

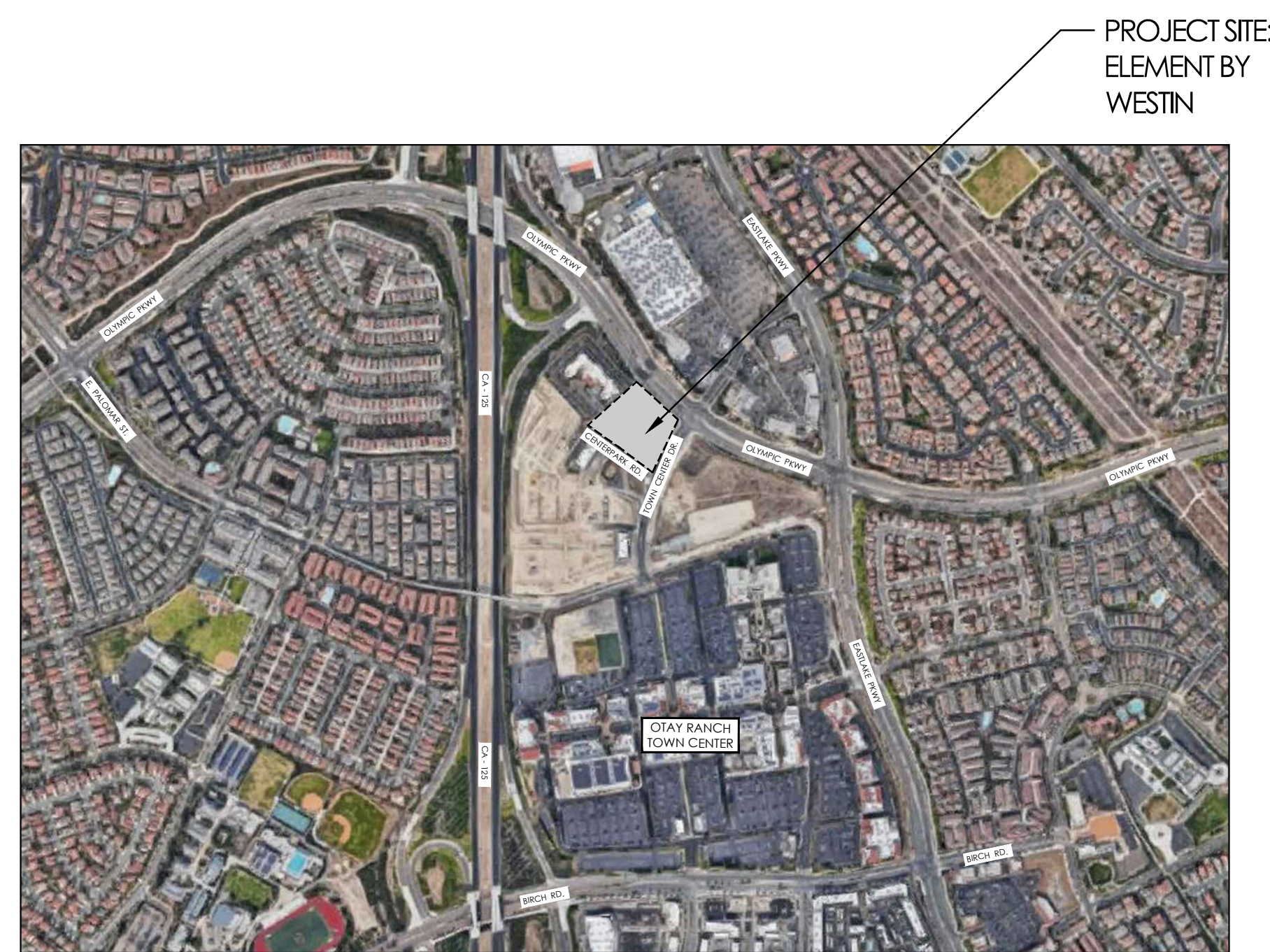
ELEMENT HOTEL LANDSCAPE

OTAY RANCH - FREEWAY COMMERCIAL NORTH
2045 Center Park Road

DESIGN REVIEW DR22-0020

SHEET INDEX

T-1	COVER SHEET & DESIGN OBJECTIVES
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Location Map N.T.S.

PROJECT DESCRIPTION

ELEMENT HOTEL RESORT STYLE POOL AND SPA AREA, BUILDING PERIMETER LANDSCAPE AND AMENITIES, AND PARKING LOT LANDSCAPE IMPROVEMENTS

LANDSCAPED AREAS

TOTAL LANDSCAPED AREA: 27,662 SF (22%)
TOTAL SITE AREA: 128,589 SF

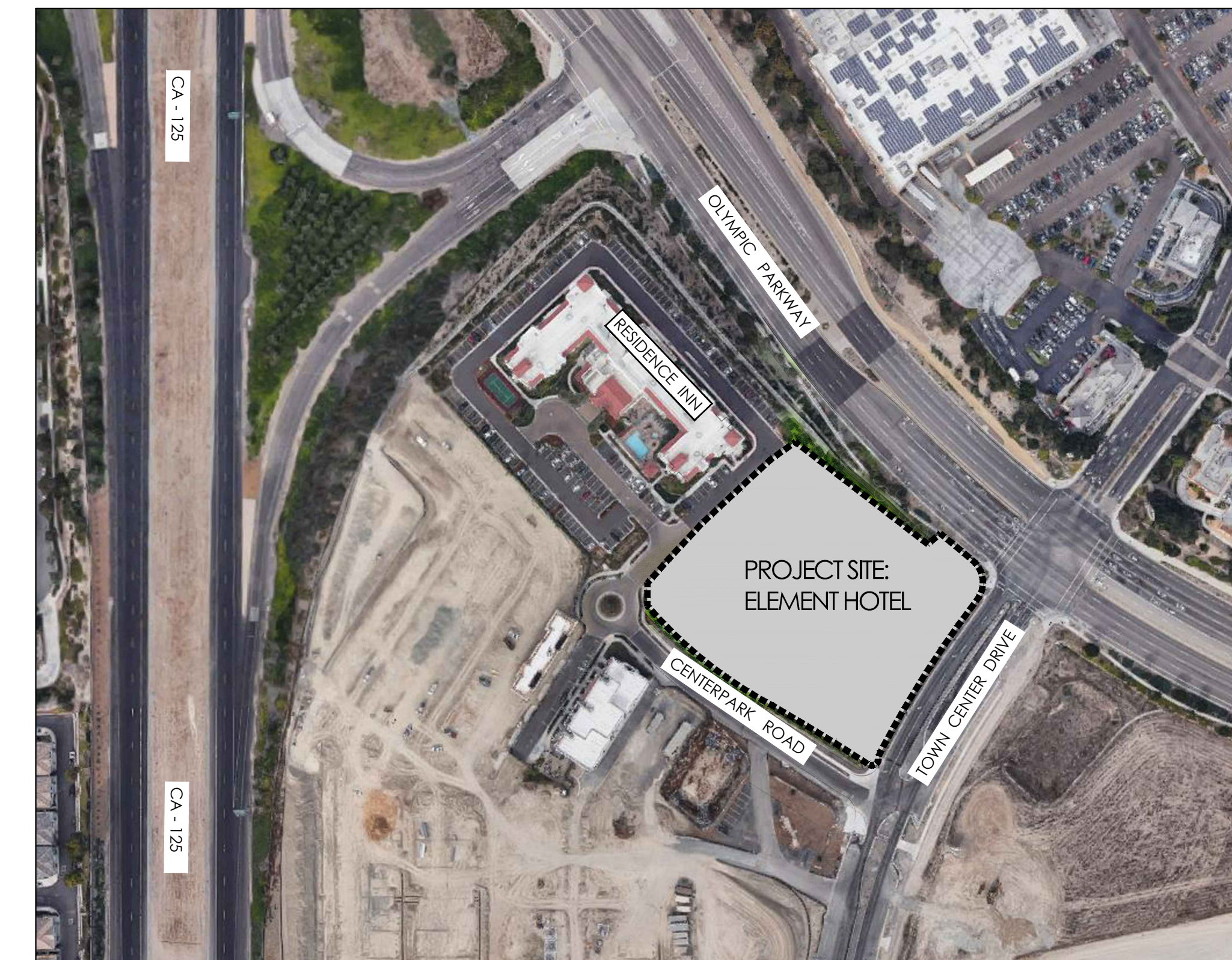
ANNUAL MAXIMUM APPLIED WATER ALLOWANCE (MAWA): 331,951 GPY

LANDSCAPE DESIGN OBJECTIVES

- All new landscaping will be in accordance with the following documents; City of Chula Vista's guidelines:
 - The City of Chula Vista Landscape Water Conservation Ordinance
 - The City of Chula Vista Grading Ordinance
- The design theme, abstract Spanish architecture with a contemporary California influence is established in the architectural elevations and features. These architectural elements shall be considered and enhanced with plantings of this design character, which may include:
 - Selecting trees that will provide filtered shade while maintaining a semitransparent view of the architectural features.
 - Creating a series of horizontal planes through the use of canopy trees, shrub forms and accent colors to reflect the architectural forms.
 - The use of vertical elements, such as narrow trees, decorative fencing and light features, to contrast the long architectural planes, while maintaining the project's geometry.
- All plant material selected for use will be of a type known to be successful in the area or in similar climatic and soil conditions.
- The plant palette provided in this document outlines a list of plant material to select from when designing the landscape for this project. Substitutions may be required due to availability, soils test results, or other influences.
- A soil test by a qualified agronomist shall further influence plant materials and installation techniques. All soils will be fertilized, amended, and tilled to conform to recommendations made by a soil testing laboratory and/or landscape architect in order to promote healthy and vigorous plant growth.
- Color from plant foliage, bark, or flowers, will be utilized to create a friendly, warm, and visually exciting landscape environment. Thematic color schemes will be utilized in developing project identity.

