

**FIRST AMENDMENT
to Agreement between the
City of Chula Vista
and**

**KTU&A For Additional Design, Pre-construction and Construction Administration services for
the Eucalyptus Park renovations**

This FIRST AMENDMENT "Amendment" is entered into effective as of February 13, 2024 "Effective Date" by and between the City of Chula Vista ("City") and KTU&A ("Consultant") with reference to the following facts:

RECITALS

WHEREAS, City and Consultant previously entered into a Consultant Services Agreement with KTU&A to provide design, pre-construction, and construction administration for Eucalyptus Park renovations "Original Agreement," on October 25, 2022; and

WHEREAS, City and Consultant desire to amend the Original Agreement to update the Scope of Work to include updating the Park design and preparing construction drawings to reflect the approved Park Master Plan as presented to City Council on June 6, 2023 and December 12, 2023, as more specifically set forth below.

NOW, THEREFORE, in consideration of the above recitals and the mutual obligations of the parties set forth herein, City and Consultant agree as follows:

1. The Original Agreement is amended as follows:

- a. Exhibit A, Section 2.A. Required Services, General Description:
Add the following at the end of the section: "In addition, they shall provide design, pre-construction, and construction administration for the Park Master Plan improvements, as approved by City Council on June 6, 2023 (see attached Exhibit A-1), "Additional Services No. 1," and December 12, 2023 (see attached Exhibit A-2), "Additional Services No. 2."
- b. Exhibit A, Section 2.B. Required Services, Detailed Description:
Add the following at the end of the section: "See Exhibits A-1 and A-2 for descriptions of additional Required Services."
- c. Exhibit A, Section 3. Term:
Update to: "In accordance with Section 1.10 of this Agreement, the term of this Agreement shall begin October 26, 2022 and end on June 30, 2026 for completion of all Required Services."
- d. Exhibit A, Section 4.A., Form of Compensation

Revise the chart to read as follows:

City of Chula Vista Amendment to Agreement No.: 2022-174
Consultant Name: KTU&A

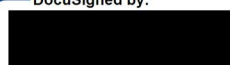
Task No.	Deliverable	Original Agreement Amount	Additional Services No. 1 Amount (Exhibit A-1)	Additional Services No. 2 Amount (Exhibit A-2)
Task 1	Project Kickoff / Surveys	\$70,688	N/A	N/A
Task 2	Program Plan	\$67,078	\$32,049	\$49,304
Task 3	50% Construction Documents	\$147,641	\$15,198.50	N/A
Task 4	85% Construction Documents	\$76,959	\$35,967.50	\$125,415
Task 5	100% Construction Documents	\$58,909	\$38,977	\$139,142
Task 6	Bid Support, CA, Record Drawings	\$64,138	\$37,718	\$58,904
	Direct costs (Arborist \$4,320; Survey \$13,040; Geotech \$13,600)	\$31,020	N/A	N/A
	Total	\$516,433	\$159,910	\$372,765
	Total Agreement Amount, As Amended to include Additional Services Nos. 1 and 2	\$1,049,108		

- e. Exhibit A, Section 4.B., Reimbursement of Costs: Change “June 30, 2025” to “June 30, 2026” and change “\$516,433” to “\$1,049,108.”
2. Except as expressly provided herein, all other terms and conditions of the Original Agreement shall remain in full force and effect.
 3. Each party represents that it has full right, power and authority to execute this FIRST Amendment and to perform its obligations hereunder, without the need for any further action under its governing instruments, and the parties executing this Amendment on the behalf of such party are duly authorized agents with authority to do so.

**SIGNATURE PAGE TO FIRST
AMENDMENT
TO
A CONSULTANT SERVICES AGREEMENT WITH KTU&A TO PROVIDE DESIGN,
PRE-CONSTRUCTION, AND CONSTRUCTION ADMINISTRATION FOR
EUCALYPTUS PARK RENOVATIONS**

KTU&A

CITY OF CHULA VISTA

DocuSigned by:

BY: F5FC2091EBAA431...
CHRIS LANGDON*
PRINCIPAL

BY: _____
MARIA V. KACHADOORIAN
CITY MANAGER

**Signature Authorization Required*

APPROVED AS TO FORM

BY: _____
Jill D.S. Maland
Lounsbery Ferguson Altona & Peak
Acting City Attorney



3916 Normal Street
San Diego, CA 92103
619.294.4477
www.ktua.com

Certificate of Secretary

I am the duly qualified and acting Secretary of KTU&A, a California Corporation.

