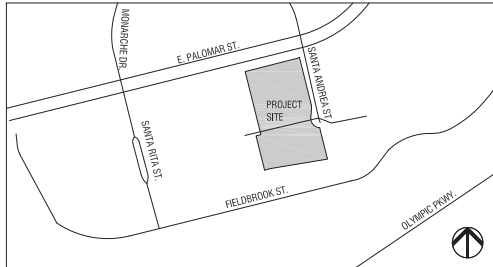


**Design Review**  
**Sharp Rees-Stealy Otay Ranch Expansion– IS210005**  
**Site Plan**

---

## vicinity map



## project description

APN: 642-566-0140  
ADDRESS: 1400 E. PALOMAR STREET, CHULA VISTA, CA 91913

PROJECT ENTALS A NEW 60,000 SF TWO STORY ADDITION TO AN EXISTING 68,000 SF THREE STORY MEDICAL OFFICE BUILDING. USES WILL INCLUDE OUTPATIENT CARE AS WELL AS URGENT CARE. SPACES WILL INCLUDE EXAM ROOMS, TREATMENT ROOMS, PHYSICIANS' OFFICES AND SUPPORT SPACES.

SUPPORTING THE FACILITY WILL BE SURFACE AND STRUCTURED PARKING.

FIRE SPRINKLERS: EXISTING BUILDING IS FULL SPRINKLERED, THE NEW ADDITION WILL BE FULLY SPRINKLERED.

## legal description

PARCEL A:  
LOT 5 OF CHULA VISTA TRACT NO. 96-04A, IN THE CITY OF CHULA VISTA, COUNTY OF SAN DIEGO, STATE OF CALIFORNIA, ACCORDING TO MAP THEREOF NO. 13990 FILED IN THE OFFICE OF THE SAN DIEGO COUNTY RECORDER, JUNE 27, 2000, SUBJECT TO THOSE RESERVATIONS AND RIGHTS CONTAINED IN THAT CERTAIN GRANT DEED RECORDED DECEMBER 9, 1999 AS FILE NO. 1999-0801542, OF OFFICIAL RECORDS.

PARCEL B:  
EASEMENTS APPURTENANT TO THE LAND DESCRIBED IN PARCEL A, ABOVE AS DESCRIBED IN THE SECTIONS ENTITLED "EASEMENT OVER ACCESS ROADWAY," "DRAINAGE," "UTILITY EASEMENTS," "CHARACTER OF EASEMENTS" AND "SELF-HELP EASEMENTS" OF THE DECLARATION OF COVENANTS, CONDITIONS AND RESTRICTIONS FOR MAIN STREET DISTRICT AT OTAY RANCH RECORDED ON DECEMBER 9, 1999, AS FILE NO. 1999-0801541 OF OFFICIAL RECORDS OF SAN DIEGO COUNTY, CALIFORNIA, AND ANY AMENDMENTS OR SUPPLEMENTAL DECLARATION PERTAINING THERETO (COLLECTIVELY, THE "MAIN STREET DISTRICT DECLARATION").

PARCEL C:  
TEMPORARY NONEXCLUSIVE EASEMENTS FOR CONSTRUCTION PURPOSES AND VEHICULAR AND PEDESTRIAN ACCESS, INGRESS AND EGRESS OVER THE ROADS KNOWN AS EAST PALOMAR STREET, PASEO RANCHERO AND SANTA MADORA STREET LOCATED IN THE CITY OF CHULA VISTA, COUNTY OF SAN DIEGO, STATE OF CALIFORNIA, SAID EASEMENT WILL TERMINATE AND BE OF NO FURTHER FORCE NOR EFFECT AT SUCH TIME AS THE CITY OF CHULA VISTA ACCEPTS THE OFFER OF DEDICATION FOR SAID ROADS, EXCEPTING THEREFROM ANY AND ALL OIL, OIL RIGHTS, MINERALS, MINERAL RIGHTS, NATURAL GAS RIGHTS AND OTHER HYDROCARBONS BY WHATSOEVER NAME KNOWN, GEOTHERMAL STEAM, ANY OTHER MINERAL RESOURCES AND ALL PRODUCTS DERIVED FROM ANY OF THE FOREGOING, THAT MAY BE WITHIN OR UNDER THE LAND CONVEYED HEREBY, TOGETHER WITH THE PERPETUAL RIGHT OF DRILLING, MINING, EXPLORING AND OPERATION THEREFOR AND STORING IN AND REMOVING THE SAME FROM SAID LAND OR ANY OTHER LAND, INCLUDING THE RIGHT TO WHIPSTOCK OR DIRECTIONALLY DRILL AND MINE FROM LANDS OTHER THAN THE LAND CONVEYED HEREBY, OIL OR GAS WELLS, TUNNELS AND SHAFTS INTO, THROUGH OR ACROSS THE SUBSURFACE OF THE LAND CONVEYED HEREBY, AND TO BOTTOM SUCH WHIPSTOCKED OR DIRECTIONALLY DRILLED WELLS, TUNNELS AND SHAFTS UNDER AND BENEATH OR BEYOND THE EXTERIOR LIMITED THEREOF, AND TO REDRILL, RETUNNEL EQUIP, MAINTAIN, REPAIR, DEEPEN AND OPERATE ANY SUCH WELLS OR MINES, WITHOUT, HOWEVER THE RIGHT TO DRILL, MINE, STORE, EXPLORE AND OPERATE THROUGH THE SURFACE OR THE UPPER 500 FEET OF THE SUBSURFACE OF THE LAND.

## project directory

### PROJECT DIRECTORY

#### owner/permittee

SHARP REES-STEALY  
8520 TECH WAY  
SAN DIEGO, CA 92123  
858.334.8126

JENNIFER BLECKNER

#### entitlements

IDP  
525 B STREET, SUITE 1700  
SAN DIEGO, CA 92101  
WORK: 858.578.8964

LANCE UNVERZAGT  
ANDREW BELCOURT

#### contractor

DPR CONSTRUCTION  
5010 SHOREHAM PLACE  
SAN DIEGO, CA 92122  
WORK: 858.597.7070

ERIC SCHEIDINGER

#### architect:

ARCHITECTS Hanna galbaf and  
1955 BACON STREET  
SAN DIEGO, CA 92107  
WORK: 619.323.8485

RANDY HANNA, AIA  
SEAN CHEN, AIA  
RACHEL NUCCI, AIA

#### civil engineer:

KETTLER LEWIS ENGINEERING  
1620 5TH AVENUE, SUITE 675  
SAN DIEGO, CA 92101  
WORK: 619.269.3444

STEVE KETTLER  
ARMANDO UROQUEZ

#### landscape architect

GROUNDLEVEL LANDSCAPE ARCHITECTURE  
2805 STATE STREET, SUITE B  
SAN DIEGO, CA 92108  
WORK: 619.325.1990

IAN MORRIS  
ADLYNN HARE

#### electrical engineer

TANNER ENGINEERING  
5250 JACKSON DRIVE, #200  
LA MESA, CA 91902  
WORK: 619.797.3942

VALERIE BRYNE

## sheet index

### COVER

C0.0	TITLE SHEET
C0.1	KEY MAP AND SECTIONS
C1.0	EXISTING CONDITIONS AND PARTIAL DEMOLITION PLAN
C2.0	GRADING PLAN
C2.1	STORM DRAIN AND UTILITIES PLAN
C3.1	STORM DRAIN AND UTILITIES PLAN
C4.0	HORIZONTAL CONTROL SURFACE IMPROVEMENTS PLAN
C5.0	EROSION CONTROL PLAN
C5.1	EROSION CONTROL PLAN
C6.0	FIRE AND WASTE/RECYCLING TRUCK ACCESS PLAN

