EASEMENT IS GRANTED BY AN ADJACENT PROPERTY OWNER TO THE OWNER OF THE SUBJECT PROPERTY TO ESTABLISH AND MAINTAIN THE REQUIRED BRUSH MANAGEMENT ZONE(S) ON THE ADJACENT PROPERTY IN PERPETUITY.

**FUEL MODIFICATION ZONE**

- 10' ROADSIDE ZONE
- 20' ROADSIDE ZONE
- FUEL MODIFICATION ZONE 0 (0' - 5' NON-COMBUSTIBLE)  
THESE AREAS SHALL BE REGULARLY MAINTAINED BY THE HOME OWNER'S & HOA ADJACENT TO THE STRUCTURE. PLANTING WILL CONSIST OF ORNAMENTAL LANDSCAPING WITH PERMANENT IRRIGATION.
- FUEL MODIFICATION ZONE 1 (5' - 50' PERMANENT IRRIGATION)  
THESE AREAS SHALL BE REGULARLY MAINTAINED BY THE HOME OWNER'S & HOA ADJACENT TO THE STRUCTURE. PLANTING WILL CONSIST OF ORNAMENTAL LANDSCAPING WITH PERMANENT IRRIGATION. THE NORTHERN SLOPE AREA SHALL PROVIDE PERMANENT BUBBLER IRRIGATION FOR THE PROPOSED NATIVE TREES. THE 10' WIDE PEDESTRIAN TRAIL WILL CONSIST OF DECOMPOSED GRANITE.
- FUEL MODIFICATION ZONE 2 (50' - 100' TEMPORARY IRRIGATION / THINNED VEGETATION)  
HYDROSEED PLANTING SHALL BE TEMPORARILY IRRIGATED WITH AN OVERHEAD IRRIGATION SYSTEM UNTIL ESTABLISHED. ONLY NATIVE VEGETATION SHALL BE PLANTED OR HYDROSEEDING.

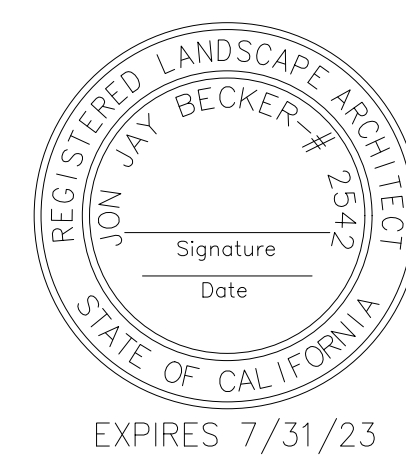
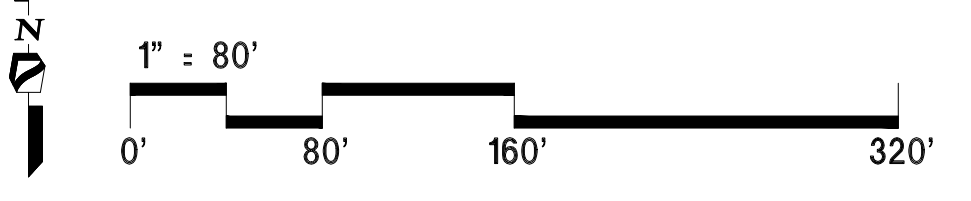
**NOTES:**