The following is a true copy of a resolution duly adopted by the Board of Directors of the corporation at the meeting duly held on February 6, 2024 and entered in the minutes of such meeting in the minute book of the corporation.

"Resolved that the individuals named as Directors on the attached list are authorized contract signers for the corporation".

The resolution is in conformity with the articles of incorporation and bylaws of the corporation, has never been modified or repealed, and is now in full force and effect.

Dated: February 6, 2024

A black rectangular box redacting the signature of the Secretary.

Joe Punsalan, Secretary

Joseph

**SEE ATTACHED
NOTARY FORM**

California All-Purpose Acknowledgment

A notary public or other officer completing this certificate verifies only the identity of the individual who signed the document to which this certificate is attached, and not the truthfulness, accuracy, or validity of that document

State of California
County of San Diego

On Feb. 6th, 2024, before me Elyce M. Dunkleberger, Notary Public,
personally appeared Joseph Punsalan

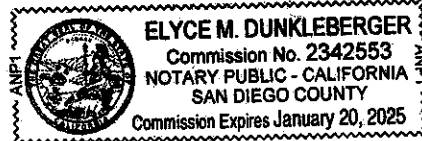
Name(s) of Signer(s)

who proved to me on the basis of satisfactory evidence to be the person(s) whose name(s) is/~~are~~ subscribed to the within instrument and acknowledged to me that he/~~she~~/~~they~~ executed the same in his/~~her~~/~~their~~ authorized capacity(ies) and that by his/~~her~~/~~their~~ signature(s) on the instrument the person(s) or the entity upon behalf of which the person(s) acted, executed the instrument.

I certify under PENALTY OF PERJURY under the laws of the State of California that the foregoing paragraph is true and correct.

WITNESS my hand and official seal.

Signature of Notary Public



OPTIONAL

Description of Attached Document

Title or Type of Document Certificate of Secretary

Document Date: 02/06/24 Number of Pages (including this one) 2

Additional Information _____

Capacity(ies) Claimed by Signer

- ☐ Individual
☐ Corporate Officer- Title(s) _____
☐ Attorney-in-Fact
☐ Trustee
☐ Other : Signer Representing _____

Right Thumbprint of
Signer 1

Right Thumbprint of
Signer 2

CERTIFICATE OF SECRETARY

I certify that I am the secretary of KTUA&A and that the following persons hold positions in this corporation and/or shares in this corporation in the amount and form designated.

**KTUA Planning and Landscape Architecture
Contract Signing Authority
February 2024**

FULL AUTHORITY

SAN DIEGO, CALIFORNIA

Carpenter, Mark L.
Langdon, Christopher
Punalan, Joe
Whalen, Brooke P.

STANDARD AUTHORITY

SAN DIEGO, CALIFORNIA

Blatner-Pifer, Cheri A.
Everling, Bernard
Henderson, Timothy
Huwa, Jerod
Leon, Jacob

*These persons have authority to sign
contracts using unmodified KTUA
forms (not client-drafted contracts).*

Board of Directors (Approved in By-laws : 5)

Carpenter, Mark
Langdon, Christopher
Whalen, Brooke
Punsala, Joe
Huwa, Jerod

OFFICERS:

President Langdon, Christopher
Treasurer Carpenter, Mark
Secretary Punsalan, Joe
Vice President Whalen, Brooke
Vice President Huwa, Jerod
Vice President
Vice President
Vice President

Shareholders as of 3/6/23 (400 authorized common shares)

Carpenter, Mark	40.3335	Leon, Jacob	3.4452
Whalen, Brooke	24.0247	Huwa, Jerod	3.3508
Punsalan, Joe	23.9114	Bertulis, Tom	1.8111
Langdon, Christopher	20.4459	Bohannan, Aynsley	1.3729
Everling, Bernard	16.9700	Nunez, Stephen	1.0000
Blatner-Pifer, Cheryl	5.0004	Clemens, Matt	0.4383
Henderson, Timothy	5.0000	Gutierrez, Josef	0.4383
Jacobsen, Darren	4.7992	Samarin, Alex	0.2191
		Treasury Shares	247.4392