LA100	LANDSCAPE ILLUSTRATIVE PLAN
LS100	LANDSCAPE TREE SURVEY PLAN
LS200	LANDSCAPE TREE SURVEY SCHEDULE AND NOTES
LC101	LANDSCAPE CONSTRUCTION PLAN
LP101	LANDSCAPE PLANTING PLAN

A1	SITE PLAN
A2	FLOOR PLANS
A3	PARKING STRUCTURE FLOOR PLANS
A4	ELEVATIONS
A5	PARKING STRUCTURE ELEVATIONS
A6	RENDERING NEWS

E100	PHOTOMETRICS AT PROPERTY LINE
------	-------------------------------

# SHARP OTAY RANCH MOB

Design Review: DR21-0029

Conditional Use Permit: CUP21-0019

Environmental Review: IS21-0005

06.27.2022

PROPOSED

Use: Medical Office Building  
(Medical, Dental & Health Services)

Zone: RM2/C/CPF

Lot Area: 203,602 sf

Coverage: 0.48

FAR: 0.62

Building Area: 67,372 sf (existing) + 58,788 sf (addition)  
= 126,160 (total)

43,793 sf of parking structure

Building Height: 53 ft (existing) / + 556.46 (T.O. Roof)  
40 ft (addition) / + 543.46 (T.O. Mech Screen)  
48.5 ft (pkg structure) / + 543.50 (T.O. Guardrail)

Provided Off-Street Parking: 1 per 200 SF  
(631 Required, 667 Provided)

Landscaped Area: 32,296 SF

Impervious Area: 132,200 SF

LEGEND

Existing Fire Hydrant

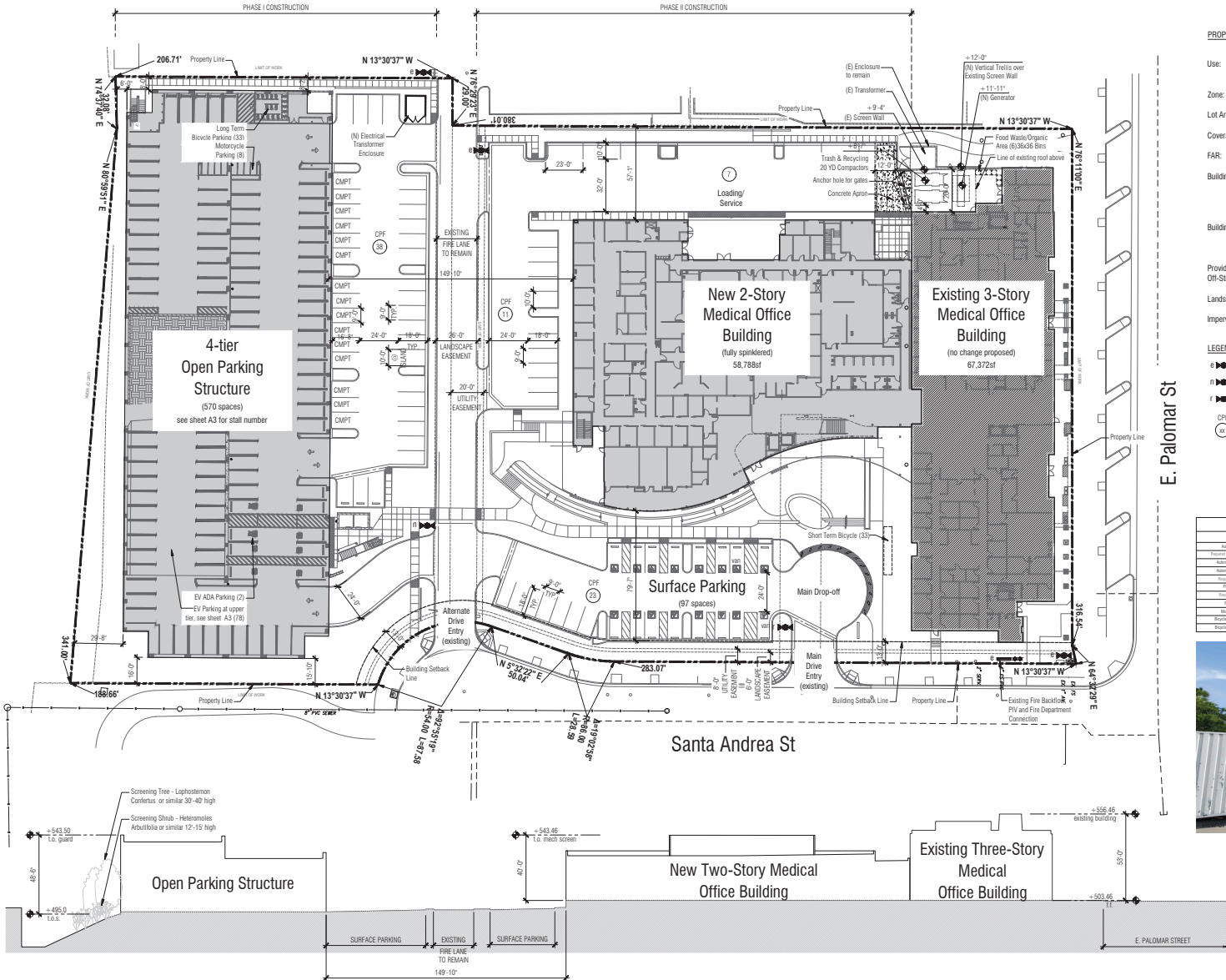
New Fire Hydrant

Relocated Fire Hydrant

CPF

CPF designated area/parking shall be available for other community uses, however, shall not interfere with medical clinic hours of operation

SITE PARKING TABULATION			
	surface	structured	Total
Automobile (AF)	78	915	993
Automobile (Commercial) (ACOM)			101
Automobile (Commercial) (ACOM)			634
Automobile (Commercial) (ACOM)			15
Automobile (Commercial) (ACOM)			15
Automobile (Commercial) (ACOM)			72
Automobile (Commercial) (ACOM)			83
Automobile (Commercial) (ACOM)			83
Automobile (Commercial) (ACOM)			8
Automobile (Commercial) (ACOM)			33
Automobile (Commercial) (ACOM)			33



project SHARP OTAY RANCH MOB

1400 E. PALOMAR STREET  
CHULA VISTA, CA 91913

date 2022.06.27

high project number 21.45

agency project number ENVIRONMENTAL: IS21-0005  
DESIGN REVIEW: DR21-0029  
CONDITION USE: CUP21-0019

