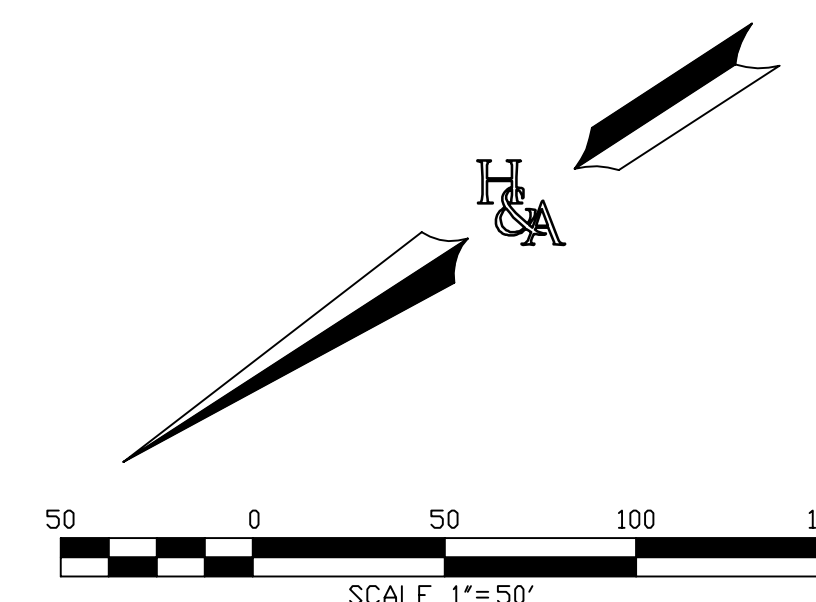
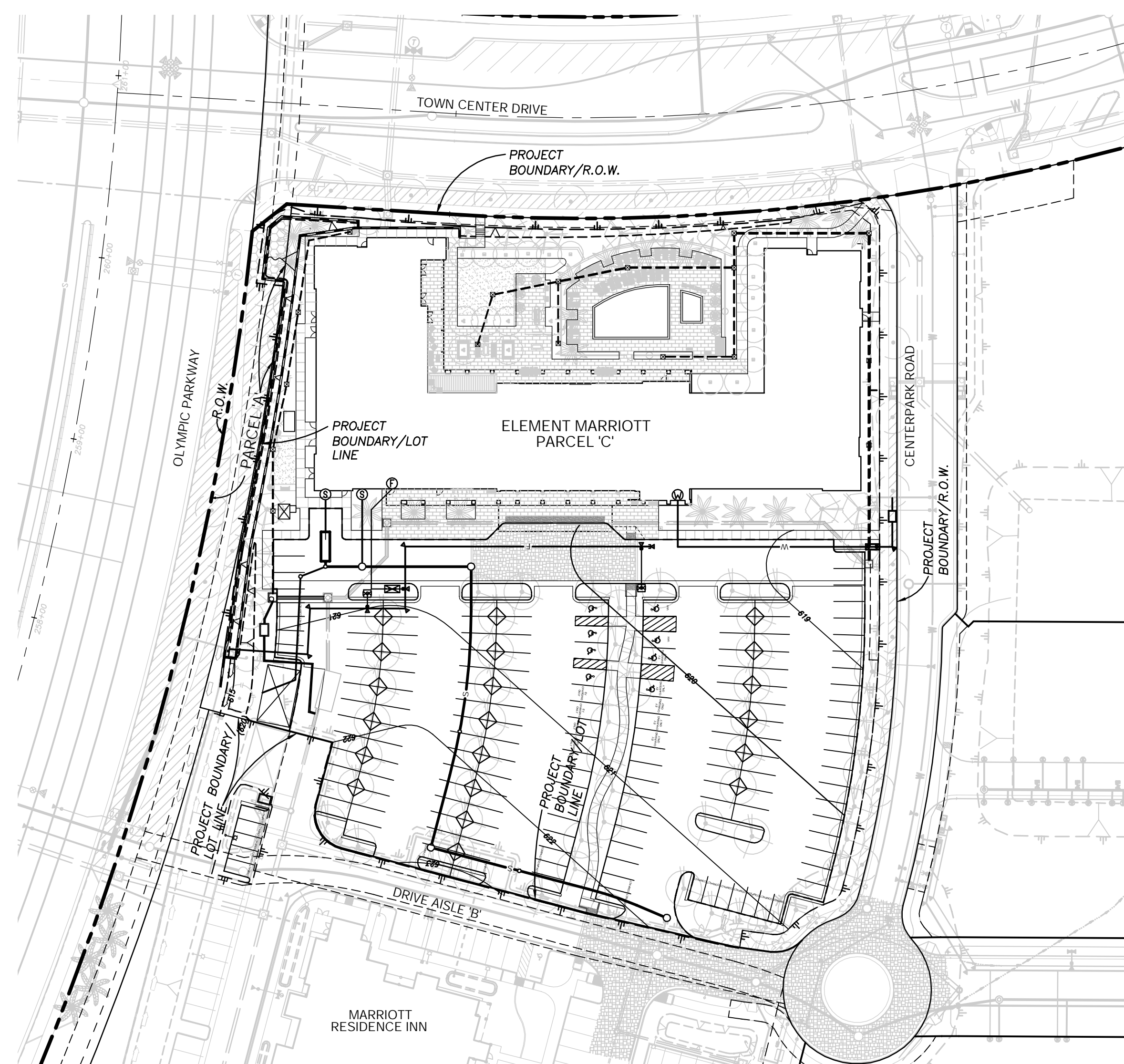
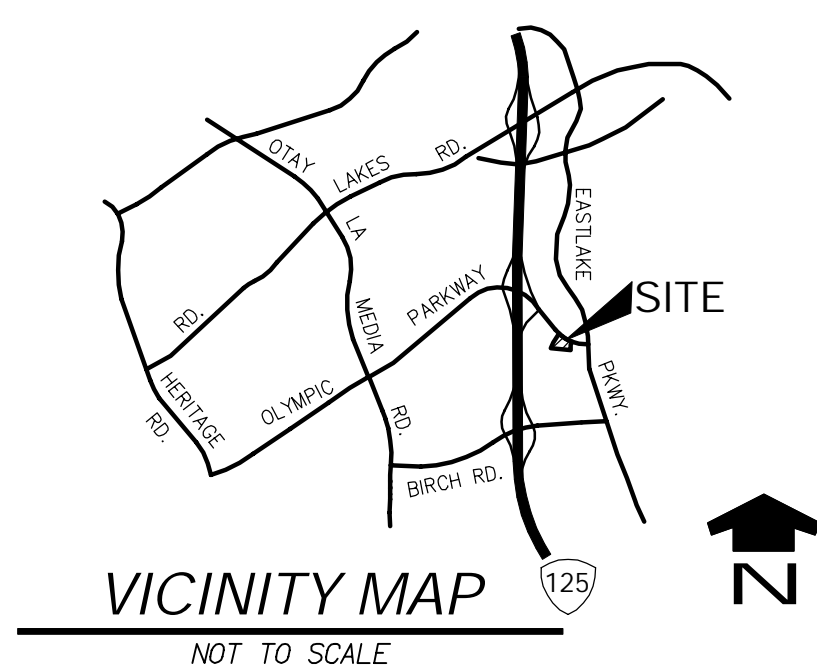


# DESIGN REVIEW PLAN FOR: ELEMENT BY WESTINN

## OTAY RANCH - FREEWAY COMMERCIAL NORTH

CITY OF CHULA VISTA, CALIFORNIA



**GENERAL NOTES**

1. GROSS SITE AREA: 2.952 ACRES
2. TOTAL NUMBER OF EXISTING LOTS: 1 (PARCEL C OF DOC. 2021-0490606)
3. ASSESSOR'S PARCEL NUMBER: 643-021-02-00
4. EXISTING/PROPOSED GENERAL PLAN DESIGNATION: FREEWAY COMMERCIAL
5. EXISTING/PROPOSED ZONING: FC2
6. EXISTING LAND USE: VACANT  
PROPOSED LAND USE: HOTEL