NOTE:

- Landscape impacts to existing Olympic Parkway streetscape (CV Drawing #02098) shall be documented in as-built drawings and approved by all applicable governing agencies.



Site Map N.T.S.

OWNER
VILLAGE II TOWN CENTER
20 CORPORATE PLAZA DRIVE
NEWPORT BEACH, CA 92660
619.234.4050

APPLICANT
VILLAGE II TOWN CENTER
20 CORPORATE PLAZA DRIVE
NEWPORT BEACH, CA 92660
619.234.4050

CIVIL ENGINEER
HUNSAKER & ASSOCIATES
9707 WAPLES STREET
SAN DIEGO, CA 92121
858.558.4500

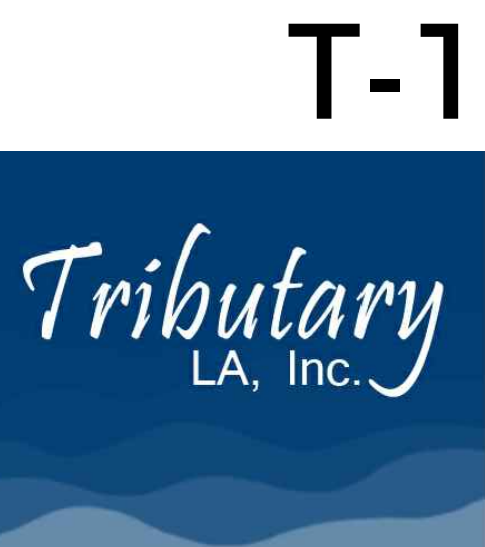
ARCHITECT
AXIS / GFA
1130 WESTWOOD BLVD
LOS ANGELES, CA 90024
310.209.7520

LANDSCAPE ARCHITECT
TRIBUTARY LA, INC.
2725 JEFFERSON STREET, SUITE 14
CARLSBAD, CA 92008
760.434.9300

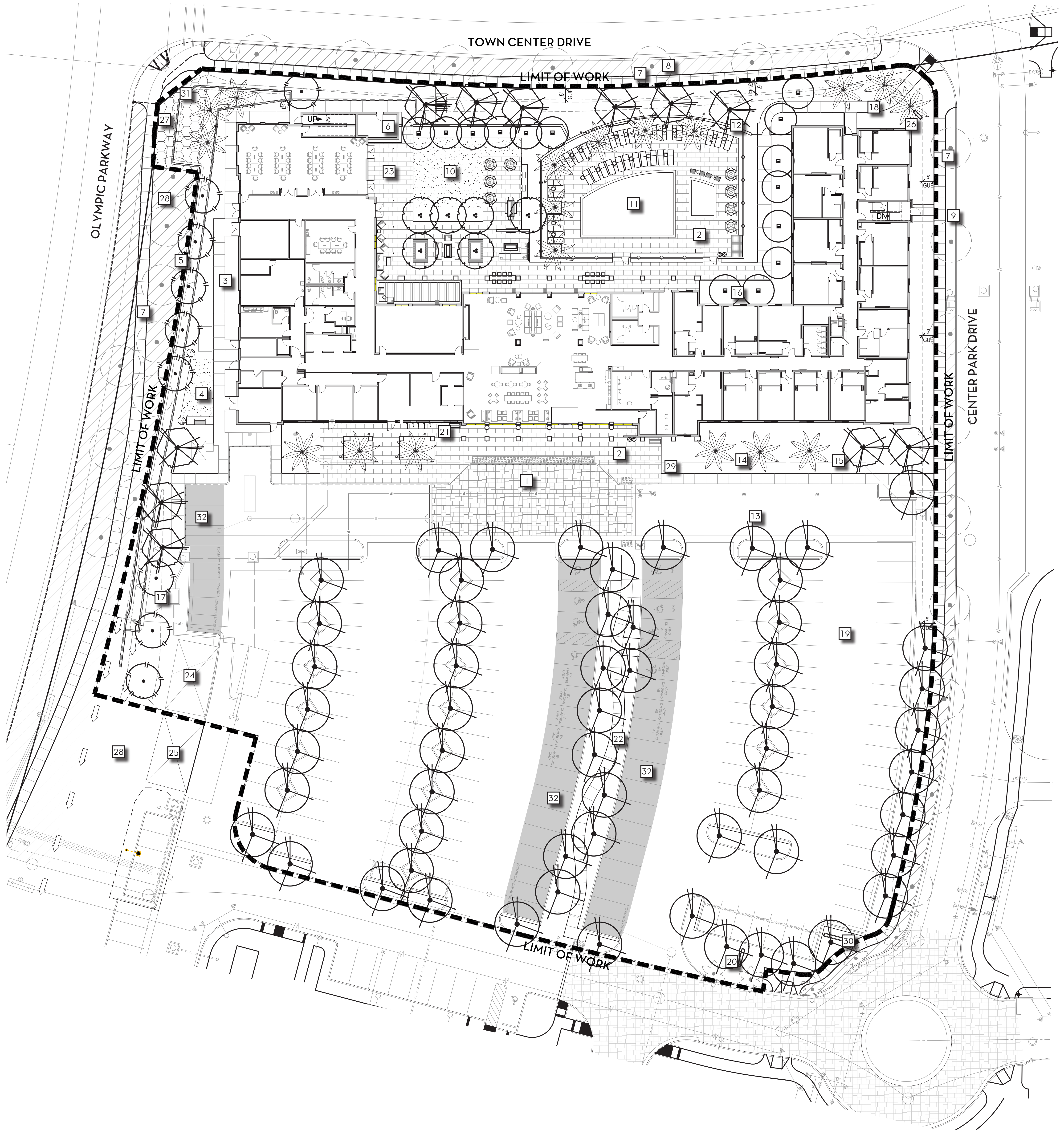
GOVERNING MUNICIPALITY
THE CITY OF CHULA VISTA
276 FOURTH AVENUE
CHULA VISTA, CA 91910
619.691.5031

ELEMENT HOTEL
Chula Vista, CA

Scale.....
Project..... 18.021
Date..... 18 Jan 23



2725 Jefferson Street, Suite 14
Carlsbad, CA 92008

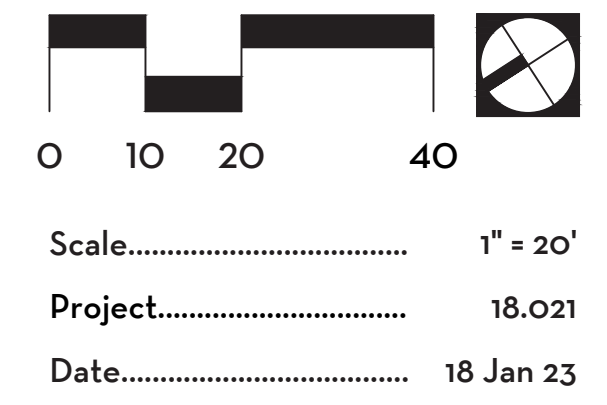


CONCEPT LEGEND

- | | |
|--|---|
| 1. DECORATIVE VEHICULAR PAVERS | 19. ASPHALT PARKING LOT - BY OTHERS |
| 2. DECORATIVE PAVERS | 20. RESIDENCE INN & ELEMENT DUAL BRAND SIGNAGE - SEE DETAIL E/ SHEET L-4 |
| 3. NATURAL GREY PAVING | 21. BENCH |
| 4. DOG RELIEF AREA | 22. PASEO CONNECTION TO ADJACENT RESIDENCE INN HOTEL SITE |
| 5. RETAINING WALL - SEE PLANS BY HUNSAKER AND ASSOCIATES | 23. EVENT SPACE |
| 6. POOL EQUIPMENT ROOM | 24. TRASH ENCLOSURE - SEE ARCHITECT'S PLANS BY AXIS |
| 7. EXISTING CONCRETE SIDEWALK | 25. EXISTING RESIDENCE INN TRASH ENCLOSURE |
| 8. TOWN CENTER DRIVE LANDSCAPE IMPROVEMENTS (SEE PLANS BY SPURLOCK LANDSCAPE ARCHITECTS) | 26. ELEMENT BRANDED SIGNAGE - SEE DETAIL D/ SHEET L-4 |
| 9. CENTER PARK DRIVE LANDSCAPE IMPROVEMENTS (SEE PLANS BY SPURLOCK LANDSCAPE ARCHITECTS) | 27. AREA PROPOSED TO BE REMOVED FROM CFD MAINTENANCE AND BE PROVATELY MAINTAINED BY THE HOTEL. THE PROPERTY IS CURRENTLY PRIVATELY OWNED BY VILLAGE II TOWN CENTER LLC. |
| 10. EVENT LAWN | 28. EXISTING OFFSITE LANDSCAPE TO REMAIN IN PLACE. ANY DAMAGE DURING CONSTRUCTION PROCESS TO BE REPLACED IN KIND |
| 11. RESORT STYLE POOL + SPA - SEE CONCEPT PLAN ENLARGEMENT | 29. FLAG POLE |
| 12. POOL SAFE WALL WITH LIGHT STUCCO FINISH + GLASS FENCE ON LOW WALL | 30. EXISTING HOTEL SIGN TO BE REMOVED |
| 13. PARKING LOT TREE | 31. RESIDENCE INN & ELEMENT DUAL BRAND SIGNAGE AT CORNER MONUMENT WALLS - SEE DETAIL G/ SHEET L-4 |
| 14. DATE PALM | 32. IMPRINTED DECORATIVE ASPHALT COMPLIANT WITH CITY OF CHULA VISTA SHADE TREE/COOL PAVING POLICY 557-19 |
| 15. ACCENT TREE | |
| 16. SMALL TREE | |
| 17. SCREEN TREE | |
| 18. PEDESTRIAN CONNECTION TO CENTERPARK ROAD | |