sheet description site plan

sheet number

project phase

CITY OF CHULA VISTA



no.	date	description
-----	------	-------------

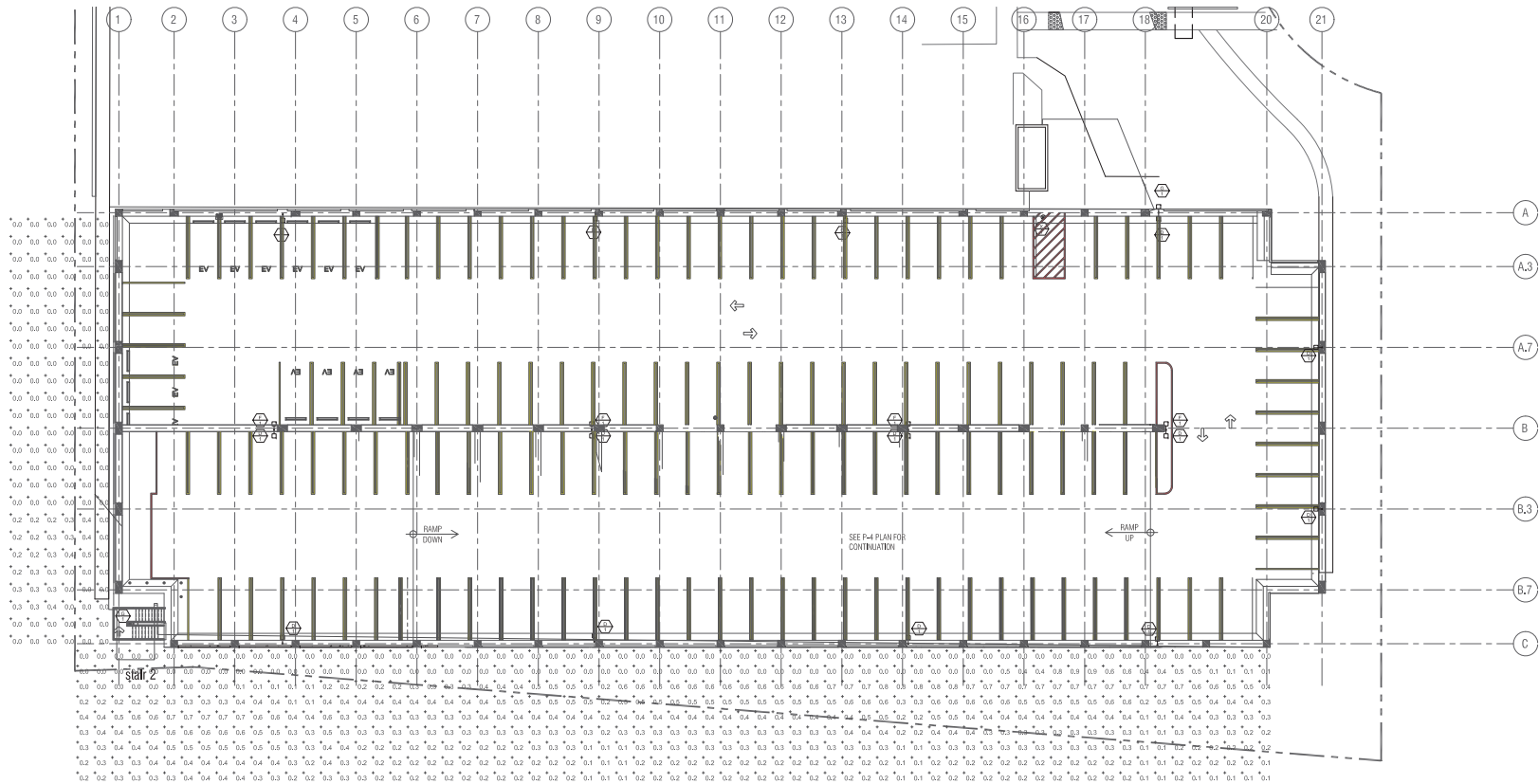
project	SHARP OTAY RANCH MOB
date	2022.06.27
high project number	21.45
agency project number	ENVIRONMENTAL: IS21-0005 DESIGN REVIEW: DR21-0029 CONDITION USE: CUP21-0019

sheet description  
PHOTOMETRICS AT PROPERTY LINE

sheet number

E100

project phase  
CITY OF CHULA VISTA



# 1 PHOTOMETRICS AT PROPERTY LINE

1/16" = 1'-0"



**Design Review**  
**Sharp Rees-Stealy Otay Ranch Expansion– IS210005**  
**Elevations**

---



revision schedule

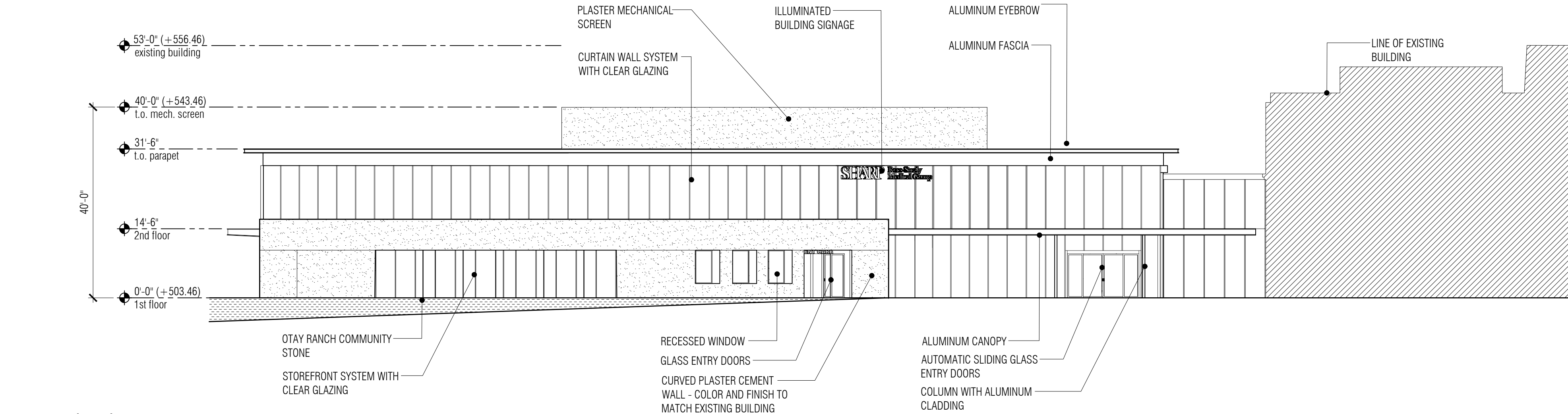
no.	date	description
-----	------	-------------

SESSANTA 102097 TRIPLE FULL  
22' D x 37' W x 54' H



102097

proposed interior refuse bin



01 east elevation  
1/16" = 1'-0"

Refuse Compactor Use

From:  
Anselmo Alleva, Director of Facilities, Sharp  
Healthcare

Currently we have 1 garbage and 1 recycle dumpster to service the existing Otay Ranch facility, both are picked up daily and are often to capacity.

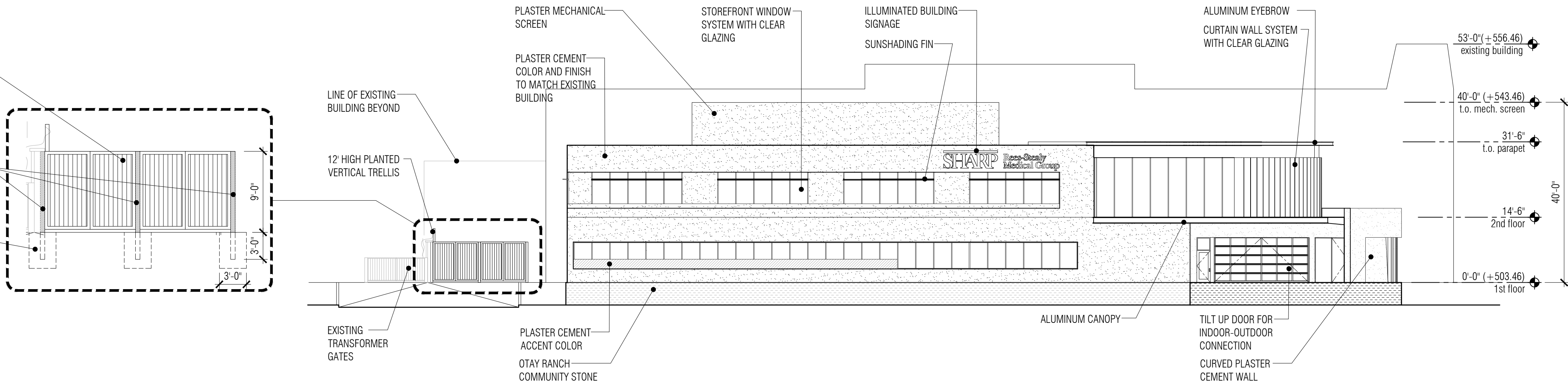
By adding the additional 60,000 sq. ft., we will need to increase garbage bins to 3 and recycle to 2, while maintaining daily pick up service.