**GENERAL DESIGN NOTES**

1. WATER SERVICE PROVIDED BY OTAY WATER DISTRICT. ONSITE WATER SYSTEM SHALL BE PRIVATELY MAINTAINED.
2. SANITARY SEWER TO BE PROVIDED AND CONNECTED TO CITY OF CHULA VISTA SEWERS. SEWER LATERALS ARE 8" MINIMUM P.V.C. UNLESS SHOWN OTHERWISE. ONSITE SEWER SYSTEM SHALL BE PRIVATELY MAINTAINED.
3. SLOPE PLANTING SHALL BE IN ACCORDANCE WITH THE CITY OF CHULA VISTA LANDSCAPE MANUAL, AND/OR THE OTAY RANCH VILLAGE DESIGN PLAN.
4. GRADING SHALL BE CONSTRUCTED IN ACCORDANCE WITH TITLE 15 OF THE CITY OF CHULA VISTA MUNICIPAL CODE.
5. ALL WORK IN THE PUBLIC RIGHT-OF-WAY SHALL BE DONE IN ACCORDANCE WITH THE STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION, THE SAN DIEGO AREA REGIONAL STANDARD DRAWINGS, AND THE DESIGN AND CONSTRUCTION STANDARDS OF THE CITY OF CHULA VISTA.
6. GRADING SHOWN HEREON IS PRELIMINARY AND SUBJECT TO MODIFICATION IN FINAL DESIGN SUBJECT TO SUBSTANTIAL CONFORMANCE APPROVAL BY THE CITY OF CHULA VISTA DEVELOPMENT SERVICES DEPARTMENT.
7. STORM DRAIN AND SEWER SHOWN HEREON IS PRELIMINARY AND SUBJECT TO MODIFICATION IN FINAL DESIGN.
8. TEMPORARY AND PERMANENT STRUCTURAL BEST MANAGEMENT PRACTICES WILL BE INCORPORATED IN THE DESIGN AND IMPLEMENTATION OF THE DEVELOPMENT.
9. GEOTECHNICAL REPORT PREPARED BY: GEOCON, INC. COURTYARD MARRIOTT OTAY RANCH PLANNING AREA 12 CHULA VISTA, CALIFORNIA (PROJECT NO. 06772-19-10A) DATED SEPTEMBER 10, 2019 AND UPDATE LETTER DATED AUGUST 17, 2022.
10. THE CONSTRUCTION SHALL COMPLY WITH OTAY RANCH PLANNING AREA 12 SWPPP WDD# 9.37C37119B.

**LEGEND**

- PROJECT BOUNDARY
- RIGHT OF WAY/PROPERTY LINE
- EASEMENT
- PAD ELEVATION
- FINISH FLOOR ELEVATION
- HARDSCAPE FINISH SURFACE ELEVATION
- DRAINAGE SWALE (1.0% MIN)
- EXISTING CONTOUR
- PROPOSED CONTOUR
- SLOPE 2:1 OR FLATTER (SIDE YARD <4' EQUALS 1.5:1)
- DAYLIGHT LINE
- GRADE
- PROPOSED RETAINING WALL
- RETAINING WALL TOP OF WALL/FOOTING ELEVATION
- EXISTING RETAINING WALL
- ADA PATH OF TRAVEL
- PROPOSED PRIVATE STORM DRAIN
- PROPOSED PRIVATE CURB INLET
- PROPOSED PRIVATE WATER LINE
- PROPOSED PRIVATE SEWER LINE
- PROPOSED PRIVATE WATER LATERAL
- PROPOSED PRIVATE SEWER LATERAL
- PROPOSED FIRE LATERAL
- EXISTING WATER LINE
- EXISTING SEWER LINE
- EXISTING WATER LATERAL
- EXISTING SEWER LATERAL
- EXISTING SEWER MANHOLE
- EXISTING FIRE HYDRANT ASSEMBLY
- EXISTING STREET LIGHT
- EXISTING STORM DRAIN
- EXISTING CURB INLET

**ASSESSORS PARCEL NUMBER**

APN 643-021-40-00 & 643-021-41-00

**SITE ADDRESS**

2045 CENTERPARK ROAD

**LEGAL DESCRIPTION**

PARCEL C AS SHOWN ON CERTIFICATE OF COMPLIANCE C.V. FILE NO. ER-475, AS EVIDENCED BY DOCUMENT RECORDED JULY 8, 2021 AS INSTRUMENT NO. 2021-0490606 OF OFFICIAL RECORDS, BEING LOT 2 AND A PORTION OF LOT A OF CHULA VISTA TRACT NO. 15-0007 OF OTAY RANCH PLANNING AREA 12, ACCORDING TO MAP THEREOF NO. 16291 FILED IN THE OFFICE OF THE COUNTY RECORDER OF SAN DIEGO COUNTY AUGUST 22, 2018, ALL IN THE CITY OF CHULA VISTA, COUNTY OF SAN DIEGO, STATE OF CALIFORNIA.

**BENCHMARK:**

POINT 5072 PER ROS 14841, DESCRIPTION: 3" BRASS DISK IN CENTERLINE WELL MONUMENT AT CL INTERSECTION OF RUTGERS AND OTAY LAKES ROAD. DATUM: NAVD 88 ELEVATION OF 446.361.

**EARTHWORK/GRADING QUANTITIES**

CUT: APPROX. 500 C.Y.  
FILL: APPROX. 500 C.Y.  
IMPORT: 0 C.Y.

GRADING QUANTITIES SHOWN ARE RAW QUANTITIES ONLY AND DO NOT INCLUDE THE EFFECT OF REMEDIAL GRADING SHOWN IN THE PRELIMINARY SOILS REPORT.

**SHEET INDEX**

SHEET 1 - TITLE SHEET  
SHEET 2 - EXISTING ST. SECTIONS & DETAILS  
SHEET 3 - PROJECT DESIGN  
SHEET 4 - TURNING MOVEMENTS

**PUBLIC UTILITIES**

SEWER	CITY OF CHULA VISTA
WATER	OTAY MUNICIPAL WATER DISTRICT
STORM DRAIN	CITY OF CHULA VISTA
TELEPHONE	SBC OR OTHER
GAS AND ELECTRIC	SDG&E
CABLE T.V.	COX CABLE, ULTRONICS
POLICE AND FIRE	CITY OF CHULA VISTA
TRASH COLLECTION	CITY OF CHULA VISTA