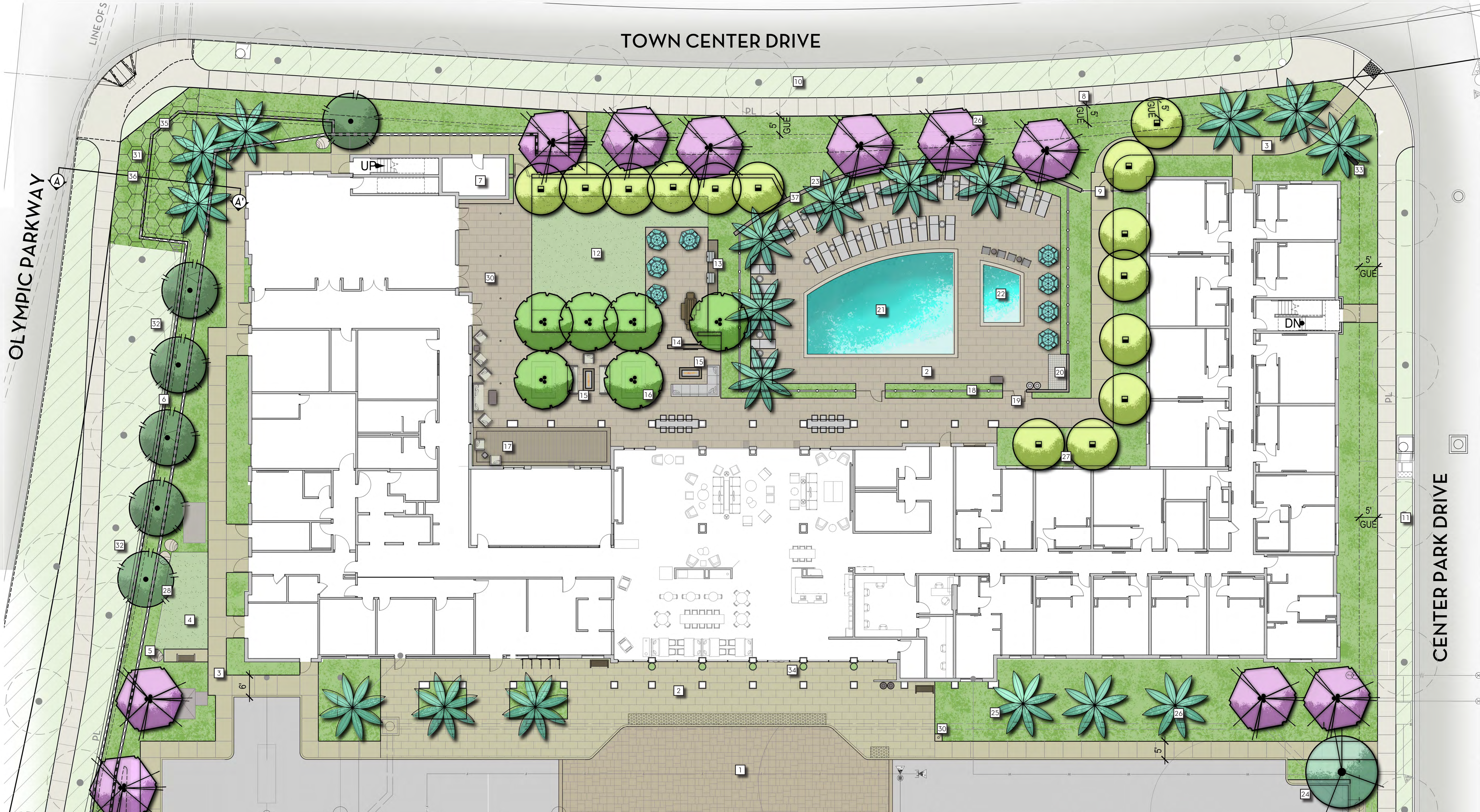
ELEMENT HOTEL
Chula Vista, CA

Landscape Overall Site Plan



2725 Jefferson Street, Suite 14
Carlsbad, CA 92008

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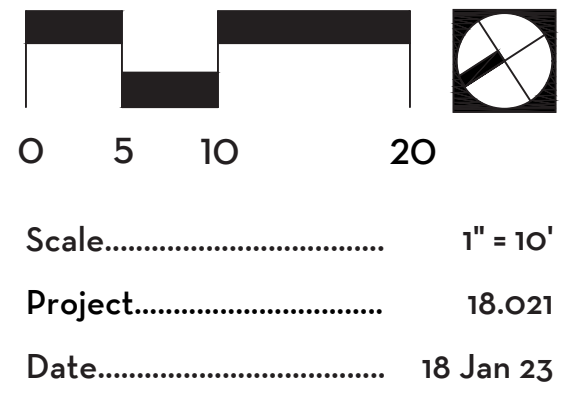
TOWN CENTER DRIVE

OLYMPIC PARKWAY

CENTER PARK DRIVE

CONCEPT LEGEND

- | | |
|---|--|
| 1. DECORATIVE ENTRY PAVING | 21. POOL |
| 2. DECORATIVE PAVERS | 22. SPA |
| 3. NATURAL GREY PAVING | 23. POOL SAFE GLASS FENCE ON LOW WALL WITH LIGHT STUCCO FINISH - SEE DETAIL A/ SHEET L-4 |
| 4. DOG RELIEF AREA | 24. PARKING LOT TREE |
| 5. DOG RELIEF BOULDER | 25. DATE PALM |
| 6. RETAINING WALL - SEE PLANS BY HUNSAKER AND ASSOCIATES | 26. ACCENT TREE |
| 7. POOL EQUIPMENT ROOM | 27. SMALL TREE |
| 8. EXISTING CONCRETE SIDEWALK | 28. SCREEN TREE |
| 9. TUBULAR STEEL GATE | 29. OUTDOOR EVENT SPACE |
| 10. TOWN CENTER DRIVE LANDSCAPE IMPROVEMENTS (SEE PLANS BY SPURLOCK LANDSCAPE ARCHITECTS) | 30. FLAG POLE |
| 11. CENTER PARK DRIVE LANDSCAPE IMPROVEMENTS (SEE PLANS BY SPURLOCK LANDSCAPE ARCHITECTS) | 31. AREA PROPOSED TO BE REMOVED FROM CFD MAINTENANCE AND BE PRIVATELY MAINTAINED BY THE HOTEL. THE PROPERTY IS CURRENTLY PRIVATELY OWNED BY VILLAGE II TOWN CENTER LLC |
| 12. EVENT LAWN | 32. EXISTING OFFSITE LANDSCAPE TO REMAIN IN PLACE. ANY DAMAGE DURING CONSTRUCTION PROCESS TO BE REPLACED IN KIND |
| 13. BARBECUE | 33. ELEMENT BRANDED SIGN - SEE DETAIL D/SHEET L-4 |
| 14. DOUBLE SIDED TV WALL | 34. DECORATIVE PLANTER POTS |
| 15. FIRE PIT | 35. DUAL BRAND SIGNAGE - SEE DETAIL G/SHEET L-4 |
| 16. WOOD SEATING | 36. SEE DETAIL F/SHEET L-4 FOR CORNER WALL MONUMENT |
| 17. YOGA/STRETCHING DECK | 37. 5'-6" TALL WALL W/ STUCCO FINISH - SEE DETAIL A/ SHEET L-4 |
| 18. TUBE STEEL POOL FENCE - SEE DETAIL B/ SHEET L-4 | |
| 19. TUBE STEEL POOL GATE - SEE DETAIL C/ SHEET L-4 | |
| 20. SHOWERS | |



L-2
 Tributary
 LA, Inc.