The proposed compactors (1 trash & 1 recycle) will utilize a smaller foot print than 5 dumpsters and the frequency of pick up will be "as needed" and based on experience from other SRS sites is anywhere from once every 2-3 weeks, significantly reducing traffic trips and relieving congestion in the back of the building, namely for the ambulance parking and vendor deliveries.

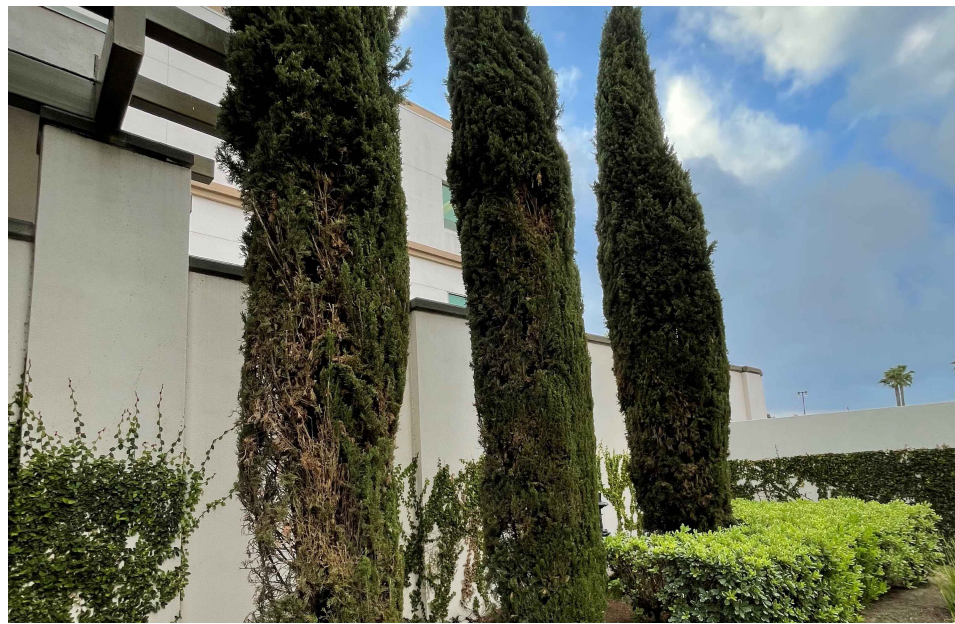
TRASH ENCLOSURE GATES, STYLE TO MATCH ADJACENT EXISTING TRANSFORMER GATES

4x4x1/4" STEEL HSS GATE SUPPORT WITH HEAVY DUTY HINGES, PAINTED TO MATCH ADJACENT EXISTING

CONCRETE PILE FOUNDATION FOR GATE POST, TYPICAL 3



02 south elevation  
1/16" = 1'-0"

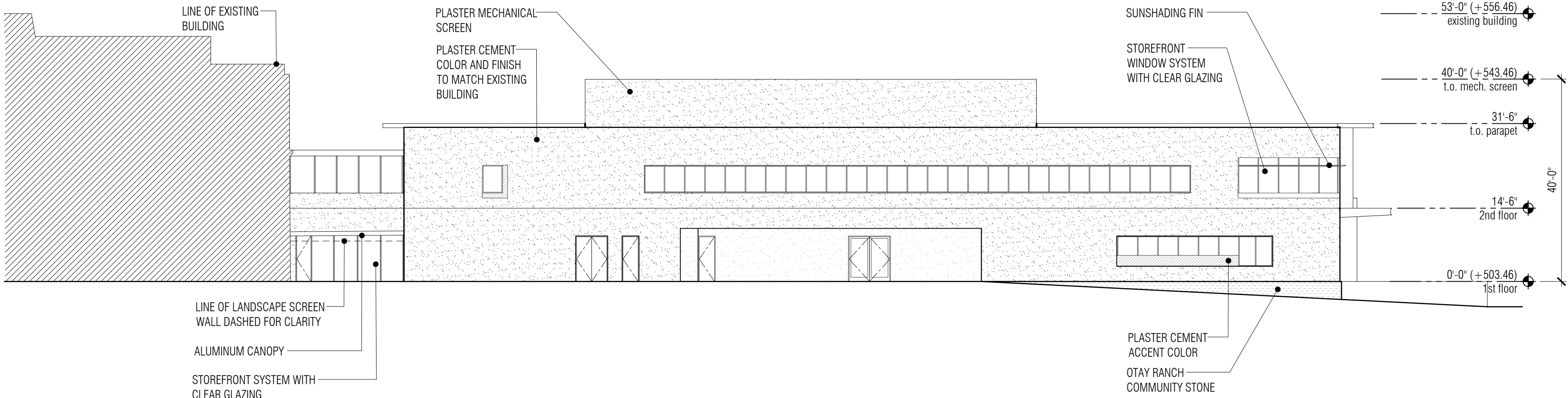


view of existing screen wall



view of proposed extension to existing screen wall

04 screen wall rendering  
NTS



03 west elevation  
1/16" = 1'-0"