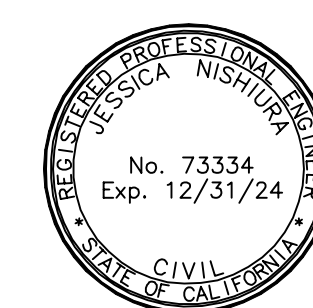
**SOURCE OF TOPOGRAPHY**

ROBERT J. LUNG & ASSOCIATES DATED 12/15/17

**OWNER/APPLICANT**

VILLAGE II TOWN CENTER, LLC  
20 CORPORATE PLAZA DRIVE  
NEWPORT BEACH, CA 92660  
(949) 640-8316

TITLE



JESSICA NISHIURA R.C.E. 73334 DATE  
MY REGISTRATION EXPIRES ON 12/31/22

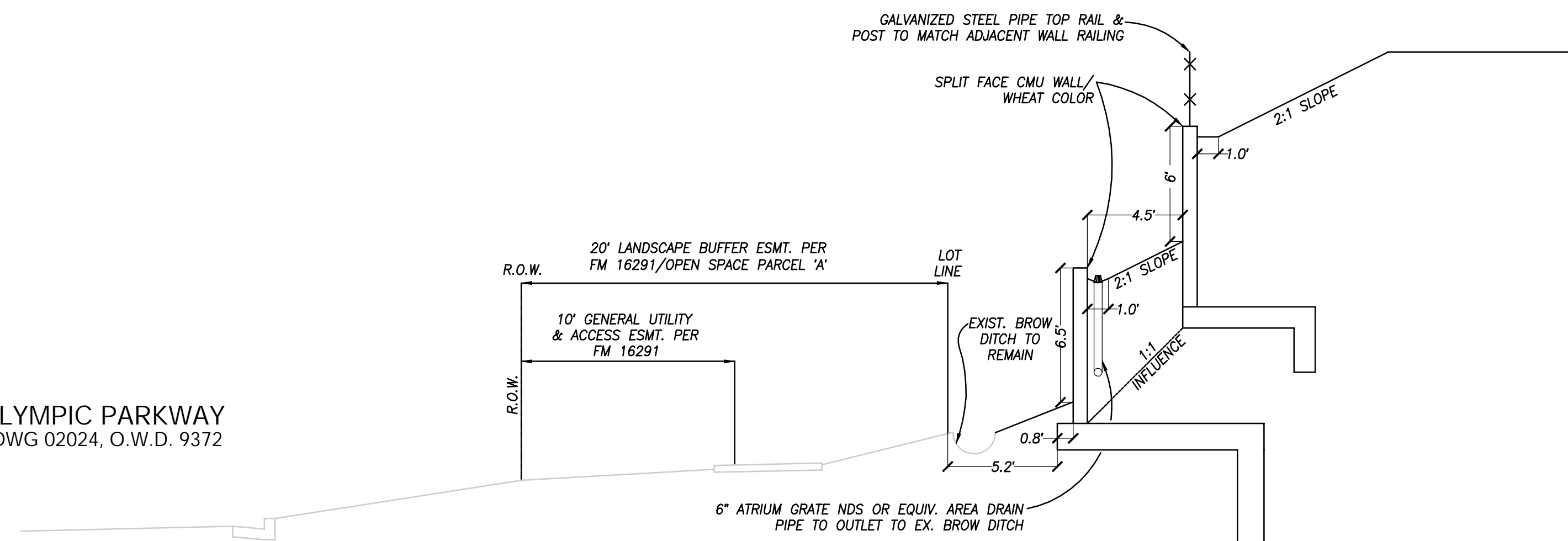
PREPARED BY:	NO.	REVISIONS	DATE	BY
<b>HUNSAKER &amp; ASSOCIATES</b> SAN DIEGO, INC.  PLANNING 9707 Waples ST. ENGINEERING San Diego, Ca 92121 SURVEYING PH(858)558-4500 FX(858)558-1414	1	1st SUBMITTAL	07/29/22	H&A
	2	2nd SUBMITTAL	01/16/23	H&A
	3			
	4			
	5			
	6			
	7			
	8			
	9			
	10			

**DESIGN REVIEW PLAN FOR:  
ELEMENT BY WESTIN  
OTAY RANCH -  
FREEWAY COMMERCIAL NORTH**

CITY OF CHULA VISTA, CALIFORNIA

**SHEET  
1  
OF  
4**

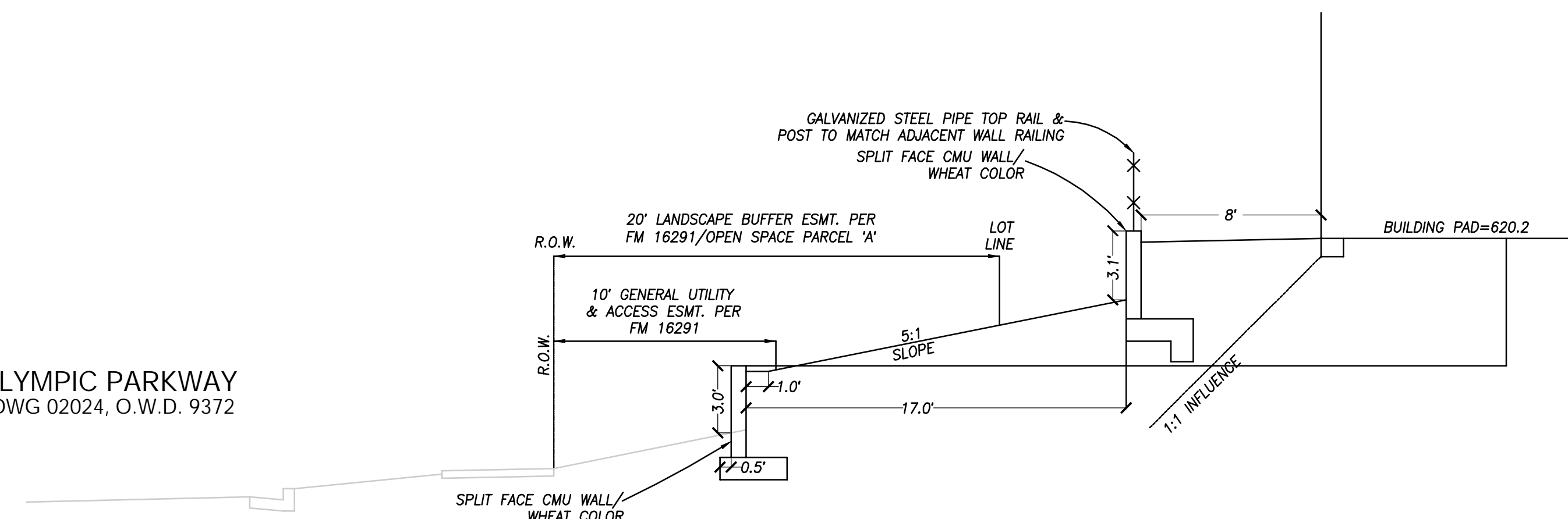
EX. OLYMPIC PARKWAY  
C.C.V. DWG 02024, O.W.D. 9372



WALL SECTION 'A-A'  
SCALE: 1"=5'

NOTE: MINIMUM 7' HORIZONTAL DISTANCE IS REQUIRED FROM THE TOE OF FOOTING TO DAYLIGHT UNLESS OTHERWISE NOTED IN GEOTECHNICAL REPORT