2725 Jefferson Street, Suite 14
 Carlsbad, CA 92008

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ELEMENT HOTEL
 Chula Vista, CA
 Landscape Concept Plan



RESORT STYLE POOL



FIRE PIT WITH TV



FIRE TABLE WITH LOUNGE SEATING



OUTDOOR GRILL + TV



ENHANCED LANDSCAPE AT CORNER OF OLYMPIC PKWY AND TOWN CENTER DRIVE

PROPOSED PLANTING LEGEND

PARKING LOT

TREES (such as)			
SYMBOL	BOTANICAL NAME	COMMON NAME	WUCOLS
	Lagerstroemia 'Muskegee'	Lavender Crape Myrtle	L/M
	Laurus nobilis 'Saratoga'	Saratoga Sweet Bay	L
	Lophostemon confertus	Canary Island Pine	L
	Eriobotrya deflexa	Bronze Loquat	M
	Prunus californiana 'Compacta'	Dwarf Carolina Laurel Cherry	L

SHRUBS, SUCCULENTS, + ORNAMENTAL GRASSES (such as)			
SYMBOL	BOTANICAL NAME	COMMON NAME	WUCOLS
	Agave 'Blue Glow'	Blue Glow Agave	L
	Aloe species	Aloe	L
	Bouteloua gracilis 'Blonde Ambition'	Blue Grama Grass	L
	Bougainvillea species	Bougainvillea	L
	Carissa macrocarpa 'Green Carpet'	Prostrate Natal Plum	L/M
	Chandropetalum tectorum	Cap Rush	L/M
	Dianella caerulea 'Little Becca'	Little Becca Flax Lily	L
	Ligustrum japonicum 'Texanum'	Texas Privet	M
	Lantana 'New Gold'	New Gold Lantana	L
	Lamandra 'Breeze'	No Common Name	L
	Sesleria autumnalis	Autumn Moor Grass	L/M
	Senecio mandraliscae	Kleinia	L

POOL, LOUNGE, + BUILDING PERIMETER

TREES + PALMS (such as)			
SYMBOL	BOTANICAL NAME	COMMON NAME	WUCOLS
	Phoenix dactylifera 'Medjool'	Medjool Date Palm	L
	Arbutus 'Marina'	Marina Strawberry Tree	L
	Dracena draco	Dragon Tree	L
	Cassia leptophylla	Cassia Tree	M
	Jacaranda mimosifolia	Jacaranda	L
	Eriobotrya deflexa	Bronze Loquat	M
	Lagerstroemia 'Natchez'	Lavender Crape Myrtle	M
	Laurus nobilis 'Saratoga'	Saratoga Sweet Bay	L
	Prunus californiana 'Compacta'	Dwarf Carolina Laurel Cherry	L
	Platanus acerifolia 'Columbia'	Columbia Plane Tree	M

SHRUBS, SUCCULENTS, + ORNAMENTAL GRASSES (such as)			
SYMBOL	BOTANICAL NAME	COMMON NAME	WUCOLS
	Agave 'Blue Glow'	Blue Glow Agave	L
	Aloe species	Aloe	L
	Bouteloua gracilis 'Blonde Ambition'	Blue Grama Grass	L
	Bougainvillea species	Bougainvillea	L
	Callistemon citrinus 'Little John'	Little John Bottle Brush	L/M
	Carissa macrocarpa 'Green Carpet'	Prostrate Natal Plum	L/M
	Carex divulsa	Berkeley Sedge	L/M
	Chandropetalum tectorum	Cap Rush	L/M
	Cupressus sempervirens 'Tiny Towers'	Dwarf Italian Cypress	L
	Dianella sp.	Flax Lily	L
	Dietes sp.	Fortnight Lily	L/M
	Eucynymus japonicus 'Microphyllus'	Bottlebrush Eucynymus	M
	Ligustrum japonicum 'Texanum'	Texas Privet	M
	Lantana sp.	Lantana	L
	Lamandra 'Breeze'	No Common Name	L
	Olea europea 'Little Ollie'	Little Ollie Dwarf Olive	L
	Phormium tenax	New Zealand Flax	L
	Rosa sp.	Rose	M
	Sesleria autumnalis	Autumn Moor Grass	L/M
	Senecio mandraliscae	Kleinia	L
	Strelitzia nicolai	Giant Bird of Paradise	L/M
	Strelitzia reginae	Bird of Paradise	L/M
	Salvia species	Sage	L

SITE PERIMETER

TREES + PALMS (such as)			
SYMBOL	BOTANICAL NAME	COMMON NAME	WUCOLS
	Phoenix dactylifera 'Medjool'	Medjool Date Palm	L
	Arbutus 'Marina'	Marina Strawberry Tree	L
	Jacaranda mimosifolia	Jacaranda	L
	Prunus californiana 'Compacta'	Dwarf Carolina Laurel Cherry	L
	Pinus eldérica	Afghan Pine	L
	Lophostemon confertus	Brisbane Box	M

SHRUBS, SUCCULENTS, + ORNAMENTAL GRASSES (such as)			
SYMBOL	BOTANICAL NAME	COMMON NAME	WUCOLS
	Agave 'Blue Glow'	Blue Glow Agave	L
	Acaia redolens 'Low Bay'	Prostrate Acacia	L/VL
	Bouteloua gracilis 'Blonde Ambition'	Blue Grama Grass	L
	Bougainvillea species	Bougainvillea	L
	Carissa macrocarpa 'Green Carpet'	Prostrate Natal Plum	L/M
	Ceanothus 'Cancha'	No Common Name	L/VL
	Dianella caerulea 'Little Becca'	Little Becca Flax Lily	L
	Ligustrum japonicum 'Texanum'	Texas Privet	M
	Lantana 'New Gold'	New Gold Lantana	L
	Salvia species	Sage	L

EXISTING OFFSITE PLANTING LEGEND (FOR REFERENCE ONLY)

OLYMPIC PARKWAY

TREES (such as)		
SYMBOL	BOTANICAL NAME	COMMON NAME
	Jacaranda mimosifolia	Jacaranda
	Phoenix dactylifera	Phoenix Date Palm
	Pinus canariensis	Canary Island Pine
	Pinus eldérica	Elderica Pine

SHRUBS (such as)		
SYMBOL	BOTANICAL NAME	COMMON NAME
	Abelia x grandiflora	Glossy Abelia
	Agapanthus africanus	Lily-of-the-Nile
	Agave attenuata	Foxtail Agave
	Gazania species	Gazania
	Myoporum parvifolium 'Putah Creek'	Prostrate Myoporum
	Rhampholepis indica	India Hawthorn
	Senecio mandraliscae	Kleinia

TOWN CENTER DRIVE

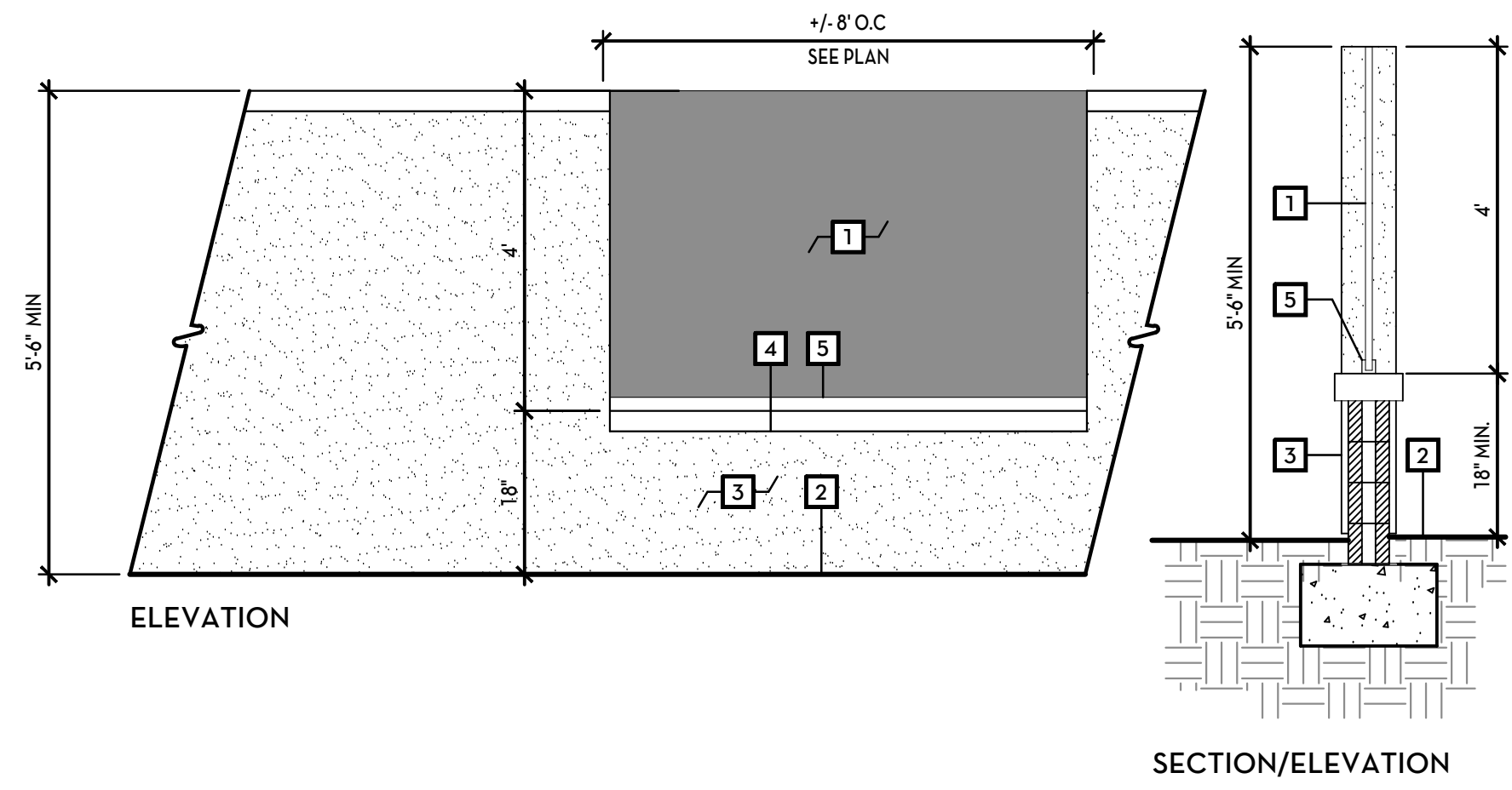
TREES (such as)		
SYMBOL	BOTANICAL NAME	COMMON NAME
	Geijera parviflora	Australian Willow
	Quercus suber	Cork Oak