project

SHARP OTAY RANCH MOB

1400 E. PALOMAR STREET  
CHULA VISTA, CA 91913

date

2022.06.27

hgw project number

21.45

agency project number

ENVIRONMENTAL: IS21-0005  
DESIGN REVIEW: DR21-0029  
CONDITION USE: CUP21-0019

sheet description

exterior elevations

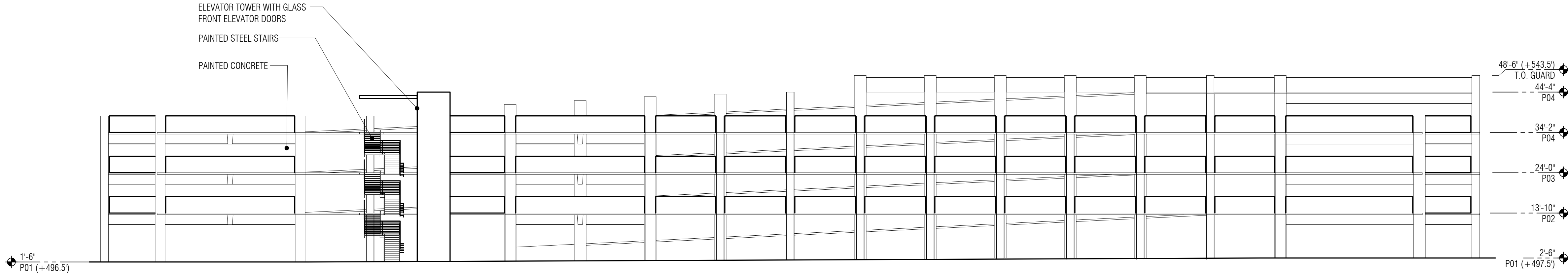
sheet number

A4

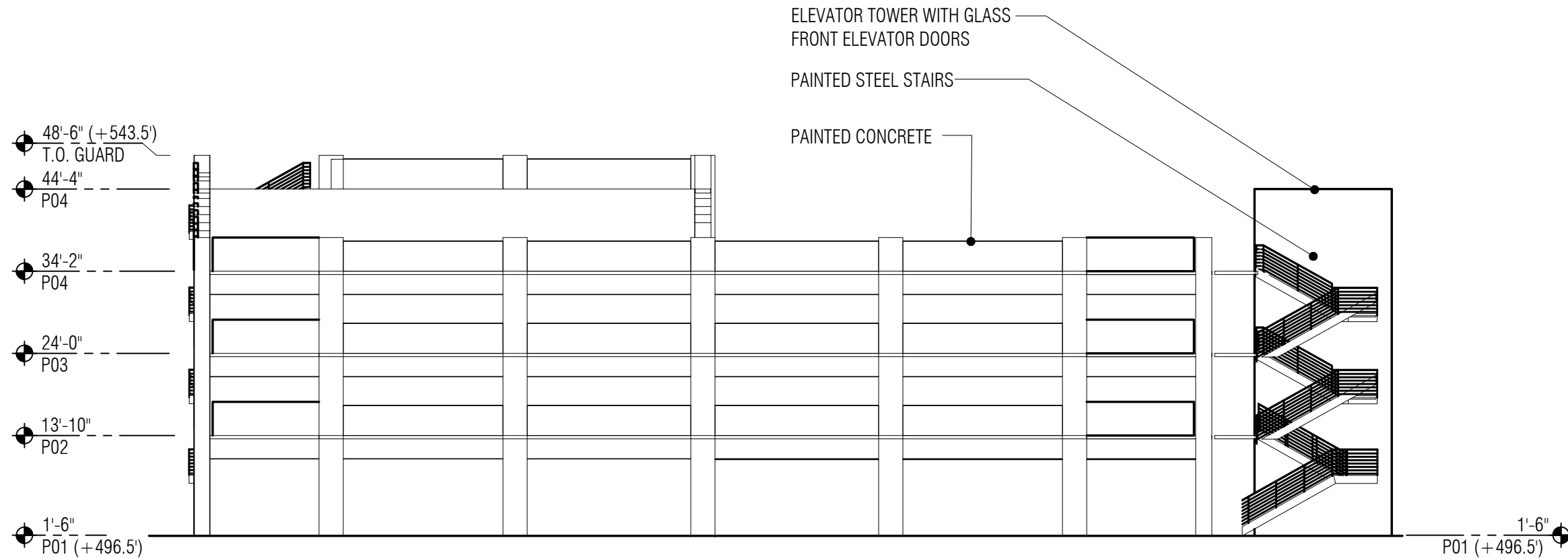
project phase

CITY OF CHULA VISTA

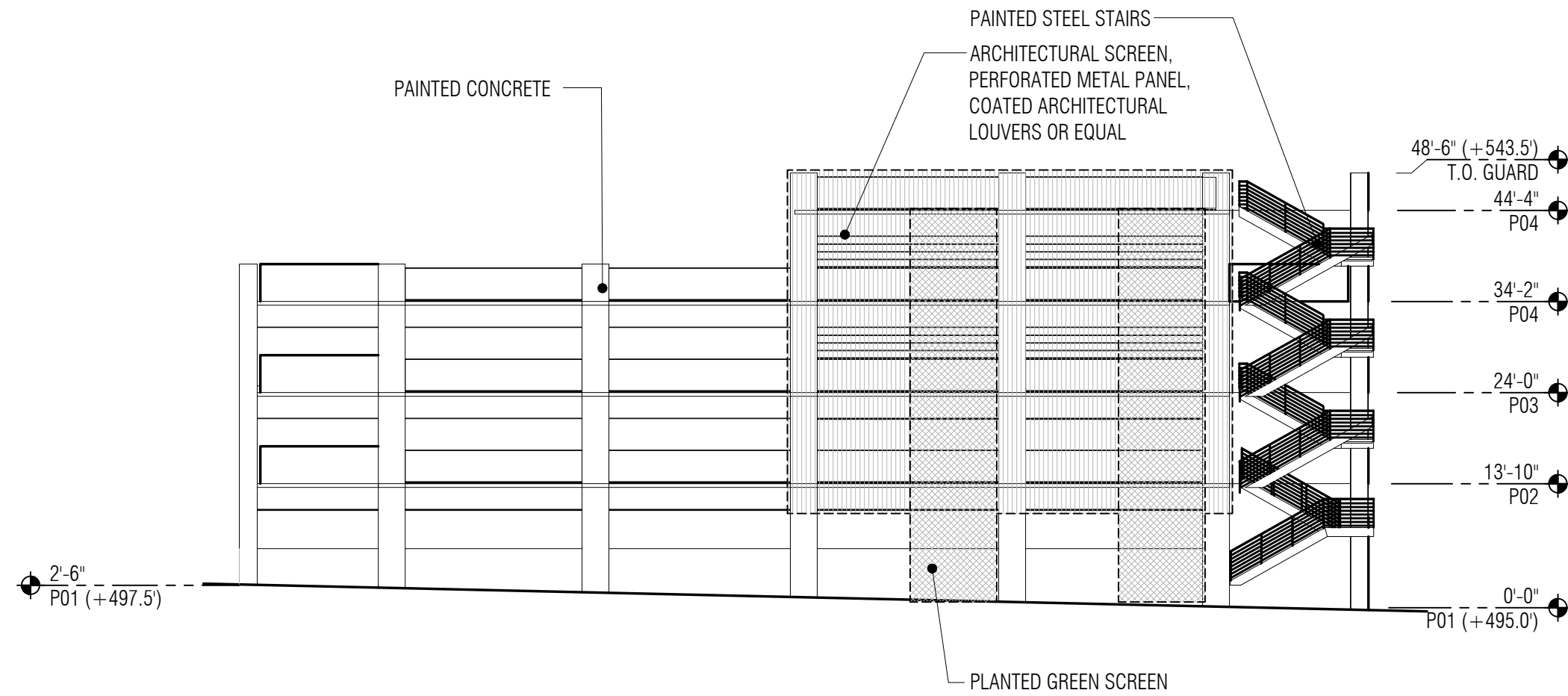




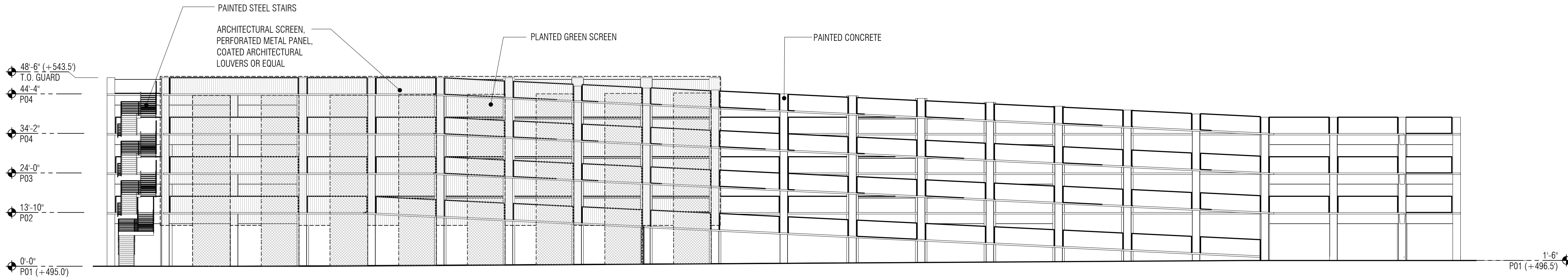
01 north elevation  
1/16" = 1'-0"



02 east elevation  
1/16" = 1'-0"



03 west elevation  
1/16" = 1'-0"