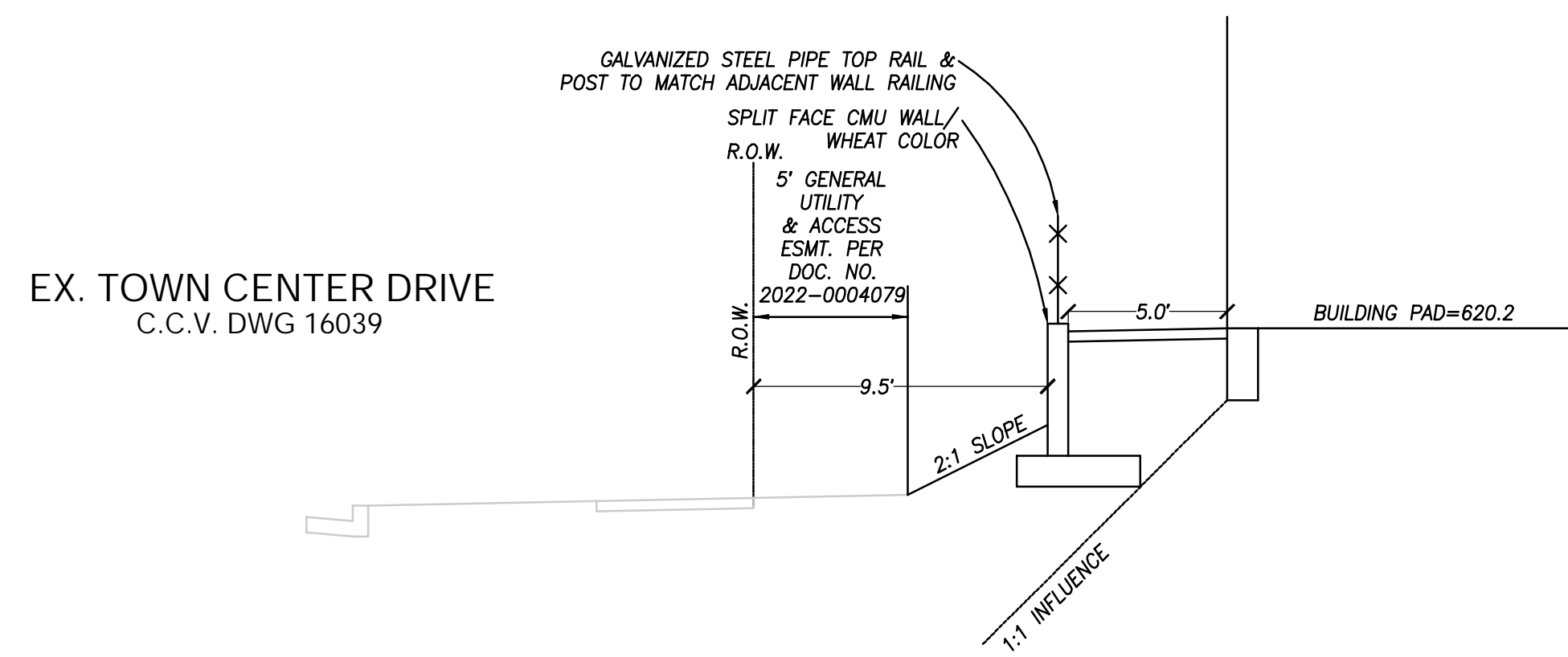
EX. OLYMPIC PARKWAY  
C.C.V. DWG 02024, O.W.D. 9372



WALL SECTION 'B-B'  
SCALE: 1"=5'

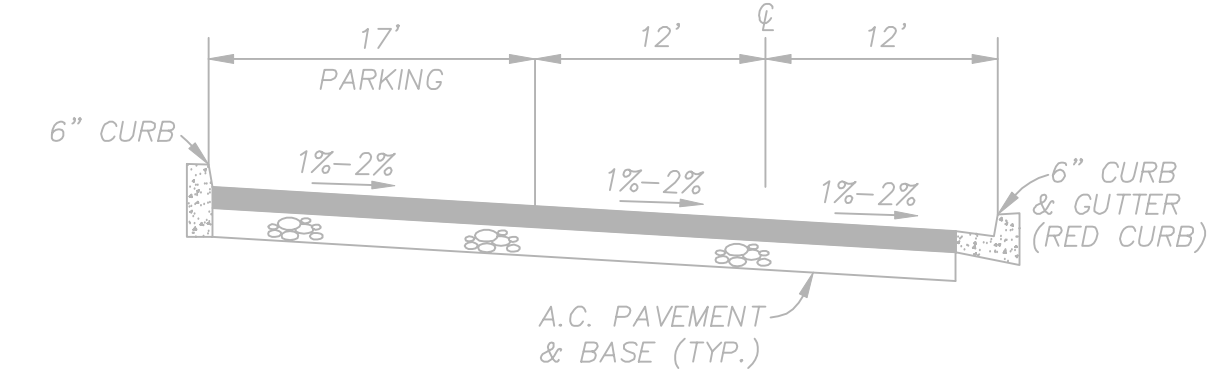
NOTE: MINIMUM 7' HORIZONTAL DISTANCE IS REQUIRED FROM THE TOE OF FOOTING TO DAYLIGHT UNLESS OTHERWISE NOTED IN GEOTECHNICAL REPORT

EX. TOWN CENTER DRIVE  
C.C.V. DWG 16039

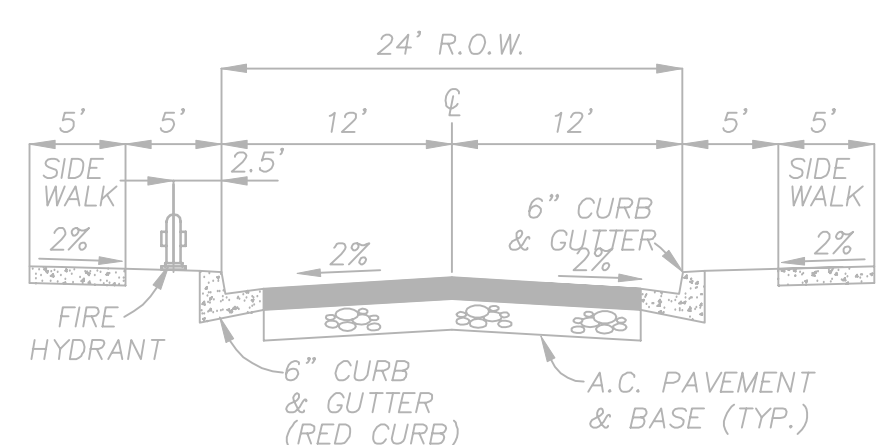


WALL SECTION 'C-C'  
SCALE: 1"=5'

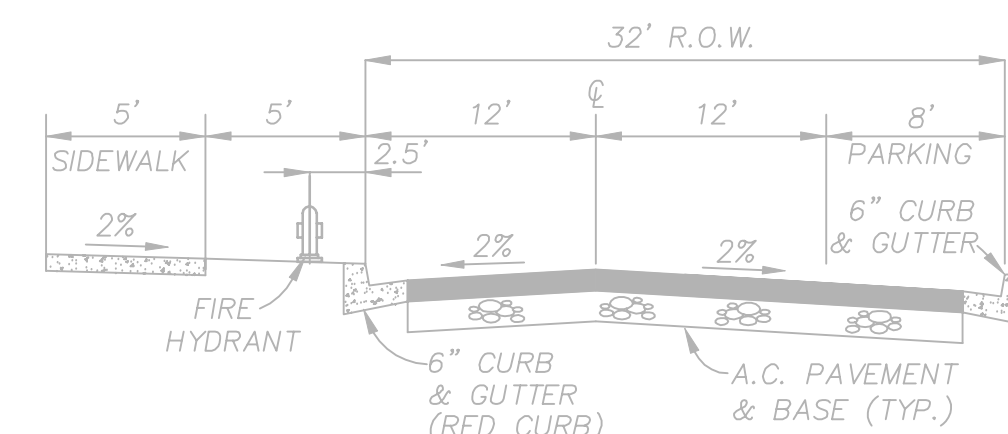
NOTE: MINIMUM 7' HORIZONTAL DISTANCE IS REQUIRED FROM THE TOE OF FOOTING TO DAYLIGHT UNLESS OTHERWISE NOTED IN GEOTECHNICAL REPORT