Joe Punsalan, Corporate Secretary

Feb 6, 2024
Date

**SEE ATTACHED
NOTARY FORM**

California All-Purpose Acknowledgment

A notary public or other officer completing this certificate verifies only the identity of the individual who signed the document to which this certificate is attached, and not the truthfulness, accuracy, or validity of that document

State of California
County of San Diego

On Feb. 6th, 2024, before me Elyce M. Dunkleberger, Notary Public,
personally appeared Joseph Punsalan

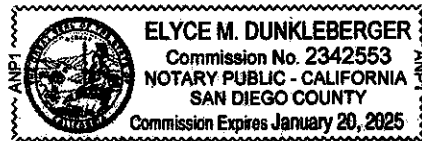
Name(s) of Signer(s)

who proved to me on the basis of satisfactory evidence to be the person(s) whose name(s) is/~~are~~ subscribed to the within instrument and acknowledged to me that he/~~she~~/they executed the same in his/~~her~~/their authorized capacity(ies) and that by his/~~her~~/their signature(s) on the instrument the person(s) or the entity upon behalf of which the person(s) acted, executed the instrument.

I certify under PENALTY OF PERJURY under the laws of the State of California that the foregoing paragraph is true and correct.

WITNESS my hand and official seal.

Signature of Notary Public



OPTIONAL

Description of Attached Document

Title or Type of Document Certificate of Secretary

Document Date: 2/6/24 Number of Pages (including this one) 2

Additional Information _____

Capacity(ies) Claimed by Signer

- ☐ Individual
☐ Corporate Officer- Title(s) _____
☐ Attorney-in-Fact
☐ Trustee
☐ Other : Signer Representing _____

Right Thumbprint of
Signer 1

Right Thumbprint of
Signer 2



3916 Normal Street
San Diego, CA 92103
540 E. Betteravia Road, Suite D 122
Santa Maria, CA 93454
619-294-4477 www.ktua.com

EXHIBIT A-1 ADDITIONAL SERVICE #1

February 5, 2024

Project: Eucalyptus Park Renovations - Additional Service #1

- Contract: 2022-174
- Additional Service #1

GENERAL SCOPE OF WORK DESCRIPTION

Consultant team formed by KTUA shall provide additional design, pre-construction, and construction administration services for the following scope of work:

Master plan update and preparation of construction drawings for the approved master plan presented to the City Council (see attached 6/6/2023 park master plan) / Re-design of the existing playground / Additional Structural Design of the ADA ramp / Design of widened sidewalk along 4th Avenue between Casa Casillas and the new concrete walk into the park site / Splash pad SCADA system improvements.

DETAILED SCOPE OF WORK DESCRIPTION

The following scope of work will be provided in addition to the scope of work outlined in Exhibit A of the original agreement.

Task 2 Program Plan and Community Outreach

Design of park master plan as approved by City Council

KTUA shall incorporate items back into the Master Plan design that were removed during the VE exercise and shall coordinate the following changes with the design team:

- a. Additional parking spaces
- b. Existing parking lot improvements
- c. Synthetic turf at multi-purpose field
- d. Shade at dog park
- e. Concrete walks and decomposed granite paths
- f. Fencing along the channel at C Street and 4th Avenue
- g. Zipline at children's playground

KTUA shall:

- Update project schedule to reflect the new timeline.
- Revise project base file and Photoshop rendering to reflect the design presented at second community workshop.
- Update the City Council presentation.

KTUA and design team shall:

- Conduct studies for bridge across channel and entry sign on corner of C Street and 4th Avenue.
- Design 4th Avenue sidewalk connector path.
- Survey existing conditions for addition of a concrete walk connection from the park site to the sidewalk on 4th Avenue.

Task 3 - 5 Construction Documents

Re-design of the Existing Playground Area

KTUA shall coordinate with playground manufacturers to select desired playground equipment, prepare conceptual playground plan and assist cost estimator with estimate for re-designed playground. Once conceptual plan is approved, KTUA shall prepare landscape construction plans and details, irrigation plans, planting plans and specifications for the new playground design in the 50%, 85%, 100% and final bid document drawing submittals. KTUA shall provide project management and coordination with the design team relating to the playground design.

The design team shall prepare civil improvement, grading and drainage plans for the re-design of the existing playground in the conceptual plan, 50%, 85%, 100%, and final bid document drawings. The cost estimator shall provide ROM estimate for conceptual playground design and an estimate of playground area design at each drawing milestone including the 50%, 85%, 100% and final bid document drawing milestone.