04 south elevation  
1/16" = 1'-0"

project  
SHARP OTAY RANCH MOB

1400 E. PALOMAR STREET  
CHULA VISTA, CA 91913

date  
2022.06.27

hgw project number  
21.45

agency project number  
ENVIRONMENTAL: IS21-0005  
DESIGN REVIEW: DR21-0029  
CONDITION USE: CUP21-0019

sheet description  
exterior elevations

sheet number  
A5

project phase  
CITY OF CHULA VISTA



revision schedule

no.	date	description
-----	------	-------------



01 view of main entry plaza from patient drop-off  
NTS



02 view of plaza at southeast corner of mob  
NTS



03 view of parking structure from southeast corner  
NTS



04 view of parking structure from southwest corner  
NTS

project SHARP OTAY RANCH MOB

1400 E. PALOMAR STREET  
CHULA VISTA, CA 91913

date 2022.06.27

hgw project number 21.45

agency project number ENVIRONMENTAL: IS21-0005  
DESIGN REVIEW: DR21-0029  
CONDITION USE: CUP21-0019

sheet description rendering views

sheet number A6

project phase CITY OF CHULA VISTA

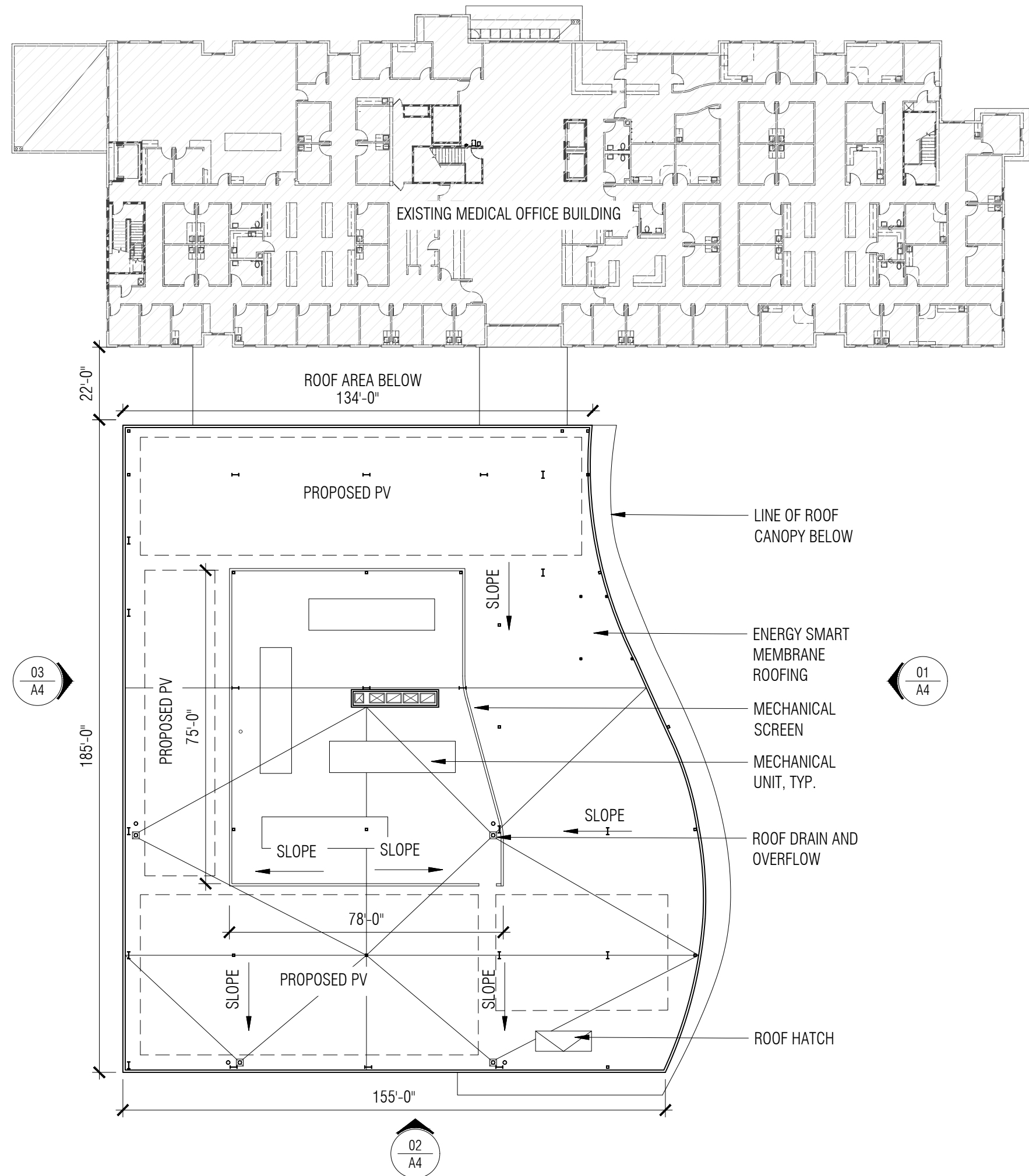


**Design Review**  
**Sharp Rees-Stealy Otay Ranch Expansion– IS210005**  
**Floor Plans**

---

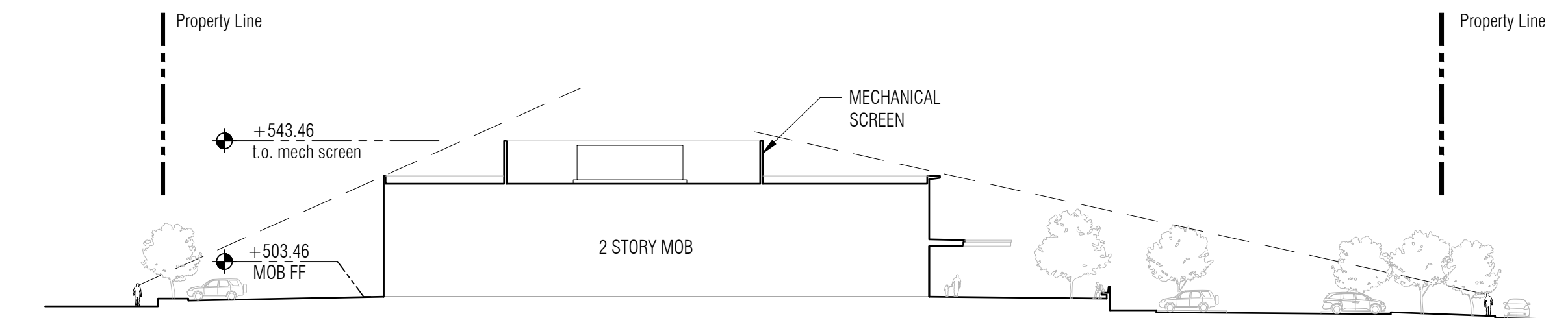
revision schedule

no.	date	description
-----	------	-------------

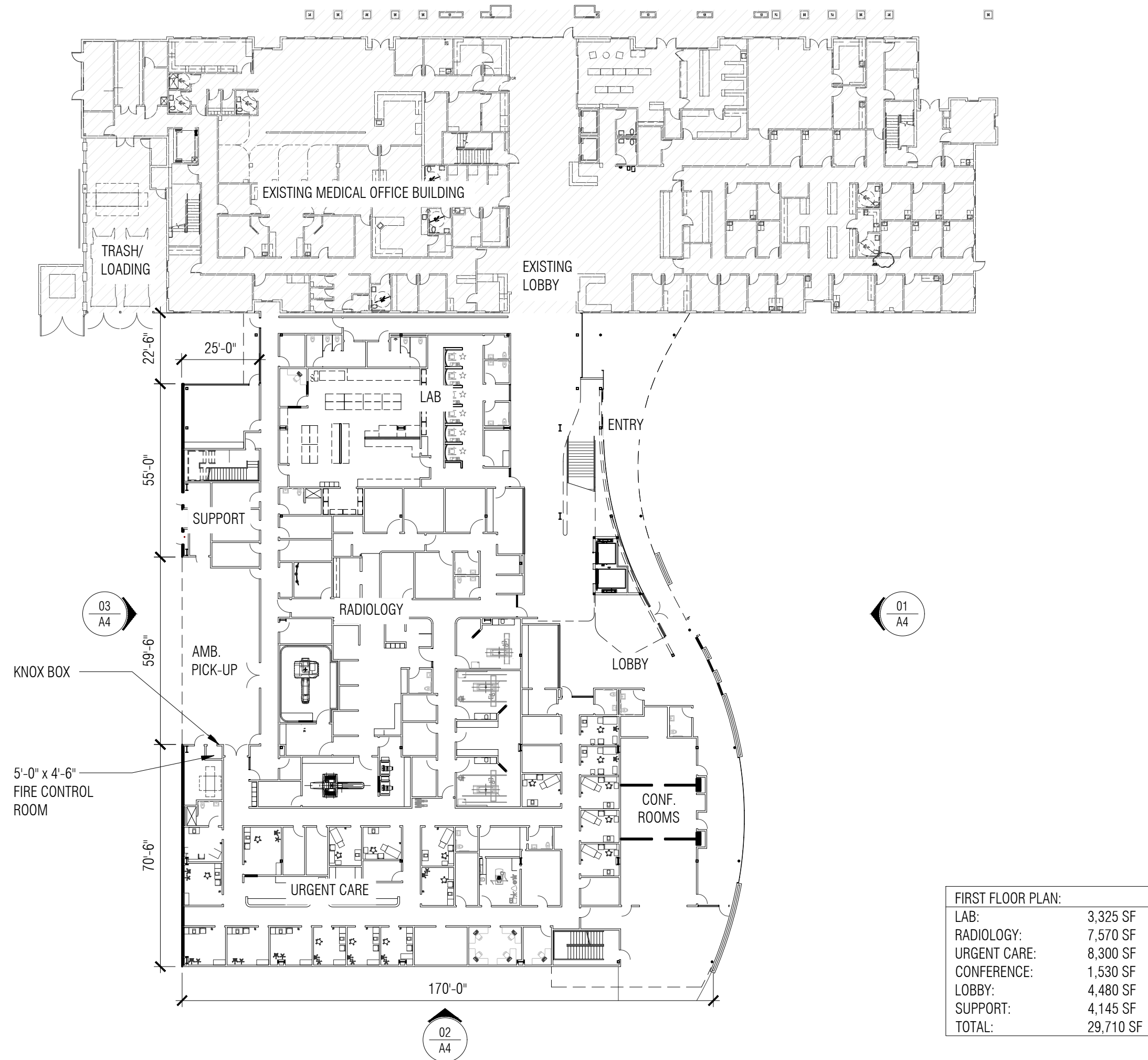


03 roof plan  
1/32" = 1'-0"

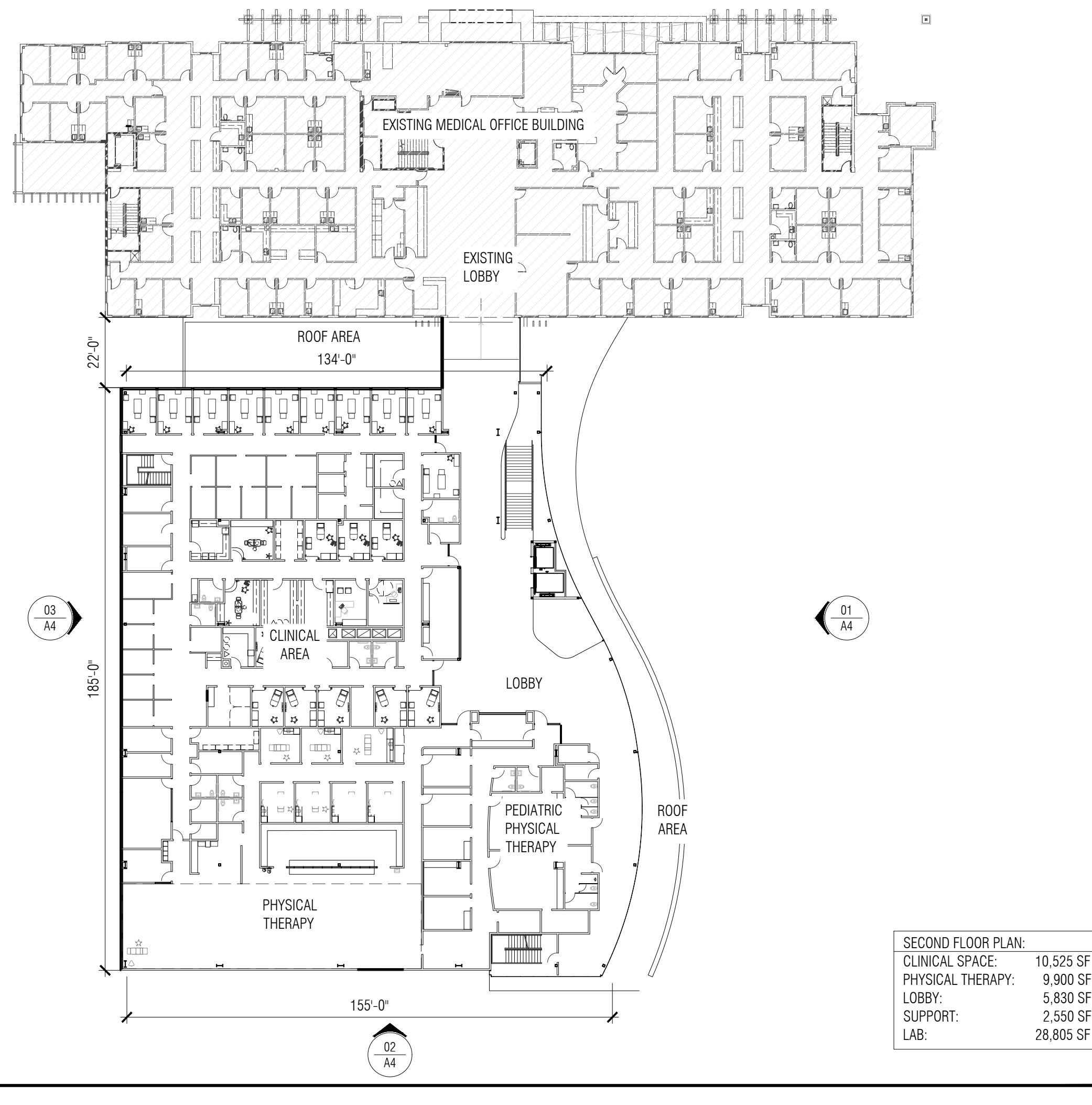
	EXISTING BUILDING	PROPOSED EXPANSION
TYPE OF CONSTRUCTION	IIB	IIB
NUMBER OF STORIES	3	2
BUILDING AREA	67,372 SF	58,788 SF
BASE OCCUPANCY	B	B
ALLOWABLE STORIES	4	4
ALLOWABLE AREA	258,750 SF	258,750 SF



04 site section  
1/32" = 1'-0"



01 first floor plan  
1/32" = 1'-0"