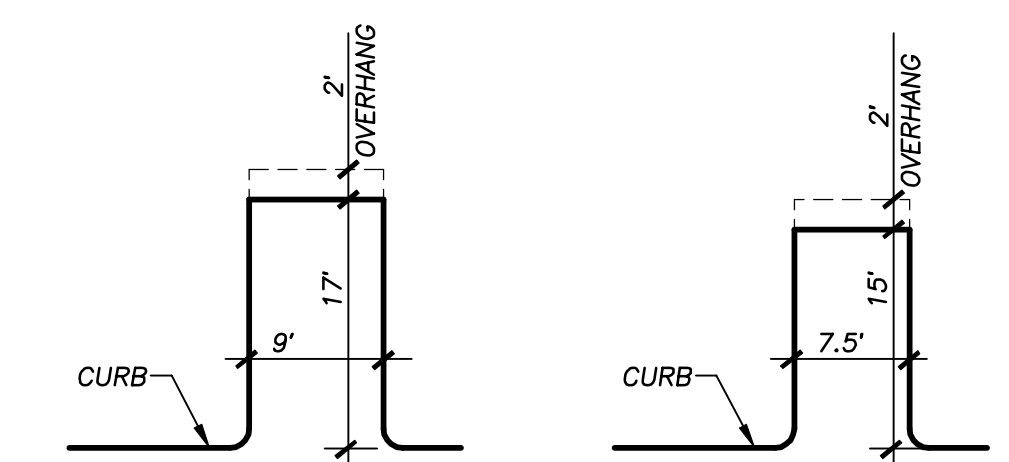
EX. DRIVE AISLE 'B'  
NO SCALE  
PER C.C.V. DWG 14030



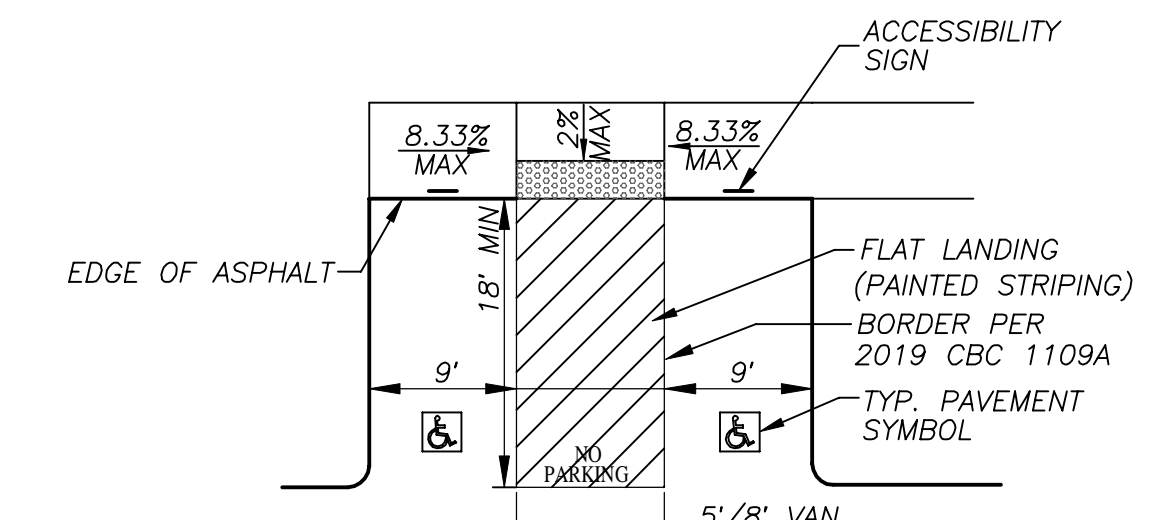
EX. CENTERPARK ROAD  
(10+60.37-12+10.63)  
NO SCALE  
PER C.C.V. DWG 14030



EX. CENTERPARK ROAD  
(12+20.96-14+26.13)  
NO SCALE  
PER C.C.V. DWG 14030

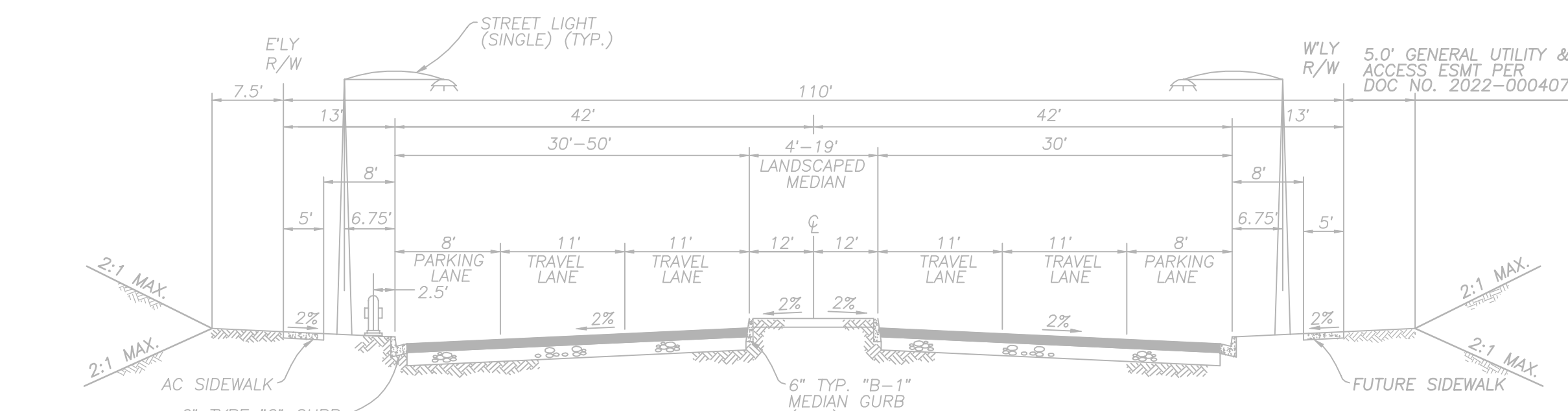


TYPICAL PARKING STALL DETAIL  
NO SCALE

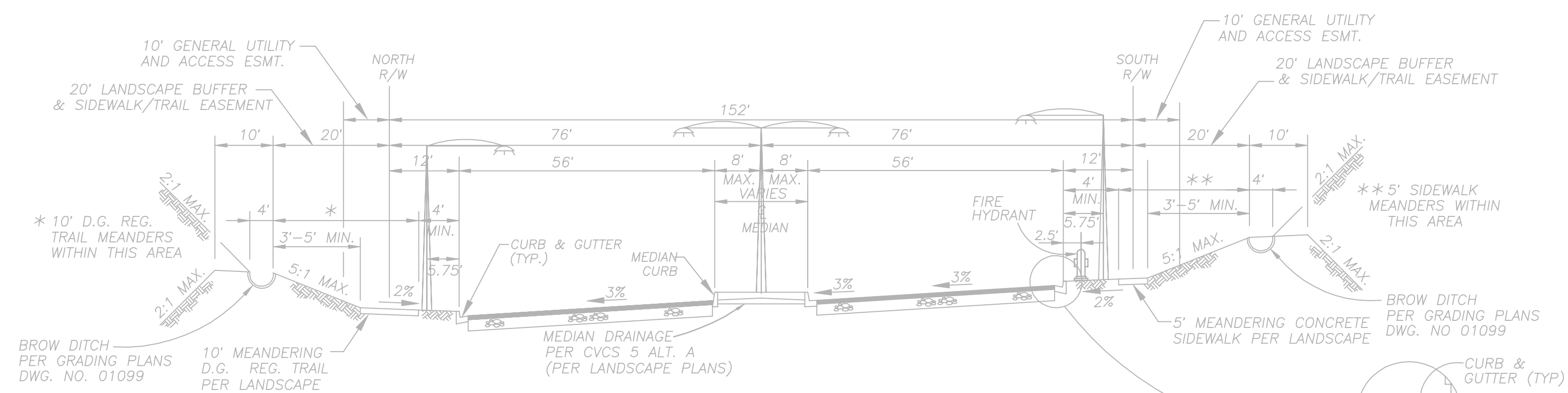


- NOTES:  
2019 CBC 1109A.8.8 PARKING SIGNAGE:
- EACH ACCESSIBLE PARKING SPACE RESERVED FOR PERSONS WITH DISABILITIES SHALL BE IDENTIFIED BY A REFLECTIVE SIGN PERMANENTLY POSTED IMMEDIATELY ADJACENT TO AND VISIBLE FROM EACH STALL OR SPACE CONSISTING OF THE INTERNATIONAL SYMBOL OF ACCESSIBILITY. SIGNS MAY ALSO BE CENTERED ON THE WALL AT THE INTERIOR END OF THE PARKING SPACE.
  - VAN ACCESSIBLE SPACES SHALL HAVE AN ADDITIONAL SIGN OR ADDITIONAL LANGUAGE STATING 'VAN ACCESSIBLE'.
  - AN ADDITIONAL SIGN SHALL ALSO BE POSTED STATING 'UNAUTHORIZED VEHICLES PARKED IN DESIGNATED ACCESSIBLE SPACES NOT DISPLAYING DISTINGUISHING PLACARDS OR SPECIAL LICENSE PLATES ISSUED FOR PERSONS WITH DISABILITIES WILL BE TOWED AWAY AT THE OWNER'S EXPENSE. TOWED VEHICLES MAY BE RECLAIMED AT CITY OF CHULA VISTA POLICE DEPARTMENT OR BY TELEPHONING (619) 691-5151'.
  - IN ADDITION THE SURFACE OF EACH ACCESSIBLE PARKING SPACE SHALL HAVE A SURFACE IDENTIFICATION PER 2019 CBC 1109 A.8.8
  - SEE 2019 CBC FIGURES 11A-2A AND 11A-2B.