- ALL LANDSCAPE AND IRRIGATION SHALL CONFORM TO THE STANDARDS OF THE CITY WIDE LANDSCAPE REGULATIONS AND THE CITY OF SAN DIEGO LAND DEVELOPMENT MANUAL LANDSCAPE STANDARDS AND CITY OF CHULA VISTA LANDSCAPE REQUIREMENTS AND ALL OTHER LANDSCAPE RELATED CITY AND REGIONAL STANDARDS.
- AN IRRIGATION SYSTEM (TEMPORARY AND PERMANENT) SHALL BE PROVIDED AS REQUIRED FOR PROPER IRRIGATION, DEVELOPMENT AND MAINTENANCE OF THE VEGETATION. THE DESIGN OF THE SYSTEM SHALL PROVIDE ADEQUATE SUPPORT FOR THE VEGETATION SELECTED. THE TEMPORARY IRRIGATION SYSTEM WILL BE DISCONNECTED AFTER 2 GROWING SEASONS.
- ALL REQUIRED LANDSCAPE AREAS SHALL BE MAINTAINED BY THE HOMEOWNERS ASSOCIATION. THE LANDSCAPE AREAS SHALL BE MAINTAINED TO BE FREE OF DEBRIS AND LITTER AND ALL PLANT MATERIAL SHALL BE MAINTAINED IN A HEALTHY GROWING CONDITION. DISEASED OR DEAD PLANT MATERIAL SHALL BE SATISFACTORILY TREATED OR REPLACED PER THE CONDITIONS OF THE PERMIT.
- ALL SLOPE REVEGETATION SHALL BE PLANTED AND TEMPORARY IRRIGATED IN ACCORDANCE TO THE STANDARDS REFERENCED AS SHOWN IN TABLE 142-04 F OF THE LAND DEVELOPMENT MANUAL -LANDSCAPE STANDARDS. ALL MANUFACTURED SLOPES SHALL BE PLANTED WITH ONE GALLON NATIVE TREES OR SHRUBS AT AN AVERAGE RATE OF ONE PER 900 SQUARE FEET. ALL CONTAINER STOCK SHALL BE PROVIDED WITH A SEPARATE TEMPORARY IRRIGATION SYSTEM. PLANTS USED FOR EROSION CONTROL ON DISTURBED SOIL AND SLOPES SHALL ACHIEVE 100% SOIL COVERAGE WITHIN TWO YEARS OF BEING INSTALLED.
- THE HOMEOWNERS ASSOCIATION MAINTAINED LANDSCAPED AREAS SHALL HAVE A SEPARATE IRRIGATION SYSTEM WITH ITS OWN METER, CLOCK AND VALVES. ALL IRRIGATION SHALL BE INSTALLED PER CITY STANDARDS.
- THERE SHALL BE NO IRRIGATION RUNOFF INTO THE ADJACENT NATURAL OPEN SPACE.

**\* REQUIRED RADIANT HEAT WALL PLUS DUAL GLAZED / DUAL TEMPERED PANES**

ALTERNATIVE COMPLIANCE:  
-Buildings 1, 14-15, 28-29, 42 of the Duplex product, buildings 17-18, 47-61 of the Detached product, and buildings 1, 4-5, 8 of Multi Family product will have alternative compliance per Section 142.0412 Section 1. A radiant heat wall shall be provided as shown on the plans. In addition, the habitable structure shall be fire rated on the side with the Radiant Heat Wall.  
That is, the East side wall of buildings 17, 18, 47, 48 of the Detached product, buildings 4, 5 of the Multi Family product shall have upgraded opening protection of dual glazed/dual tempered panes, including a 10' perpendicular return along the adjacent wall faces.  
The West side walls of buildings 1, 8 of the Multi Family product, buildings 1, 28, 29 of the Duplex product shall have upgraded opening protection of dual glazed/dual tempered panes, including a 10' perpendicular return along the adjacent wall faces.  
The North side walls of buildings 48-61 of the Detached product shall have upgraded opening protection of dual glazed/dual tempered panes, including a 10' perpendicular return along the adjacent wall faces.

For all Alternative Compliance buildings, Zone One will be provided between non-combustible radiant heat wall and the habitable structure.



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	REVISION 4: 01/26/2023
	REVISION 3: 11/04/2022
	REVISION 2: 6/24/2022
	REVISION 1: 7/17/2021
<b>PROJECT ADDRESS:</b> NORTHSIDE OF DENNERY RD BETWEEN REGATTA LANE AND SAND STAR WAY	<b>ORIGINAL DATE:</b> 9/15/2021
<b>PROJECT NAME:</b> NAKANO	<b>SHEET 17 OF 20</b>
<b>SHEET TITLE:</b> FUEL MODIFICATION PLAN	<b>DEP #</b> _____

**IRRIGATION DESIGN:**  
 ORNAMENTAL LANDSCAPE AREAS WILL BE SERVED BY A PERMANENT, AUTOMATIC MULTIPLE- VALVE IRRIGATION SYSTEM. THIS SYSTEM WILL USE LOW PRECIPITATION HEADS, SEGREGATED BASED ON PLANT MATERIAL TYPE AND ASPECT, AND BE DESIGNED TO MINIMIZE OVERSPRAY ONTO ANY NATIVE AREAS, HARDSCAPE SURFACE. RECYCLED WATER MAY BE USED, IF AVAILABLE. PERMANENT IRRIGATION WILL BE PROVIDED FOR THE REQUIRED STREET TREES AND INTERIOR SLOPES PER THE PLANT LEGEND SHEET. TEMPORARY ABOVE GRADE IRRIGATION WILL BE PROVIDED FOR THE PERIMETER SLOPES ASSOCIATED WITH PAD GRADING. TO REVEGETATE AND STABILIZE THE SLOPES FOR EROSION CONTROL. ALL PROPOSED IRRIGATION SYSTEMS WILL USE AN APPROVED AUTOMATIC SMART CONTROL WITH RAIN SENSOR SHUTOFF DEVICE.