Additional Structural Engineering for ADA Ramp

KTUA design team shall generate 85% and 100% drawings, calculations and specifications for the ADA ramp. Calculations and drawings are to be stamped and signed by a California licensed Professional Engineer. Structural calculations to be submitted with 100% construction documents only. Design team shall address design comments from the Owner/project team and other disciplines as needed.

Widened Sidewalk along 4th Avenue between Casa Casillas and the New Concrete Walk into the Park Site

KTUA shall prepare demolition plans, landscape construction plans, planting and irrigation plans for the widening of the sidewalk in the 50%, 85%, 100% and final bid document drawings. Design team shall prepare improvement, grading and drainage plans for the widening of the sidewalk in the 50%, 85%, 100% and final bid document drawings. KTUA shall provide project management and coordination with the City and design team.

Splash Pad Improvements

KTUA shall coordinate with City, consultants and manufacturers and shall provide project management of design team. Design team shall provide consultant services to coordinate with Owner's BMS Consultant and SCADA integration with current BMS system. Design team shall incorporate splash pad system upgrades as discussed with City into 85%, 100% and final bid document drawings. Cost estimate shall be provided at 85%, 100% and Bid phases for new SCADA and SCADA security system splash pad improvements including SCADA panels, wiring, cameras and intrusion alarms. SCADA consultant shall provide drawing review of electrical drawing packages and shall coordinate with design team on SCADA system integration.

Task 6 Bidding and Construction Administration, and Record Drawings

Re-design of the Existing Playground Area

KTUA design team shall address RFI's, submittals and field changes relating to the playground received during the construction of the project.

Additional Structural Engineering for ADA Ramp

KTUA design team shall provide the following bid support, construction administration, and record drawings:

- a. Bid phase support to address RFI's and prepare bid addenda if required (1 hour max)
- b. Construction phase support to address RFI's and review submittals (3 hour max)
- c. Review contractor as-builts and generate record drawings

Splash Pad Improvements

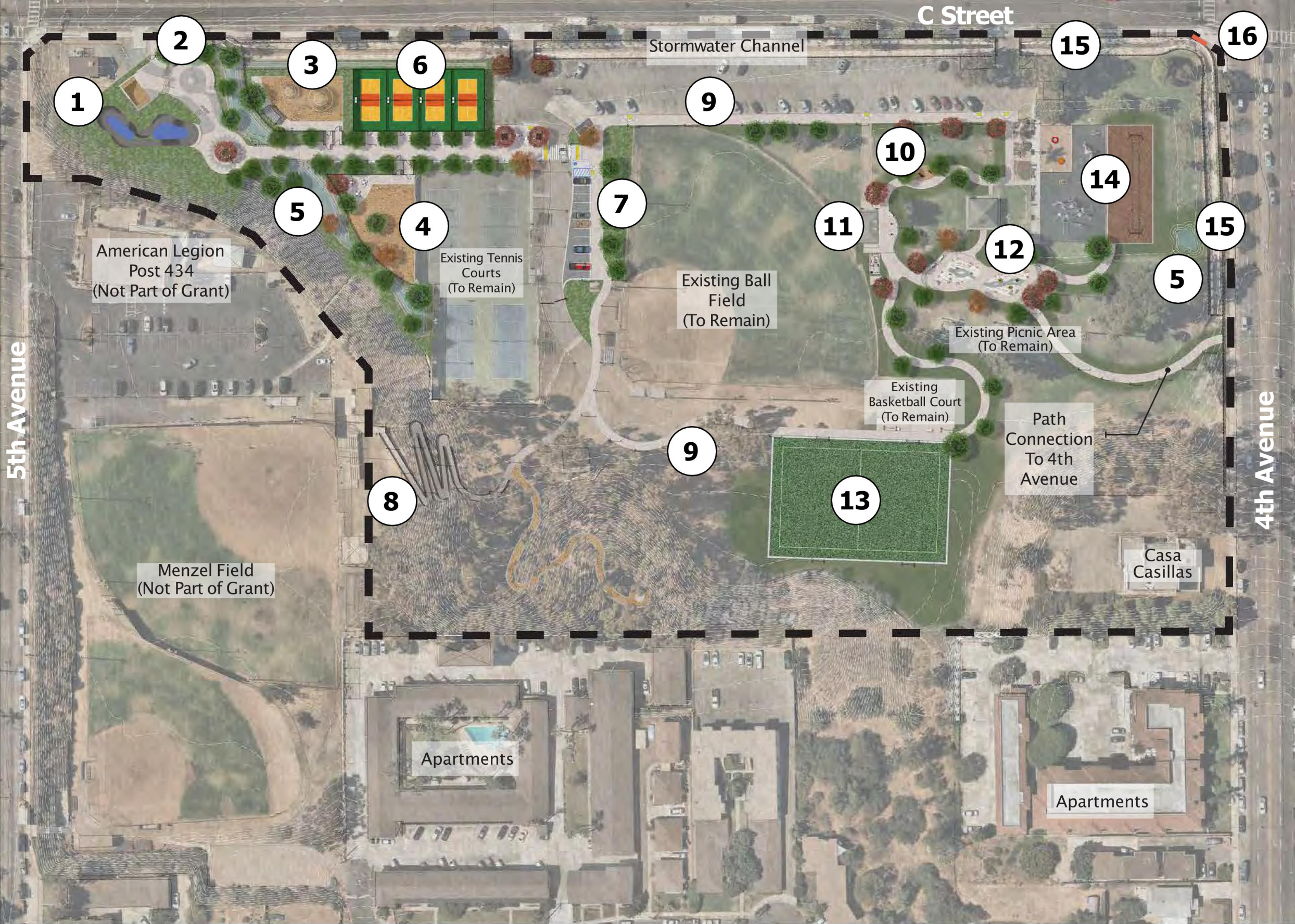
KTUA design team shall address splash pad RFIs and submittals during construction as related to electrical equipment and SCADA interface. Design team shall prepare record drawings based on contractor provided as-built markups/drawings. SCADA consultant shall provide site observation during construction.