TYPICAL ACCESSIBLE STALL PARKING DETAIL  
NOT TO SCALE



EX. TOWNCENTER DRIVE  
NO SCALE  
PER C.C.V. DWG 16039



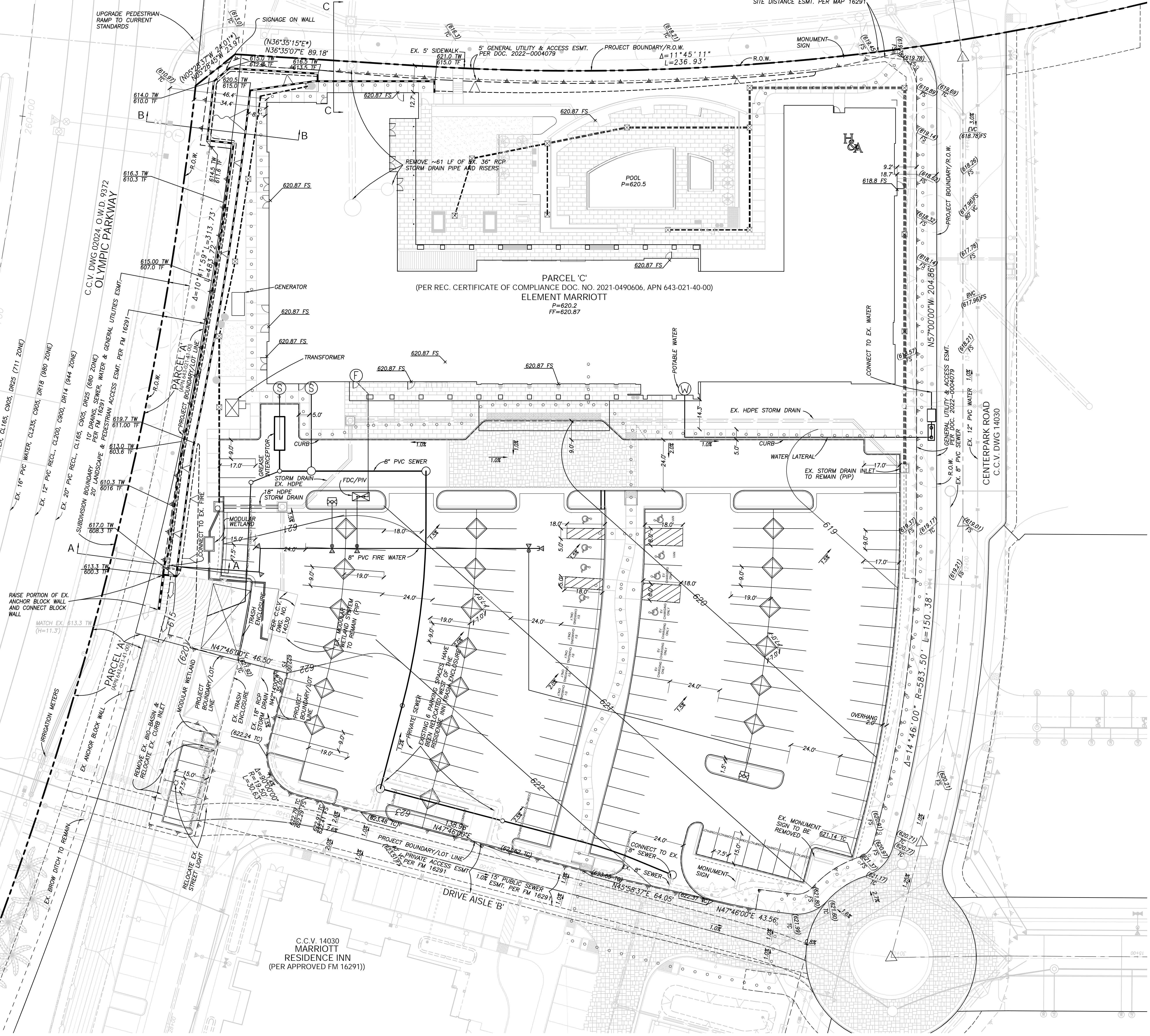
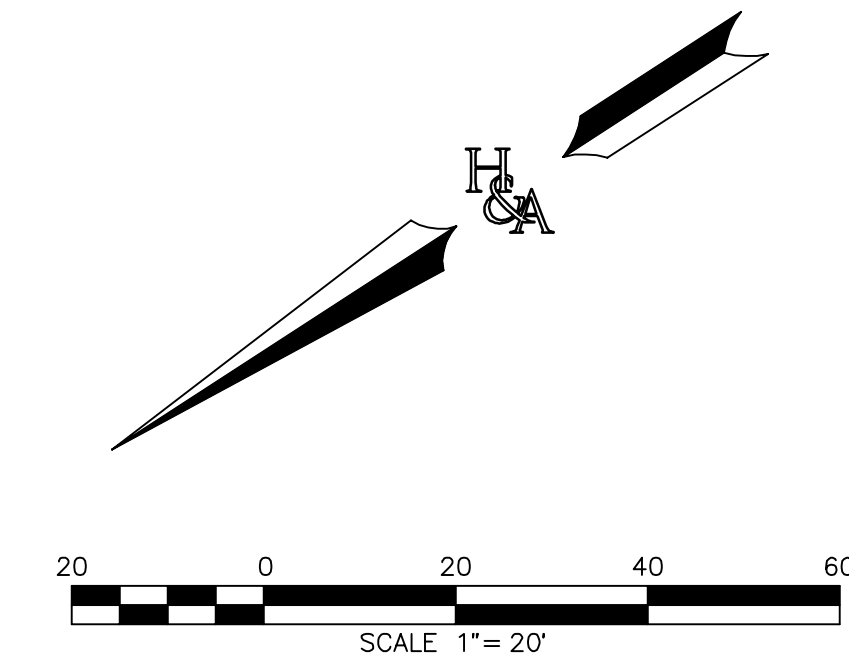
OLYMPIC PARKWAY  
SUPERELEVATION @ 3%  
STA. 252+15.00 TO 269+96.12  
SPEED LIMIT 55 MPH  
NO SCALE  
PER C.C.V. DWG 02024

PREPARED BY:  
**H&A HUNSAKER & ASSOCIATES**  
SAN DIEGO, INC.  
PLANNING 9707 Waples Street  
ENGINEERING San Diego, Ca. 92121  
SURVEYING PH(619)558-4500 FX(619)558-1414

DESIGN REVIEW PLAN FOR:  
**ELEMENT BY WESTIN**  
**OTAY RANCH -**  
**FREEWAY COMMERCIAL NORTH**  
CITY OF CHULA VISTA, CALIFORNIA

SHEET  
**2**  
OF  
**4**

C.C.V. DWG 16039  
TOWN CENTER DRIVE



PARCEL 'C'  
(PER REC. CERTIFICATE OF COMPLIANCE DOC. NO. 2021-0490606, APN 643-021-40-00)  
ELEMENT MARRIOTT  
P=620.2  
FF=620.87