SHRUBS (such as)		
SYMBOL	BOTANICAL NAME	COMMON NAME
	Agave 'Blue Glow'	Blue Glow Agave
	Carissa macrocarpa 'Green Carpet'	Prostrate Natal Plum
	Dianella caerulea 'Cassa Blue'	Blue Flax Lily
	Festuca mairei	Atlas Fescue
	Myoporum parvifolium 'Putah Creek'	Prostrate Myoporum
	Leucophyllum candidum 'Thunder Cloud'	Thunder Cloud Texas Sage
	Senecio mandraliscae	Kleinia

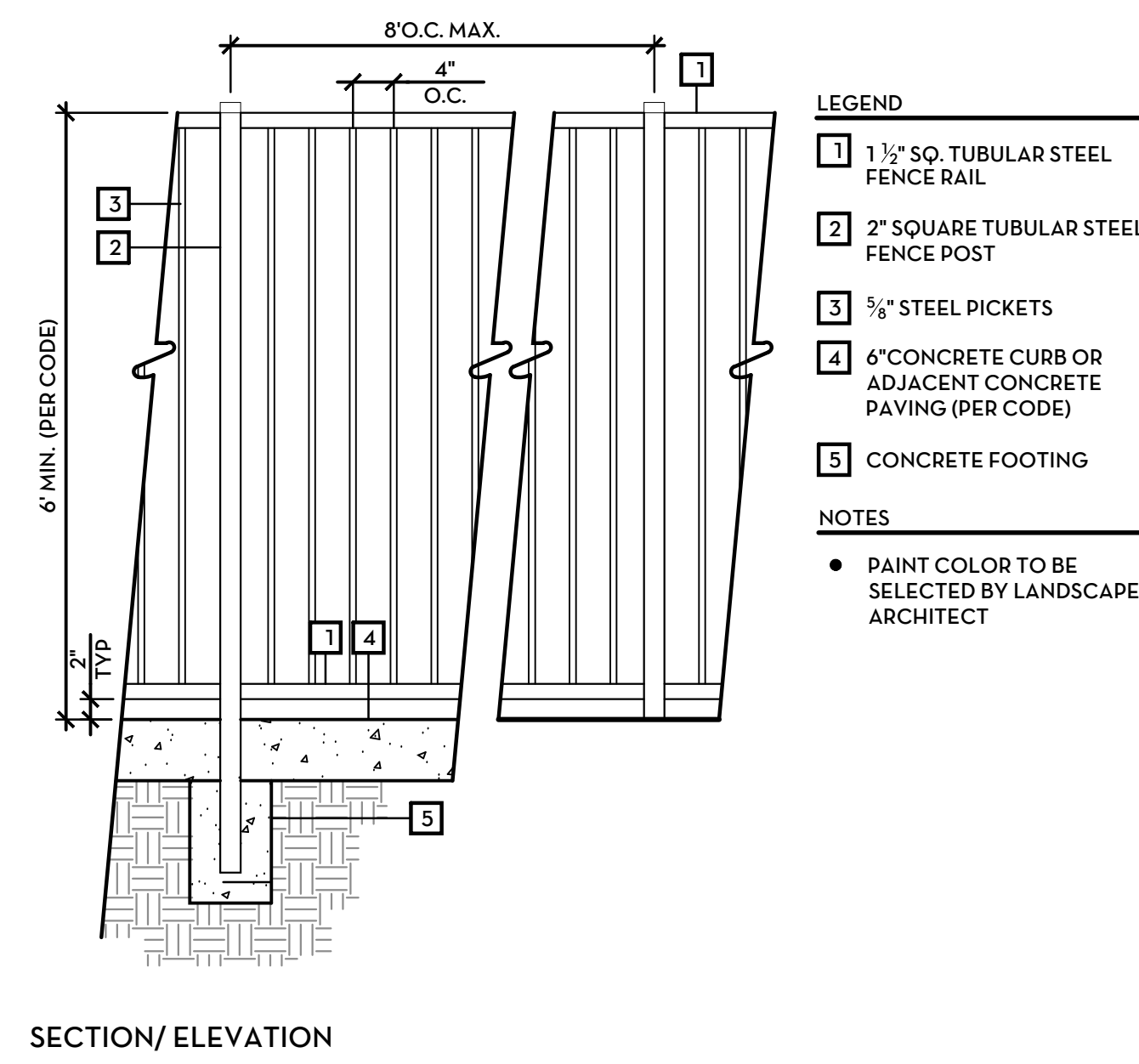
TOWN CENTER DRIVE

TREES (such as)		
SYMBOL	BOTANICAL NAME	COMMON NAME
	Platanus mexicana	Mexican Sycamore

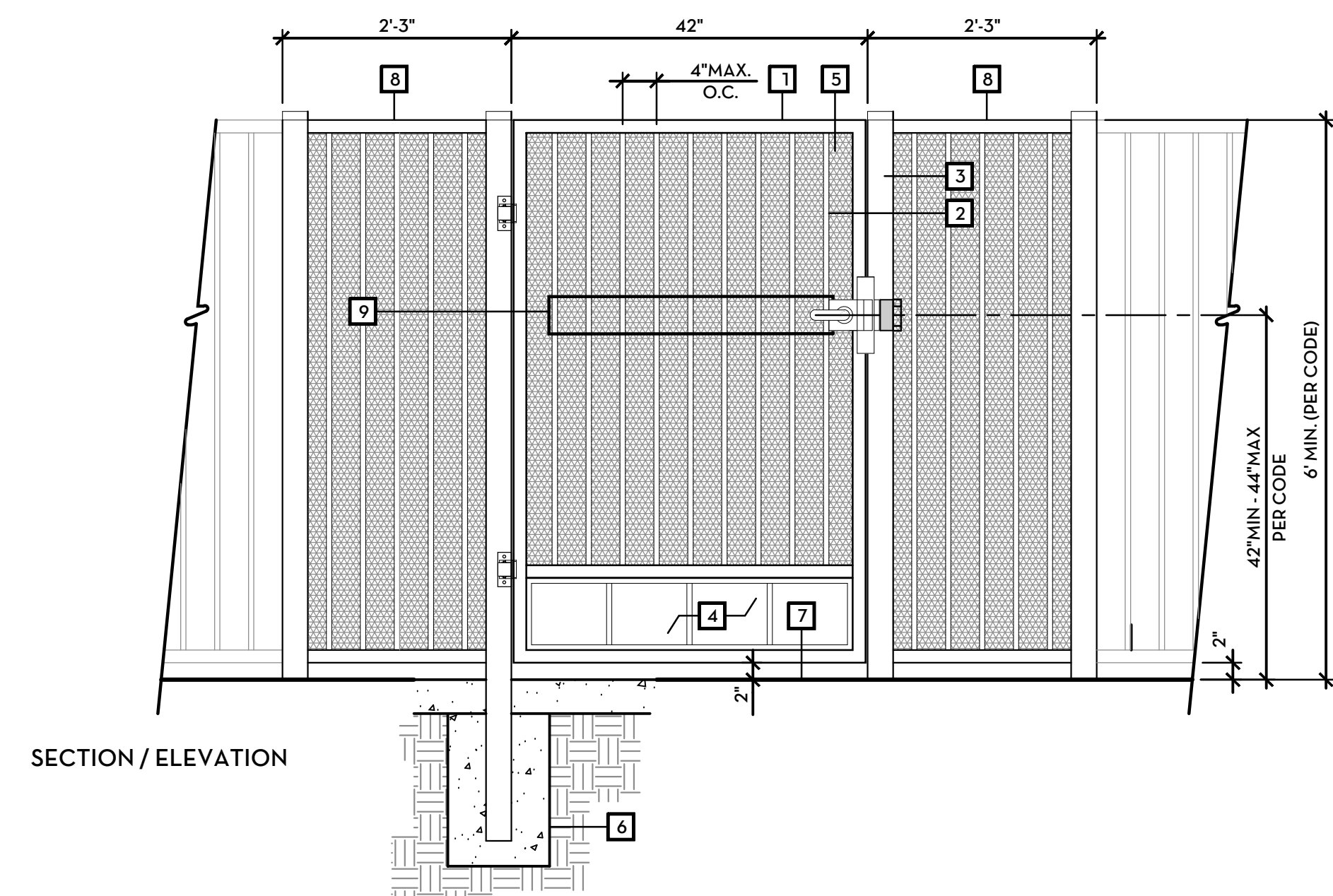
SHRUBS (such as)		
SYMBOL	BOTANICAL NAME	COMMON NAME
	Carissa macrocarpa 'Green Carpet'	Prostrate Natal Plum
	Festuca mairei	Atlas Fescue