ASSUMPTIONS AND UNDERSTANDINGS

- Existing fencing and planting will be removed along 4th Avenue by City staff to allow for surveying and review of existing conditions to occur.
- Preparation of Plumbing and Instrumentation Diagrams for SCADA/splash pad system is excluded.

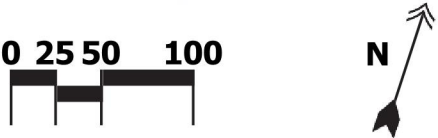
LEGEND:

- 1 Bike Park
- 2 Skate Park
- 3 Small Dog Park
- 4 Large Dog Park
- 5 Stormwater Swale & Basins
- 6 Pickleball Courts (4)
- 7 Additional Parking Lot (13 New Spaces)
- 8 ADA Ramp
- 9 Perimeter Trail
- 10 Fitness Equipment
- 11 Showers & Changing Station
- 12 Interactive Water Feature
- 13 Lit Artificial Turf Field (7vs7 soccer 165'x105')
- 14 New Playground & Surfacing
- 15 New Channel Fencing
- 16 Park Monument Sign



PARK MASTER PLAN

STATE GRANT AND ARPA FUNDS – COUNCIL APPROVED 6/6/2023





3916 Normal Street
San Diego, CA 92103
540 E. Betteravia Road, Suite D 122
Santa Maria, CA 93454
619-294-4477 www.ktua.com

EXHIBIT A-2 ADDITIONAL SERVICE #2

February 5, 2024

Project: Eucalyptus Park Renovations - Additional Service #2

- Contract: 2022-174
- Additional Service #2

GENERAL SCOPE OF WORK DESCRIPTION

Consultant team formed by KTUA shall provide additional design, pre-construction, and construction administration services for the following scope of work:

Addition of improvements to existing park amenities as indicated in the park master plan presented to the City Council on 12/12/2023 (see attached 12/12/23 park master plan). Additional features include lighting, tennis courts, shade shelters, restroom building, basketball court, softball field, storage building, trash enclosure, perimeter fencing, and concrete drainage channel improvements.

DETAILED SCOPE OF WORK DESCRIPTION

The following scope of work will be provided in addition to the scope of work outlined in Exhibit A of the original agreement.

Task 2 Program Plan and Community Outreach

Final Master Plan

KTUA will coordinate with consultants to provide a conceptual site plan that incorporates existing park facility improvements as approved by City Council. The conceptual site plan will be in construction document format with applicable legend and notes for City review and approval. KTUA and sub-consultants will attend up to (2) meetings with City staff to verify site plan and scope of work prior to incorporation into construction documents. KTUA shall provide meeting minutes and updated project schedule for City.