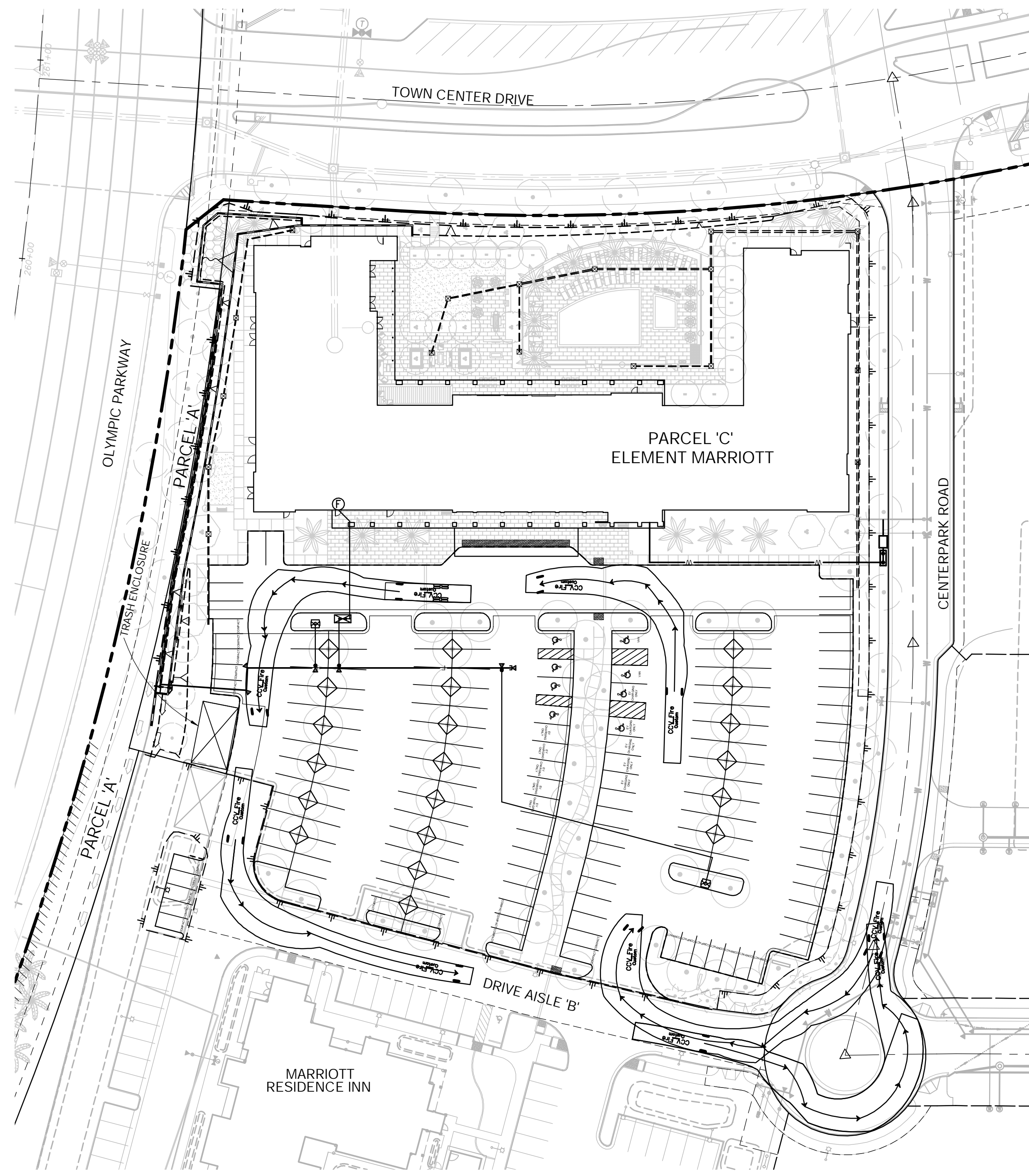
C.C.V. 14030  
MARRIOTT  
RESIDENCE INN  
(PER APPROVED FM 16291)

PREPARED BY:  
 HUNSAKER & ASSOCIATES  
SAN DIEGO, INC.  
PLANNING 9707 Waples Street  
ENGINEERING San Diego, CA 92121  
SURVEYING PH(658)558-4500 FX(658)558-1414

DESIGN REVIEW PLAN FOR:  
**ELEMENT BY WESTIN**  
**OTAY RANCH -**  
**FREWAY COMMERCIAL NORTH**  
CITY OF CHULA VISTA, CALIFORNIA