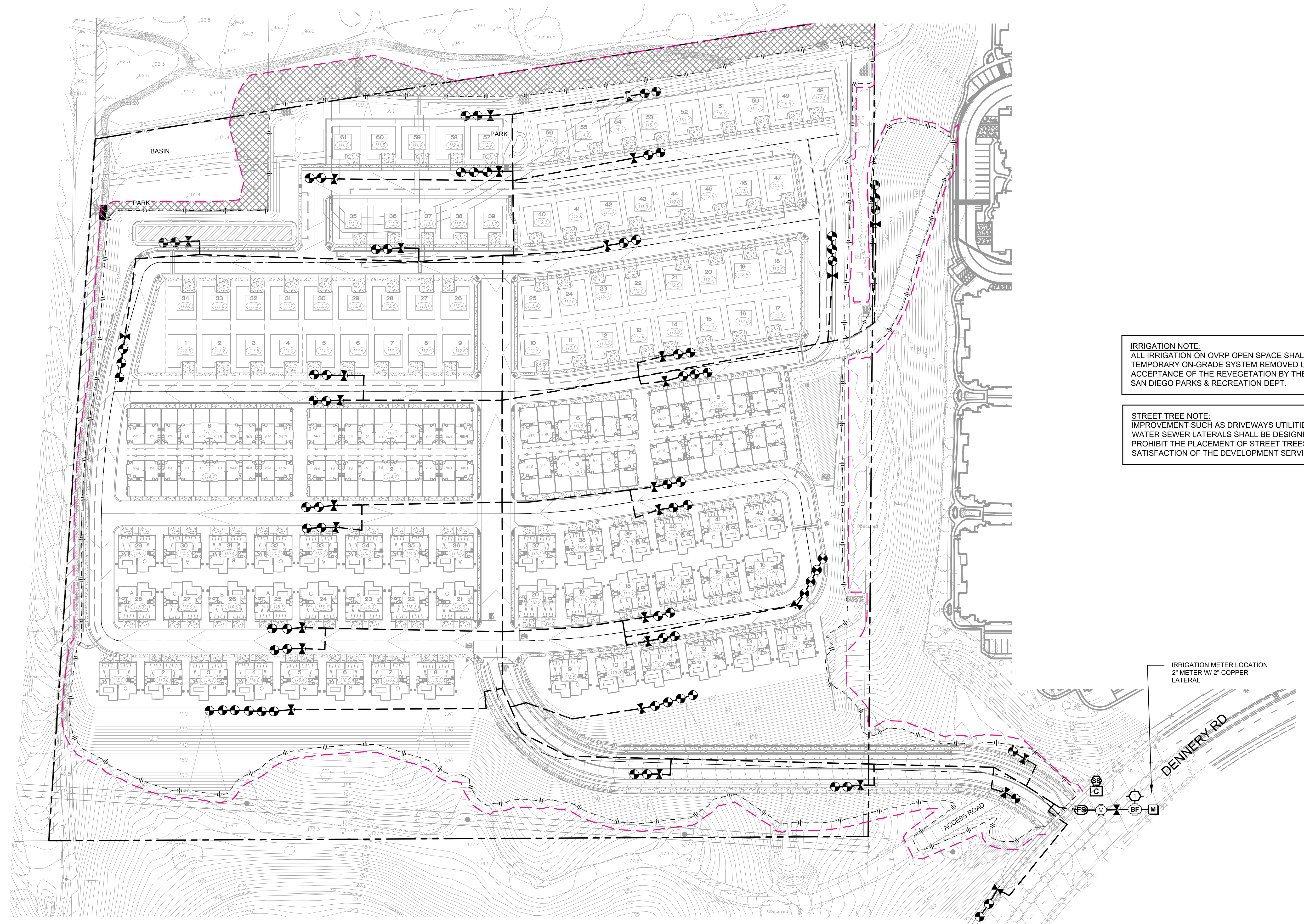
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**IRRIGATION SCHEDULE**