Task 4 - 5 Construction Documents

KTUA and design team shall update the plans required in Exhibit A of the original Agreement to include the additional scope of work in the remaining construction document milestones (85%, 100%, and Bid). Design team shall provide updated drawings, specifications, and cost estimates as described below:

Lighting Improvements

KTUA shall prepare 85%, 100% and Bid PS&E's for lighting improvements at tennis courts and softball field. Tennis court lighting scope of work includes removal of existing tennis court light fixtures, replacement with new pole top lighting, coordination with structural engineer on light pole footings, new conduit and wire

runs, new lighting photometric calculations, revisions to Title 24 calculations, and updates to panel schedule and load calculations. Softball field lighting scope of work includes coordination with field lighting designer for softball field lighting (MUSCO assumed), revisions to Title 24 calculations, and updates to panel schedule and load calculations. KTUA shall coordinate with City, lighting manufacturer and electrical engineer on lighting improvements and provide QA/QC review of electrical drawings.

Tennis Court Improvements

The design team shall prepare 85%, 100% and Bid PS&E's for tennis court improvements including replacement of existing entry walkways, replacement of existing fencing and gates, replacement of existing nets, re-surfacing and striping of existing courts, replacement of existing benches and bleachers, addition of tennis racks, signage, and planting and irrigation in bleacher area. Structural engineer to include design and coordination of 12' tall chainlink fence foundations, poles, and horizontal rails. Civil engineer shall incorporate tennis court scope of work into grading and improvement plans and provide necessary revisions to demolition plan, erosion control plan, drainage study, SWQMP and SWPPP. KTUA shall coordinate with City and design team on tennis court improvements and provide QA/QC review of civil/structural drawings.

Shade Shelter Improvements

The design team shall prepare 85%, 100% and Bid PS&E's for shade shelter improvements including pre-fabricated metal shade shelter drawings and product cut sheets, hardscape, planting and irrigation repairs/replacement. Scope of work shall include three new shade shelters with (2 total) unique shelter designs to replace existing shelters, new concrete slabs, and site furnishings underneath shade shelters. Adjacent turf and irrigation to be repaired/replaced in kind where disturbed by construction activities. Structural scope to include shade shelter footings. Civil engineer shall incorporate shade shelter scope of work into grading and improvement plans and provide necessary revisions to demolition plan, erosion control plan, drainage study, SWQMP and SWPPP. KTUA shall coordinate with City and design team on shade shelter improvements and provide QA/QC review of civil/structural drawings.

Restroom Building Improvements

The design team shall prepare 85%, 100% and Bid PS&E's for restroom building and associated site improvements. Architectural scope of work shall include the removal of the interior CMU restroom partitions and replacement with phenolic or stainless steel partitions providing the same fixture count and ADA compliant stalls. A new roof will be provided to match the existing roof configuration, new skylights to match existing sizes, and new floor finish for the existing slab on grade. New plumbing fixtures and bathroom accessories (soap dispenser, toilet paper dispenser, paper towel dispenser, and baby changing station in each restroom) will be provided along with new paint and graffiti coating for the building wall. Site work shall include replacement of existing walkway from parking lot to restroom building. Plumbing engineer shall conduct field investigation to confirm information shown on provided as-built drawings and to determine visible and readily accessible as-built conditions as they relate to major plumbing components within the project area and scope. Plumbing engineer scope of work shall include selective demolition of existing plumbing fixtures and equipment, domestic cold water system design, DWV system design development, coordination with civil engineer to determine locations for utility connections for domestic water and sanitary sewer within 5 feet of the building, coordination with City for fixture types, plumbing plans, plumbing riser diagrams, plumbing equipment and fixture schedules, plumbing installation details, and specification preparation for all plumbing components of the project. Specifications will utilize owner master specification templates. Construction documents will be updated to reflect the City and design review comments and coordination with City to determine space requirements for plumbing equipment. Electrical scope of work shall include replacement of existing fixtures with new LED light fixtures, photometric calculations for the restroom building, revisions to Title 24 calculations, and updates to panel schedule and load calculations. Civil engineer shall incorporate restroom building scope of work into grading and improvement plans and

provide necessary revisions to demolition plan, erosion control plan, drainage study, SWQMP and SWPPP. KTUA shall coordinate with City and design team on restroom building improvements and provide QA/QC review of all drawings.