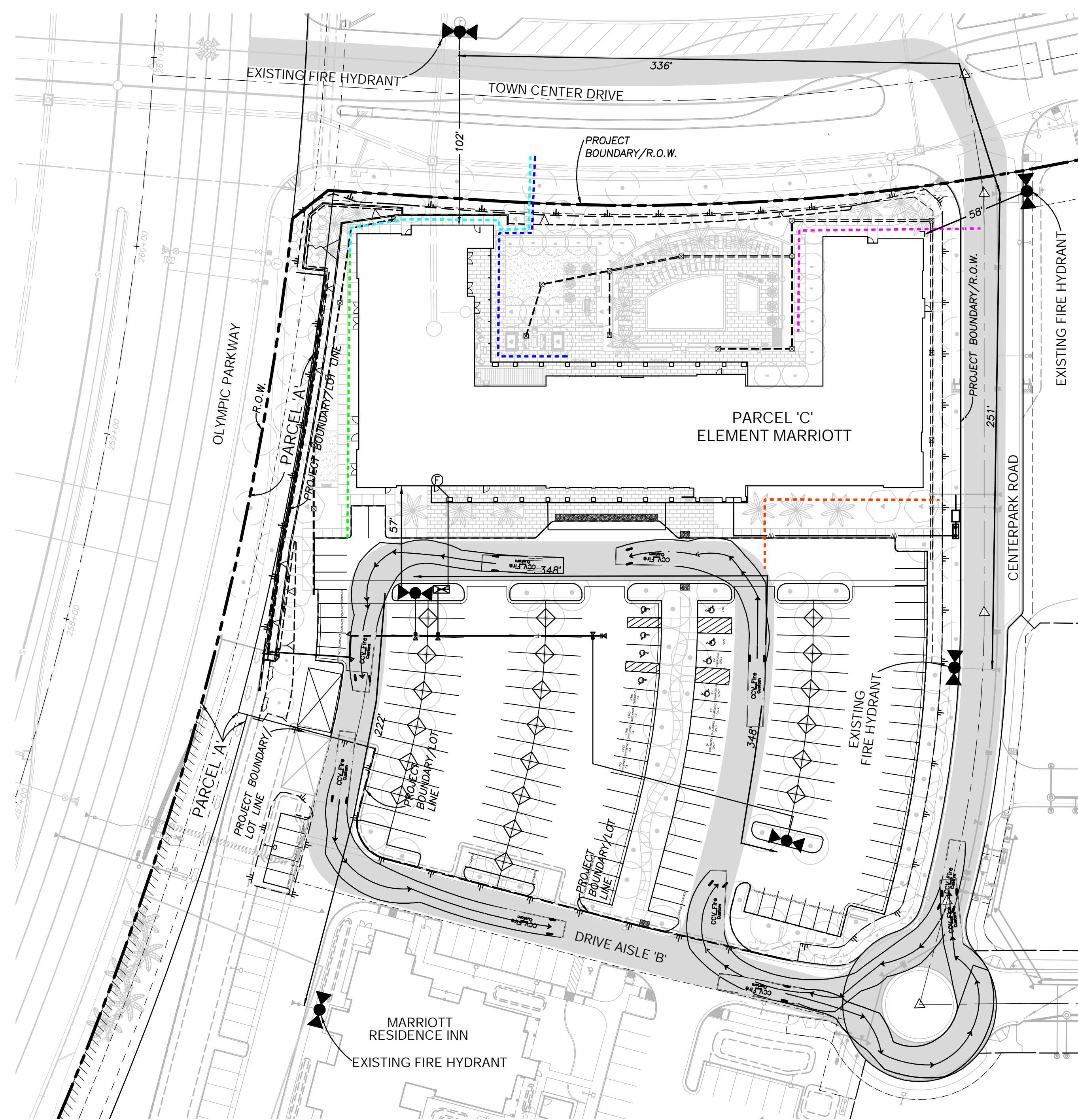
SHEET  
**3**  
OF  
**4**

NO. # 2807-017



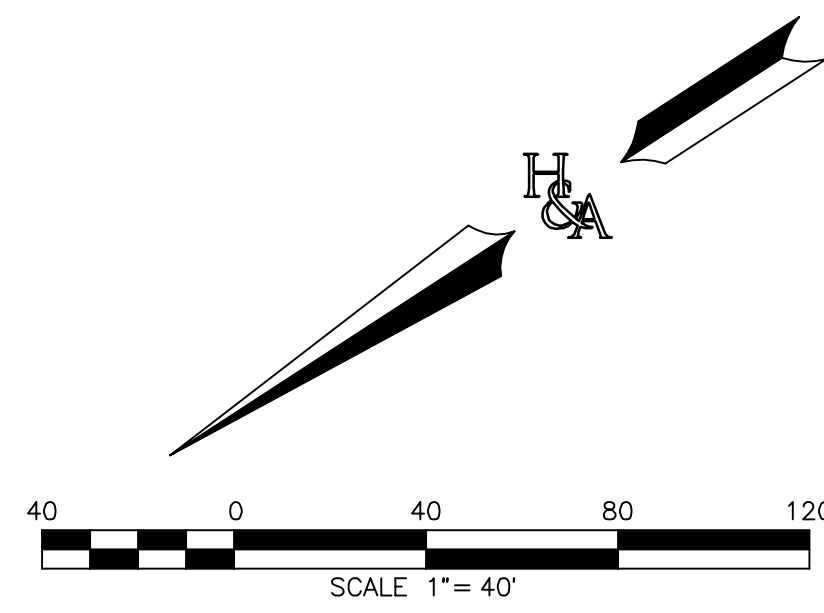
**TRASH TRUCK TURNING MOVEMENT**

SCALE : 1" = 40'



**FIRE TRUCK TURNING MOVEMENT**

SCALE : 1" = 40'



- FIRE HOSE (129 L.F.)
- FIRE HOSE (150 L.F.)
- FIRE HOSE (150 L.F.)
- FIRE HOSE (150 L.F.)
- FIRE HOSE (150 L.F.)
- FIRE LANE

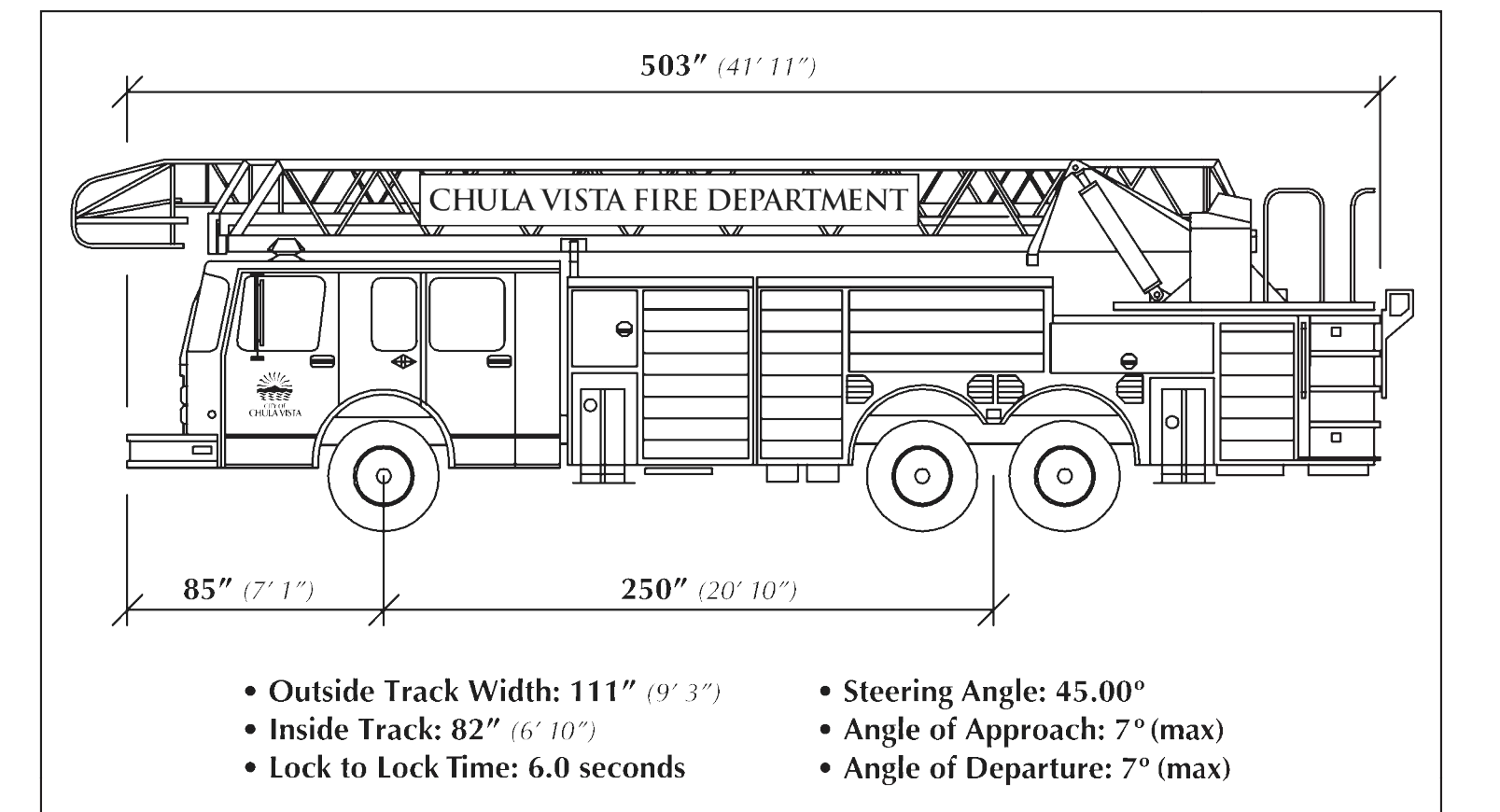


CHULA VISTA FIRE DEPARTMENT

FIRE PREVENTION DIVISION

**AUTO TURN DATA: Ladder Truck**

*This design apparatus, along with data points, shall be used as the basis for roadway and parking lot geometrics.*



**Notes:**

1. A Chula Vista Fire Department Maneuverability Analysis shall be performed by a licensed professional engineer to verify the turning capabilities of this design apparatus. Travel paths should begin outside the site illustrating the turn onto all entry roads/drivers, maneuvering around the site, and completed with an illustration demonstrating exiting from the site.
2. Paths must illustrate the full vehicle swept path (including wheel tracks and wall-to-wall vehicle overhang sweep) and must indicate a clear, unobstructed travel around the site without impact/collisions to buildings, curbs, landscaping, parking spaces, vehicles, etc. Wheel tracks shall not come within 1 foot of curbs. Apparatus bumper overhang shall not extend over curbs and the like.
3. Design speed (no less than 5mph; if speed varies indicate points of change by notes/labels).
4. The Chula Vista Fire Department Maneuverability Analysis shall be used to create an exhibit, which shall be submitted for review and approval.
5. Maneuverability Analysis shall also be designed to and confirm that any angle of approach/departure does not exceed 7°.
6. This detail shall be reproduced on the submitted exhibit.

CHULA VISTA FIRE DEPARTMENT • Fire Prevention Division • 276 Fourth Avenue, Building C • Chula Vista, CA 91910  
 (619) 691-5029 • Fax (619) 691-5204 • www.chulavista.gov/gov/fireprevention

PREPARED BY:



**HUNSAKER & ASSOCIATES**  
SAN DIEGO, INC.

PLANNING 9707 Waples Street  
 ENGINEERING San Diego, Ca. 92121  
 SURVEYING PH(650)558-4500 FX(650)558-1414

**DESIGN REVIEW PLAN FOR:**  
**ELEMENT BY WESTIN**  
**OTAY RANCH -**  
**FREEWAY COMMERCIAL NORTH**  
 CITY OF CHULA VISTA, CALIFORNIA

SHEET

**4**  
OF  
**4**

NO # 2807-0177