- LEGEND**
- 1 CLEAR TEMPERED GLASS VIEW PANELS, 1/8" THICK MIN.
 - 2 FINISH GRADE
 - 3 CMU BLOCK WALL W/ STUCCO FINISH
 - 4 PRECAST CONCRETE WALL CAP
 - 5 TUBULAR STEEL U-CHANNEL
- NOTES:**
- VERT. & HORIZ REBAR - PER STRUCT. ENGINEER



- LEGEND**
- 1 1 1/2" SQ. TUBULAR STEEL FENCE RAIL
 - 2 2" SQUARE TUBULAR STEEL FENCE POST
 - 3 3/8" STEEL PICKETS
 - 4 4" CONCRETE CURB OR ADJACENT CONCRETE PAVING (PER CODE)
 - 5 CONCRETE FOOTING
- NOTES**
- PAINT COLOR TO BE SELECTED BY LANDSCAPE ARCHITECT



- LEGEND**
- 1 1 1/2" SQ. TUBULAR STEEL GATE FRAME
 - 2 3/8" STEEL PICKETS
 - 3 3" SQUARE TUBULAR STEEL GATE POST
 - 4 KICKPLATE - PER CODE
 - 5 PUNCHED STEEL MESH
 - 6 CONCRETE FOOTING
 - 7 FINISH SURFACE
 - 8 ADJACENT POOL FENCE - SEE DETAIL BY THIS SHEET
 - 9 GATE HANDLE + PANIC BAR
- NOTES**
- PAINT COLOR TO BE SELECTED BY LANDSCAPE ARCHITECT
 - GATE SHALL BE EQUIPPED W/ SELF-CLOSING + SELF-LATCHING DEVICES. SELF LATCHING DEVICE SHALL BE DESIGNED TO KEEP THE SECURITY GATE CLOSED.
 - GATE SHALL OPEN OUTWARD, AWAY FROM POOL AREAS
 - GATE SHALL BE OPERABLE FROM WITHIN THE FENCED IN AREA WITHOUT THE USE OF A KEY

GLASS FENCE ON LOW WALL / FREE STANDING WALL
WAL-GLA

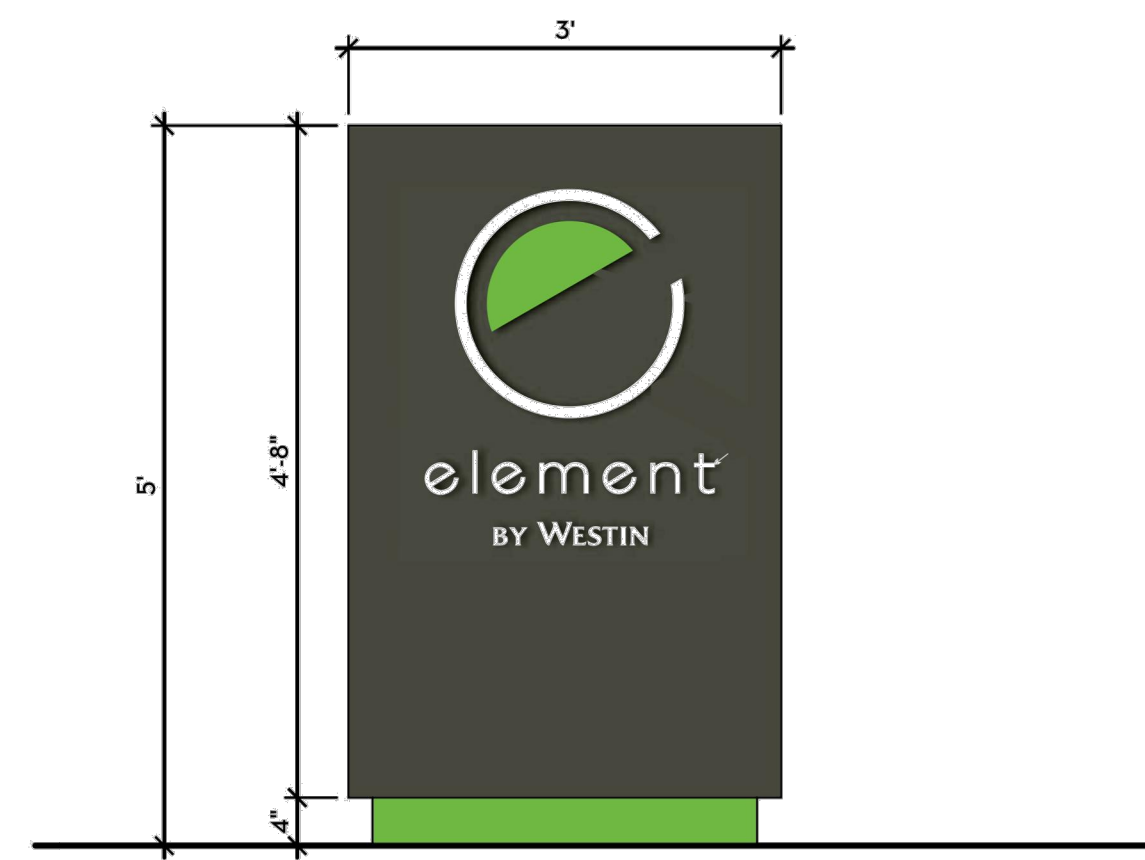
A

POOL FENCE
POL-FEN

B

POOL GATE
GAT-POL

C



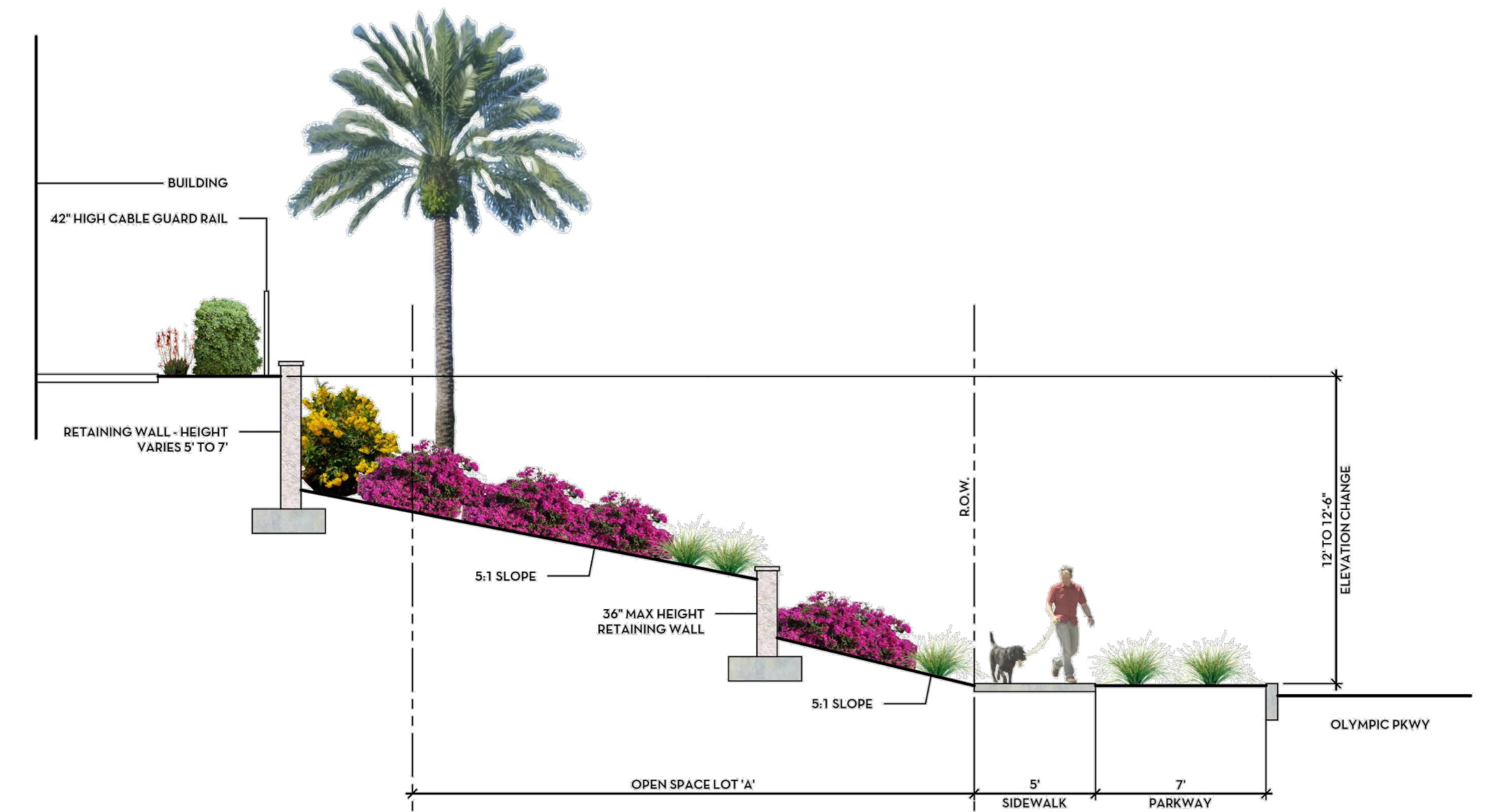
ELEMENT BRANDED SIGNAGE
SIGN-ONE
FREE STANDING SIGN AT THE CORNER OF TOWN CENTER DRIVE AND CENTER PARK ROAD