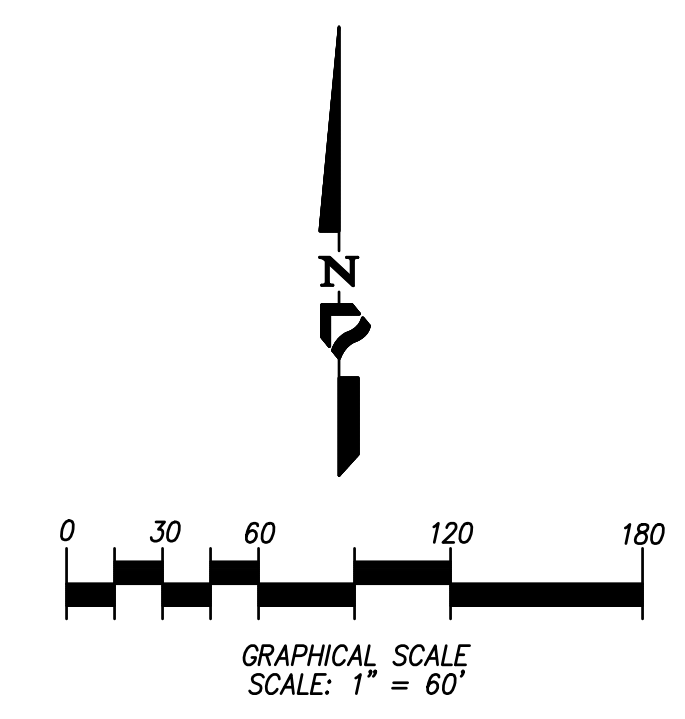
SYMBOL	MANUFACTURER/MODEL/DESCRIPTION
	Hunter ICV-G-R 1", 1-1/2", 2", and 3" Plastic Electric Remote Control Valves, Globe Configuration, with NPT Threaded Inlet/Outlet, for Commercial/Municipal Use. With Reclaimed Water ID, Purple Handle.
	HIT (Rain-Pro) BVS PVC Ball Valve, Slip Socket Connection, 1/2" (1.27cm) - 4" (10.16cm), same size as pipe. Place in a NDS 6" round valve box.
	Hunter ICV-G-R 2" 1", 1-1/2", 2", and 3" Plastic Electric Master Valve, Globe Configuration, with NPT Threaded Inlet/Outlet, for Commercial/Municipal Use. With Reclaimed Water ID, Purple Handle.
	Fabco 825Y 2" Reduced Pressure Backflow Preventer
	Hunter PED-SS-A2C-225D-SS 225-Station decoder controller with one (3) A2C-D75 module in an outdoor stainless steel pedestal. Contractor to provide all needed decoders and surge suppression as recommended per manufacturer
	Hunter Solar-Sync Solar, rain freeze sensor with outdoor interface, connects to Hunter PCC, Pro-C, and I-Core Controllers, install as noted. Includes 10 year lithium battery and rubber module cover, and gutter mount bracket. Wired.
	Badger Model IR-220P
	V.I.T. Products SBBC-225S Low profile, tube and wire construction smooth touch surface, stainless steel backflow enclosure. 23.5"L, 28"H, 17.75"W (59.69cm L, 71.12cm H, 45.08cm W).
	Water Meter 2" Nakano POC
	Irrigation Mainline: PVC Schedule 40

**IRRIGATION NOTE:**  
 ALL IRRIGATION ON OVRP OPEN SPACE SHALL BE A TEMPORARY ON-GRADE SYSTEM REMOVED UPON ACCEPTANCE OF THE REVEGETATION BY THE CITY OF SAN DIEGO PARKS & RECREATION DEPT.

**STREET TREE NOTE:**  
 IMPROVEMENT SUCH AS DRIVEWAYS UTILITIES, DRAINS AND WATER SEWER LATERALS SHALL BE DESIGNED SO AS NOT TO PROHIBIT THE PLACEMENT OF STREET TREES. ALL TO THE SATISFACTION OF THE DEVELOPMENT SERVICES DEPARTMENT.