Basketball Court Improvements

The design team shall prepare 85%, 100% and Bid PS&E's for basketball court improvements including replacement of existing in-ground basketball hoop and hardscape resurfacing and striping. Adjacent turf and irrigation to be repaired/replaced in kind where disturbed by construction. Structural scope of work shall include new basketball hoop foundation/footings. Civil engineer shall incorporate basketball court scope of work into grading and improvement plans and provide necessary revisions to demolition plan, erosion control plan, drainage study, SWQMP and SWPPP. KTUA shall coordinate with City and design team on basketball court improvements and provide QA/QC review of civil/structural drawings.

Softball Field Improvements

The design team shall prepare 85%, 100% and Bid PS&E's for softball field improvements including replacement of existing fencing, replacement of existing backstop with a new prefabricated backstop with padding, addition of new bleachers, dug-outs, dug-out shade canopies, litter receptacles, paving at bleacher seating areas, and new planting and irrigation improvements adjacent to bleacher seating areas. Adjacent turf and irrigation to be repaired/replaced in kind where disturbed by construction. Structural scope of work shall include prefabricated softball field backstop footings and dug-out shade canopy foundations, posts, and roof framing. Civil engineer shall incorporate softball field scope of work into grading and improvement plans and provide necessary revisions to demolition plan, erosion control plan, drainage study, SWQMP and SWPPP. KTUA shall coordinate with City and design team and provide QA/QC review of structural/civil drawings.

Storage Building Improvements

The design team shall prepare 85%, 100% and Bid PS&E's for storage building and associated site improvements. Architectural scope of work shall include the replacement of roll-up door and two man doors as well as re-painting of the building. Site scope shall include hardscape improvements including new accessible path of travel walkway to the storage building from the park perimeter walkway. Civil engineer shall incorporate storage building scope of work into grading and improvement plans and provide necessary revisions to demolition plan, erosion control plan, drainage study, SWQMP and SWPPP. KTUA shall coordinate with City and design team and provide QA/QC review of architectural/civil drawings.

Trash Enclosure Improvements

The design team shall prepare 85%, 100% and Bid PS&E's for trash enclosure improvements including demolition of existing trash enclosure, repair of adjacent planting and irrigation, a new pre-fabricated trash enclosure structure and associated concrete paving, new planting and irrigation improvements adjacent to the trash enclosure, curbing and striping around the trash enclosure. Structural scope shall include trash enclosure structure footings which shall be designed to resist liquefaction induced settlement. Civil engineer shall incorporate trash enclosure scope of work into grading and improvement plans and provide necessary revisions to demolition plan, erosion control plan, drainage study, SWQMP and SWPPP. KTUA shall coordinate with City and design team and provide QA/QC review of structural/civil drawings.

Perimeter Fencing Improvements

The design team shall prepare 85%, 100% and Bid PS&E's for perimeter fence improvements including replacement of existing perimeter fencing along the remainder of C Street and the channel and planting and irrigation improvements facing 4th Avenue and C Street between the new fencing and the existing sidewalk. Structural scope shall include perimeter fence bridge connections. KTUA shall coordinate with City and design team and provide QA/QC review of structural drawings.

Concrete Drainage Channel Improvements

The design team shall prepare 85%, 100% and Bid PS&E's for concrete drainage channel improvements including staining of concrete channel with penetrating earthy-toned color stain. KTUA shall coordinate with City and suppliers and provide QA/QC review of supplier specifications.

Estimate of Probable Construction

The cost estimator shall prepare construction cost estimates which include the additional scope of work outlined above at each of the remaining construction document milestones including 85%, 100% and bid levels.

Task 6 Bidding and Construction Administration, and Record Drawings

Lighting Improvements

KTUA and electrical engineer shall address lighting RFIs and submittals during construction and shall prepare record drawings based on contractor provided as-built markups/drawings.

Tennis Court Improvements

KTUA, civil engineer, and structural engineer shall address tennis court RFIs and submittals during construction. KTUA shall attend (1) additional site observation visit during tennis court construction.

Shade Shelter Improvements

KTUA, civil engineer, and structural engineer shall address shade shelter RFIs and submittals during construction.