D



DUAL BRANDED SIGNAGE
SIGN-TWO
FREE STANDING SIGN AT THE ENTRANCE TO THE HOTELS' PARKING AREA

E



RETAINING WALLS AT OLYMPIC PARKWAY - SECTION A'-A

F



CORNER MONUMENT SIGN
WAL-GLA
LANDSCAPE WALL MOUNTED CABINET SIGN AT THE CORNER OF OLYMPIC PKWY AND TOWN CENTER DRIVE

G



HYDROZONE LEGEND

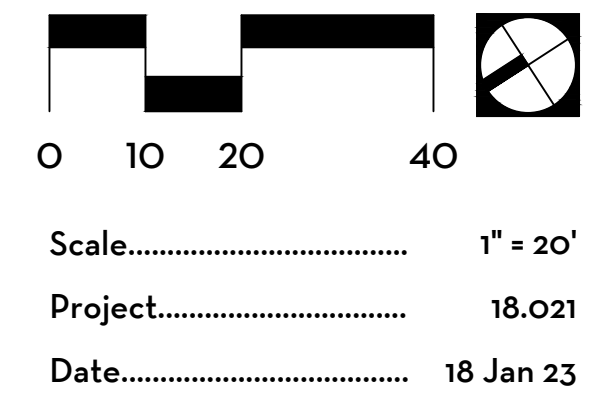
<p>#1 LAWN AREA - SPECIAL LANDSCAPE AREA</p> <p>DRIP CROP CO EFFICIENT: -- AREA: 1,526 SF MAWA: 19,053 GPY ETWU: 42,341 GPY</p>	<p>#5 PARKING LOT & CENTERPARK EDGE</p> <p>DRIP CROP CO EFFICIENT: 0.3 AREA: 8,569 MAWA: 100,412 GPY ETWU: 82,643 GPY</p>
<p>#2 PROMINENT BUILDING FRONTAGE</p> <p>DRIP CROP CO EFFICIENT: 0.4 AREA: 4,903 SF MAWA: 57,453 GPY ETWU: 63,049 GPY</p>	<p>#6 TOWN CENTER DRIVE EDGE</p> <p>OVERHEAD SPRAY CROP CO EFFICIENT: 0.3 AREA: 3,773 MAWA: 44,212 GPY ETWU: 39,300 GPY</p>
<p>#3 POOL & COURTYARD AREA</p> <p>DRIP CROP CO EFFICIENT: 0.5 AREA: 3,558 SF MAWA: 41,693 GPY ETWU: 57,192 GPY</p>	<p>#7 OLYMPIC PKWY RETAINING WALL BENCH</p> <p>OVERHEAD SPRAY CROP CO EFFICIENT: 0.3 AREA: 2,359 MAWA: 27,643 GPY ETWU: 22,751 GPY</p>
<p>#4 NORTH BUILDING FRONTAGE</p> <p>DRIP CROP CO EFFICIENT: 0.5 AREA: 1,012 MAWA: 11,859 GPY ETWU: 10,541 GPY</p>	<p>#8 OLYMPIC PKWY RIGHT OF WAY</p> <p>OVERHEAD SPRAY CROP CO EFFICIENT: 0.3 AREA: 751 MAWA: 8,800 GPY ETWU: 7,243 GPY</p>
<p>TOTALS: ETWU TOTAL: 325,060 GPY MAWA TOTAL: 334,412 GPY</p>	

WATER CONSERVATION FEATURE

- PRIOR TO THE APPROVAL OF THE BUILDING PERMIT, A LANDSCAPE DOCUMENTATION PACKAGE SHALL BE SUBMITTED TO THE CITY OF CHULA VISTA THAT DEMONSTRATES THAT THE LANDSCAPE ASSOCIATED WITH THIS APPLICATION COMPLIES WITH THE CITY OF CHULA VISTA LANDSCAPE WATER ORDINANCE, CHAPTER 20.12 OF THE MUNICIPAL CODE. THE TITLE SHEET OF THE DRAWINGS SHALL CONTAIN A SIGNED STATEMENT FROM THE LANDSCAPE ARCHITECT AS FOLLOWS:
I AM FAMILIAR WITH AND AGREE TO COMPLY WITH THE REQUIREMENTS FOR THE LANDSCAPE PLANS AS IN CHAPTER 20.12 OF THE MUNICIPAL CODE. I HAVE PREPARED THIS PLAN IN COMPLIANCE WITH THOSE REGULATIONS. I CERTIFY THAT THE PLAN IMPLEMENTS THE REGULATIONS TO PROVIDE EFFICIENT LANDSCAPE WATER USE.
- IRRIGATION FOR THE SITE SHALL UTILIZE WATER SMART SYSTEMS SUCH AS LOW FLOW SPRAY HEADS AND SUB-GRADE DRIP IRRIGATION, IN COMPLIANCE WITH THE CITY OF CHULA VISTA LANDSCAPE WATER ORDINANCE, CHAPTER 20.12 OF THE MUNICIPAL CODE.
- THE IRRIGATION SYSTEM SHALL ALSO UTILIZE WATER SAVING DEVICES INCLUDING FLOW-SENSING, RAIN-SENSING DEVICES AND AUTOMATIC CONTROL SYSTEMS THAT EITHER INTERFACE WITH CIMIS DATA OR ON-SITE WEATHER SENSORS.
- A 3" LAYER OF ORGANIC MULCH WILL BE USED WHERE POSSIBLE TO REDUCE MOISTURE LOSS.
- IRRIGATION OF PARKING LOT AND BUILDING PERIMETER LANDSCAPE TO UTILIZE RECYCLED WATER. THIS EXCLUDES ANY LANDSCAPE WITHIN THE ENCLOSED POOL AREA.

ELEMENT HOTEL
Chula Vista, CA

Landscape Concept Plan - Hydrozone Plan



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Carlsbad, CA 92008
© 2022 Project 22-029 Element Hotel Concept Water Hydrozone 18 Jan 2023 10:05 AM by: Skatov2