IRRIGATION METER LOCATION  
 2" METER W/ 2" COPPER  
 LATERAL



"I AM FAMILIAR WITH THE REQUIREMENTS FOR LANDSCAPE AND IRRIGATION PLANS CONTAINED IN THE CITY OF CHULA VISTA'S LANDSCAPE MANUAL AND WATER CONSERVATION ORDINANCE, PER MUNICIPAL CODE CHAPTER 20.12. I HAVE PREPARED THIS PLAN IN COMPLIANCE WITH THOSE REGULATIONS AND THE LANDSCAPE MANUAL AND AGREE TO COMPLY WITH ALL REQUIREMENTS WHEN SUBMITTING CONSTRUCTION DOCUMENTS. I CERTIFY THAT THE PLAN IMPLEMENTS THOSE REGULATIONS TO PROVIDE EFFICIENT USE OF WATER."

SIGNATURE \_\_\_\_\_ DATE \_\_\_\_\_

**CONCEPTUAL IRRIGATION PLAN**



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	REVISION 1: 2/17/2022
	<b>ORIGINAL DATE:</b> 9/15/2021
<b>SHEET TITLE:</b> LANDSCAPE CONCEPT IRRIGATION PLAN	<b>SHEET</b> 18 <b>OF</b> 20
<b>DEP #</b> _____	



MASONRY BLOCK WALL - SMOOTH SHOTBLAST



COMPOSITE WOOD SPLIT 2-RAIL FENCE



VINYL FENCING - 3' AND 6' TALL / CEDAR WOOD FENCING



POTENTIAL MONUMENT SIGN



SMOOTH CONCRETE WALL CAP



MASONRY AND GLASS VIEW FENCE



ADVENTURE PLAYGROUND (AGES 5-12) WITH BOULDER CLIMBER, LOG STEPPERS, AND LOG BALANCE BEAM



TOPCAST #3 - ACID ETCH CONCRETE FINISH



POTENTIAL OVERHEAD STRUCTURE - SHADE SAIL



PLAYGROUND EQUIPMENT (AGES 2-5) - SPRING RIDERS



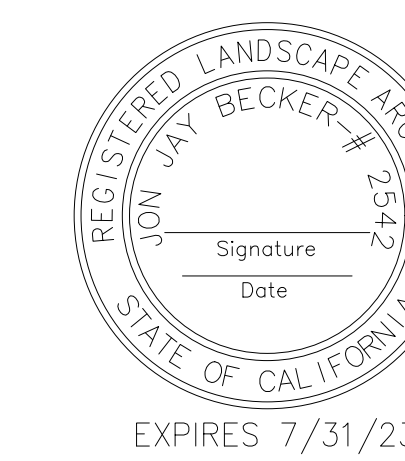
CONCRETE COLOR WITH TOPCAST FINISH / BROOM FINISH



ENHANCED PAVING



STEEL AND COMPOSITE WOOD BENCHES

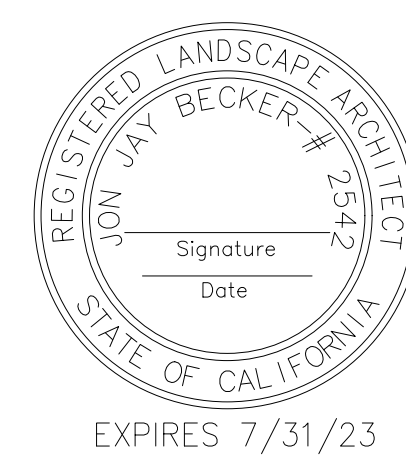
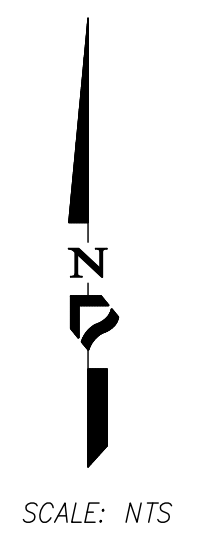


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SHEET TITLE: LANDSCAPE CONCEPT IMAGES	SHEET 19 OF 20
DEP # _____	



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<b>ORIGINAL DATE:</b> 9/15/2021	
<b>SHEET TITLE:</b> LANDSCAPE CONCEPT PLAN: PARK CONNECTIONS	<b>SHEET</b> 20 <b>OF</b> 20
<b>DEP #</b> _____	