Restroom Building Improvements

KTUA and design team shall address general restroom building RFIs and submittals during construction. Architectural scope shall include architectural RFIs (maximum of 8) and submittals (maximum of 12 original and 4 re-submittals) during construction, site observations during construction (2 total) and preparation of architectural record drawings for the restroom improvements (PDFs). Plumbing scope shall review of the plumbing sub-contractors' submittals for general conformance with the construction documents. Reviews of each system or product will be limited to two (2) submittals. If additional reviews for the same system, not necessarily the same manufacturer, are required then the provisions of Additional Services of this proposal will apply. Plumbing engineer shall attend up to two (2) virtual construction meetings regarding plumbing improvements during the construction phase, respond to plumbing sub-contractor's questions and inquiries regarding interpretation of the plans and specifications, and issue addenda and construction change directives relating to plumbing improvements. Plumbing engineer shall attend a scheduled site visit near project completions, to review the installation and construction of plumbing improvements, in general, and compare their conformance with the construction documents (plans and specifications). If additional site visits are required, the provisions of Additional Services herein will apply. Plumbing engineer shall prepare plumbing improvement record drawings using addenda, ASI and RFI's generated during construction and from drawings prepared by the plumbing sub-contractors. The "record drawing" revisions will be incorporated into the record plumbing drawings and plumbing engineer shall not be responsible for tracking the changes, creating markups for the contractor, interpreting the contractor markups or visiting the site to verify the accuracy of the contractor's markups. Electrical scope shall include addressing restroom building electrical RFIs and submittals during construction, one (1) additional site observation visit during construction, and preparation of electrical record drawings based on contractor provided as-built markups/drawings.

Basketball Court Improvements

KTUA, civil engineer, and structural engineer shall address basketball court RFIs and submittals during construction.

Softball Field Improvements

KTUA, civil engineer, and structural engineer shall address softball field RFIs and submittals during construction. KTUA shall attend (1) additional site observation visit during softball field construction.

Storage Building Improvements

KTUA, architect and civil engineer shall address general storage building RFIs and submittals during construction. Architectural scope shall include RFIs (maximum of 4) and submittals (maximum of 4 original and 2 re-submittals) during construction, one site observation visit, and preparation of record drawings for the storage building improvements (PDFs).

Trash Enclosure Improvements

KTUA, civil engineer, and structural engineer shall address trash enclosure RFIs and submittals during construction. KTUA and structural engineer shall each attend (1) additional site observation visit during trash enclosure construction.

Perimeter Fencing Improvements

KTUA and structural engineer shall address perimeter fencing RFIs and submittals during construction.

Concrete Drainage Channel Improvements

KTUA shall address concrete drainage channel RFIs and submittals during construction.

ASSUMPTIONS AND UNDERSTANDINGS

- Musco lighting fixtures are assumed for the softball field lighting and structural engineering of the footings for these fixtures is assumed to be per the manufacturer not the design team.
- Design team assumes that the same light fixture and associated pole height and footing proposed at the new pickleball courts will be used at the existing tennis courts.
- Design of new concrete paving or post-tension slab at the existing tennis courts to replace the existing slab is excluded from the scope of work.
- Design of more than two unique shade shelters is excluded from the current scope of work.
- Replacement of the existing concrete slab at the basketball courts is excluded from the scope of work.
- Prefabricated softball field backstop is assumed. Custom backstop is excluded from the scope of work.
- Shade canopies are proposed only at the field dug-out areas. Shade canopies at bleacher seating areas are excluded from the scope of work.
- Prefabricated trash enclosure is assumed. Custom trash enclosure design is excluded from the scope of work.
- City will approve a prefabricated trash enclosure if it complies with the City standard requirements.
- Improvements to the concrete drainage channel are assumed to include only the staining of the existing concrete channel. Additional aesthetic treatments are excluded from the scope of work.
- The addition of a Eucalyptus Grove overlook area at the ADA ramp to Menzel Field is excluded from the scope of work.
- Design Team will request a restart fee and across-the-board escalation of awarded fees if the project is put on hold at any point for 6 months or longer.
- Replacement of the restroom building roof assumes the beam/rafters/ and tongue and groove panels are in good condition and only the roof tiles will be replaced with a metal roof.

LEGEND:

- 1 Lighting
- 2 Tennis Courts
- 3 Shade Structures
- 4 Restroom Building
- 5 Basketball Court
- 6 Softball Field
- 7 Storage Building
- 8 Trash Enclosure
- 9 Perimeter Fence
- 10 Concrete Channel



PARK MASTER PLAN

ARPA FUNDS – COUNCIL APPROVED 12/12/2023