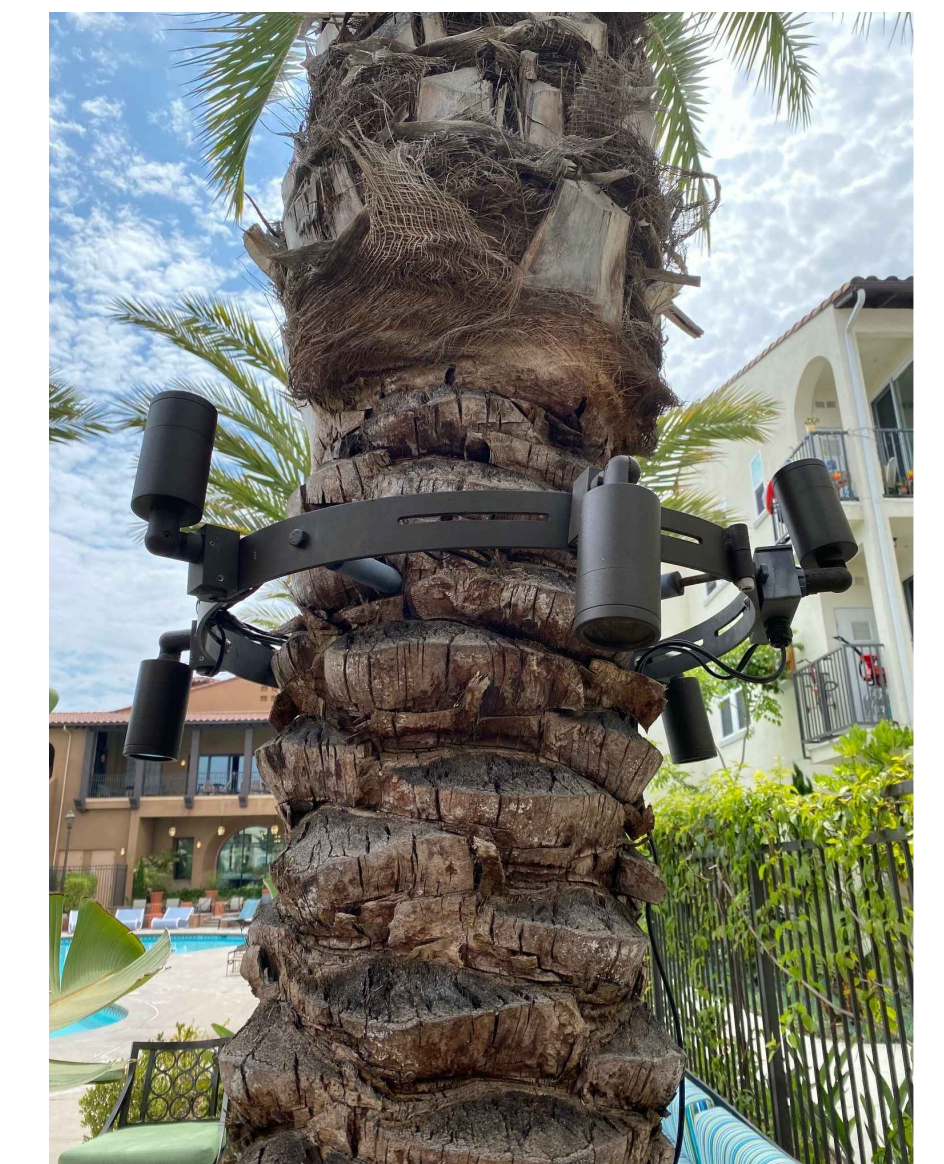


CONCEPTUAL LIGHTING LEGEND

SYMBOL	BOTANICAL NAME	MANUFACTURER	MODEL
1	PALM UPLIGHT (3) FIXTURES PER PALM TREE	UNIQUE LIGHTING	PROBE OSM-PROS-12-L430 (MOUNTING ON A TREE RING BY OTHERS)
2	WALL UPLIGHT	UNIQUE LIGHTING	STARBURST-STAR-12-L430
3	SIGN LIGHT	UNIQUE LIGHTING	STARBURST-STAR-12-L830
4	FLAP POLE UP LIGHT	UNIQUE LIGHTING	PROBE OSM-PROS-12-L430
5	TREE UPLIGHT	UNIQUE LIGHTING	PROBE OSM-PROS-12-L430



PALM UPLIGHT



PALM UPLIGHT RING



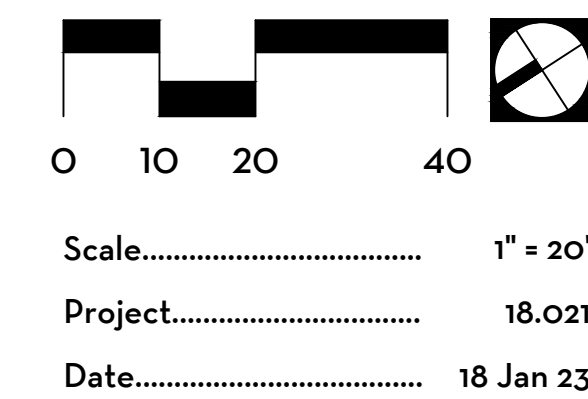
ACCENT UPLIGHT



SIGN LIGHT

ELEMENT HOTEL
Chula Vista, CA

Conceptual Landscape Lighting Plan



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Carlsbad, CA 92008


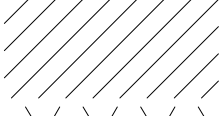
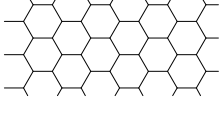
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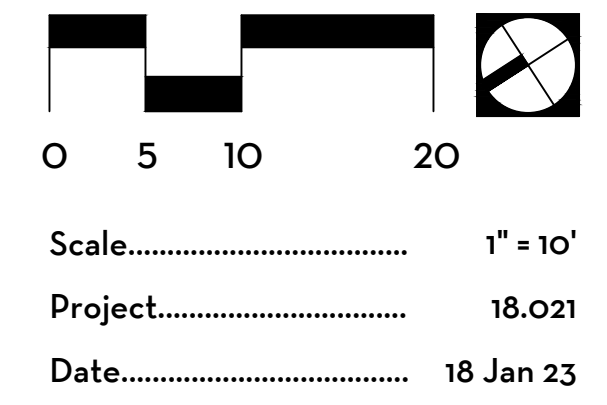


ELEMENT HOTEL
Chula Vista, CA

Parking Lot Shade Exhibit

SHADE CALCULATIONS

	PARKING AREA: 25,323 SF
	SHADE AREA: 6,874 SF
	LIGHT COLOR PAVING AREA: 6,046 SF
	SHADE/LIGHT PAVING PERCENTAGE: 51%

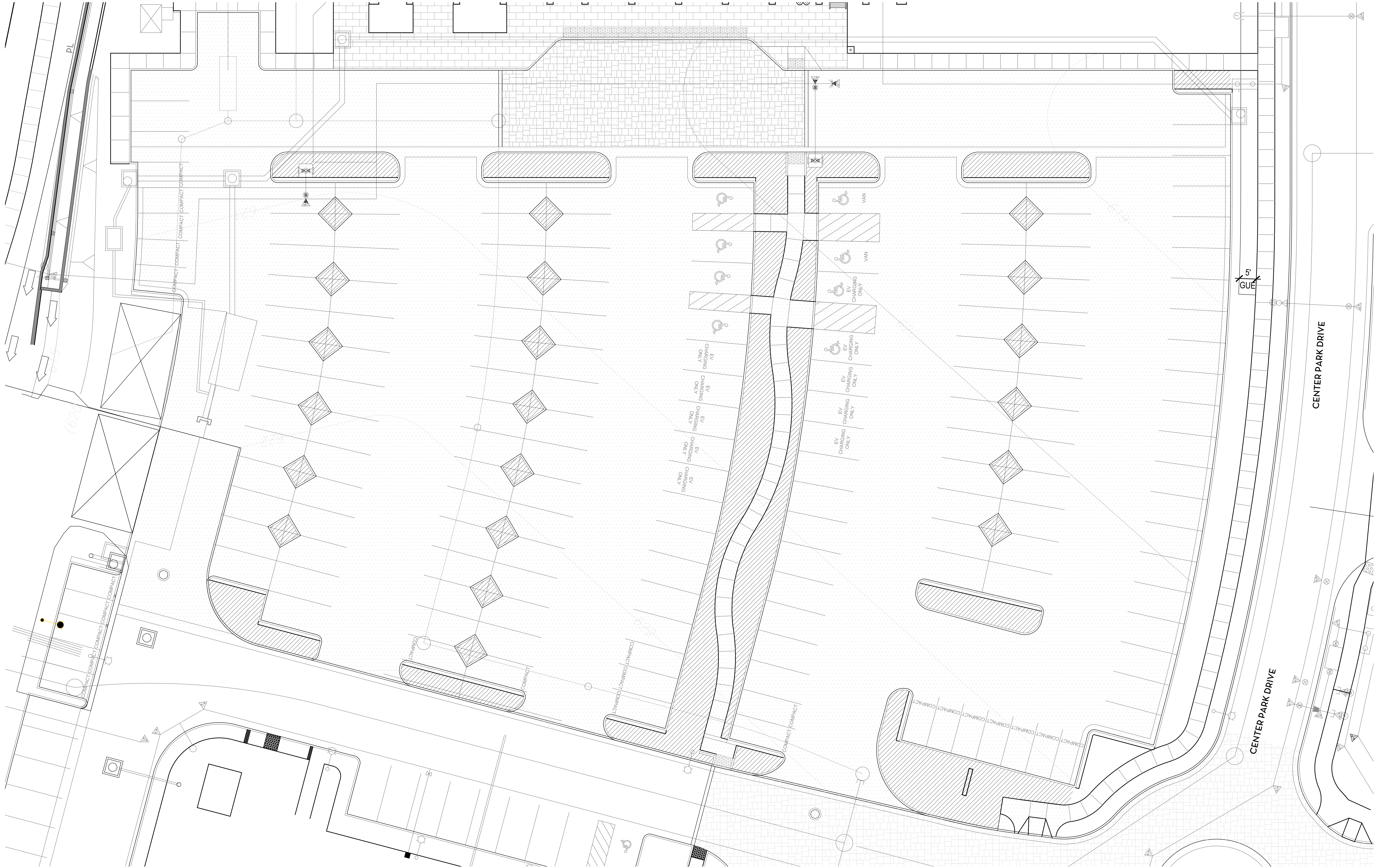


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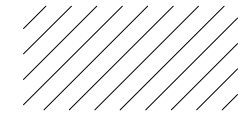
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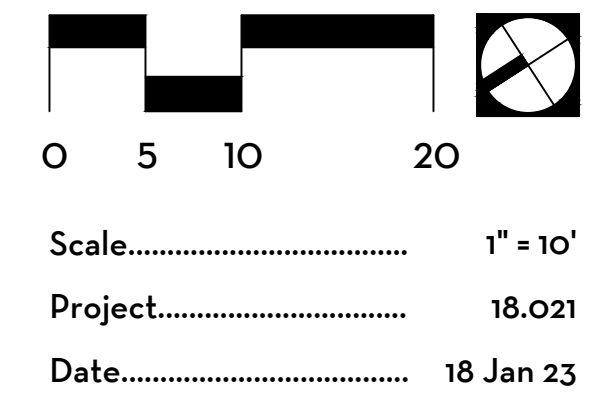


ELEMENT HOTEL
Chula Vista, CA

Parking Lot Planting Area Exhibit

LANDSCAPE AREA CALCULATIONS

	PARKING LOT AREA: 62,153 SF
	LANDSCAPED PARKING AREA: 5,886 SF
	LANDSCAPE AREA PERCENTAGE: 9.5%



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