02 second floor plan  
1/32" = 1'-0"

project SHARP OTAY RANCH MOB

1400 E. PALOMAR STREET  
CHULA VISTA, CA 91913

date 2022.06.27

hgw project number 21.45

agency project number

ENVIRONMENTAL: IS21-0005  
DESIGN REVIEW: DR21-0029  
CONDITION USE: CUP21-0019

sheet description floor plans

sheet number A2

project phase CITY OF CHULA VISTA



revision schedule

no.	date	description
-----	------	-------------

project

SHARP OTAY RANCH MOB

1400 E. PALOMAR STREET  
CHULA VISTA, CA 91913

date	2022.06.27
------	------------

hgw project number	21.45
--------------------	-------

agency project number	ENVIRONMENTAL: IS21-0005 DESIGN REVIEW: DR21-0029 CONDITION USE: CUP21-0019
-----------------------	---

sheet description

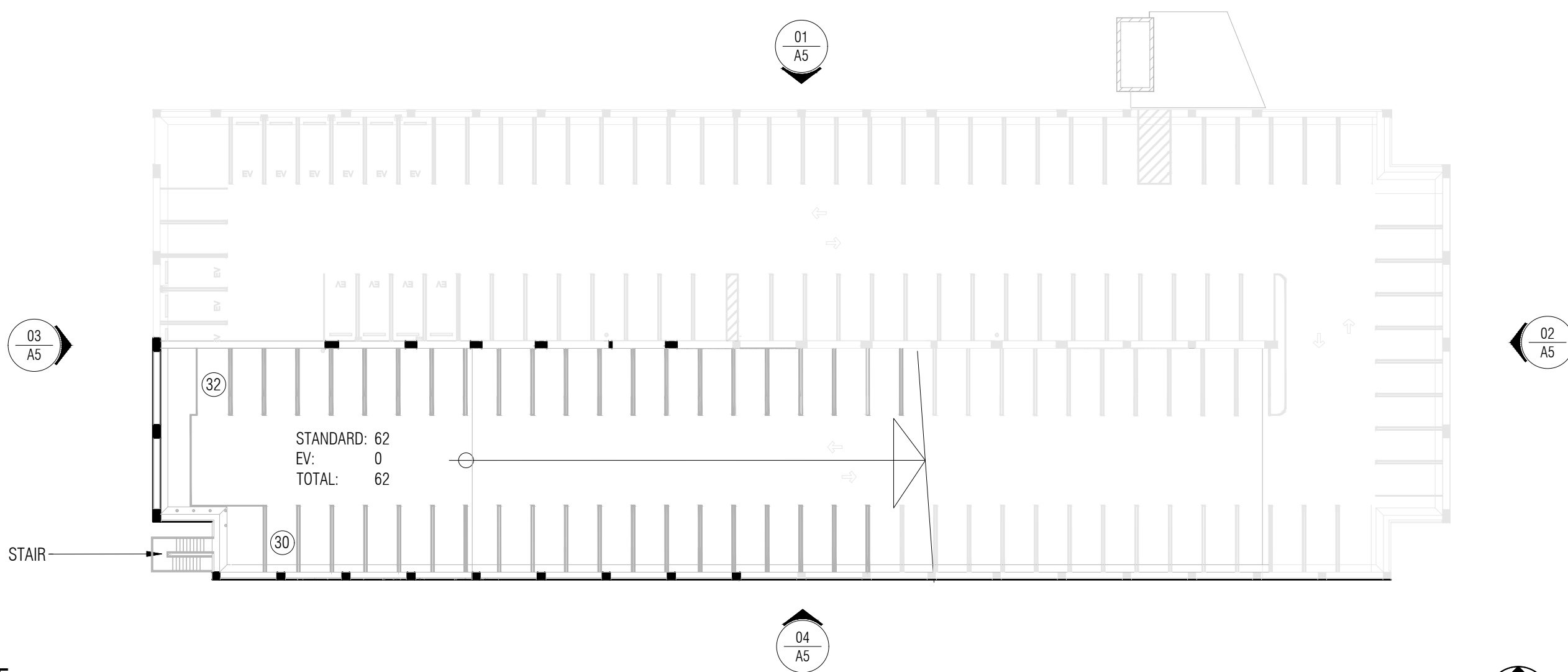
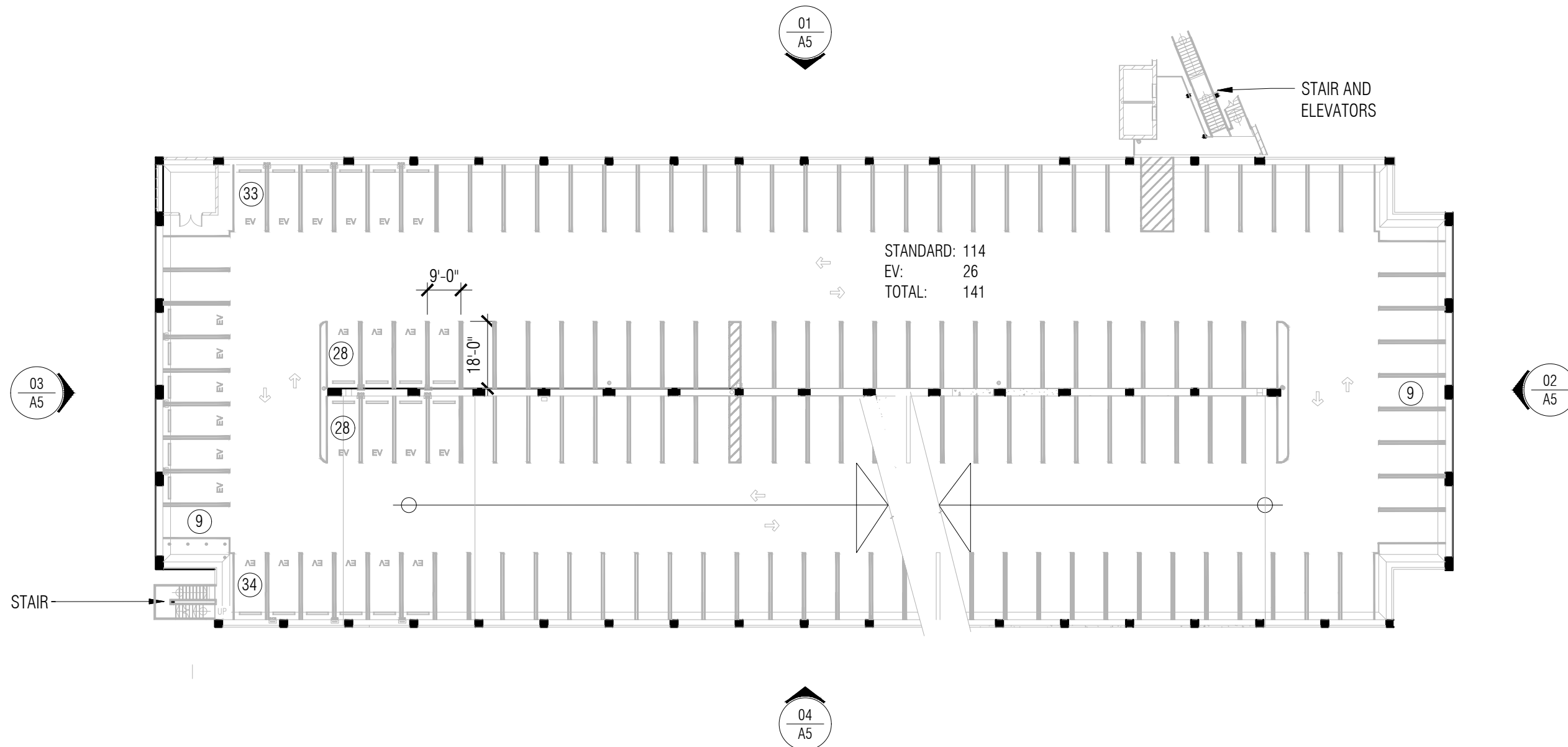
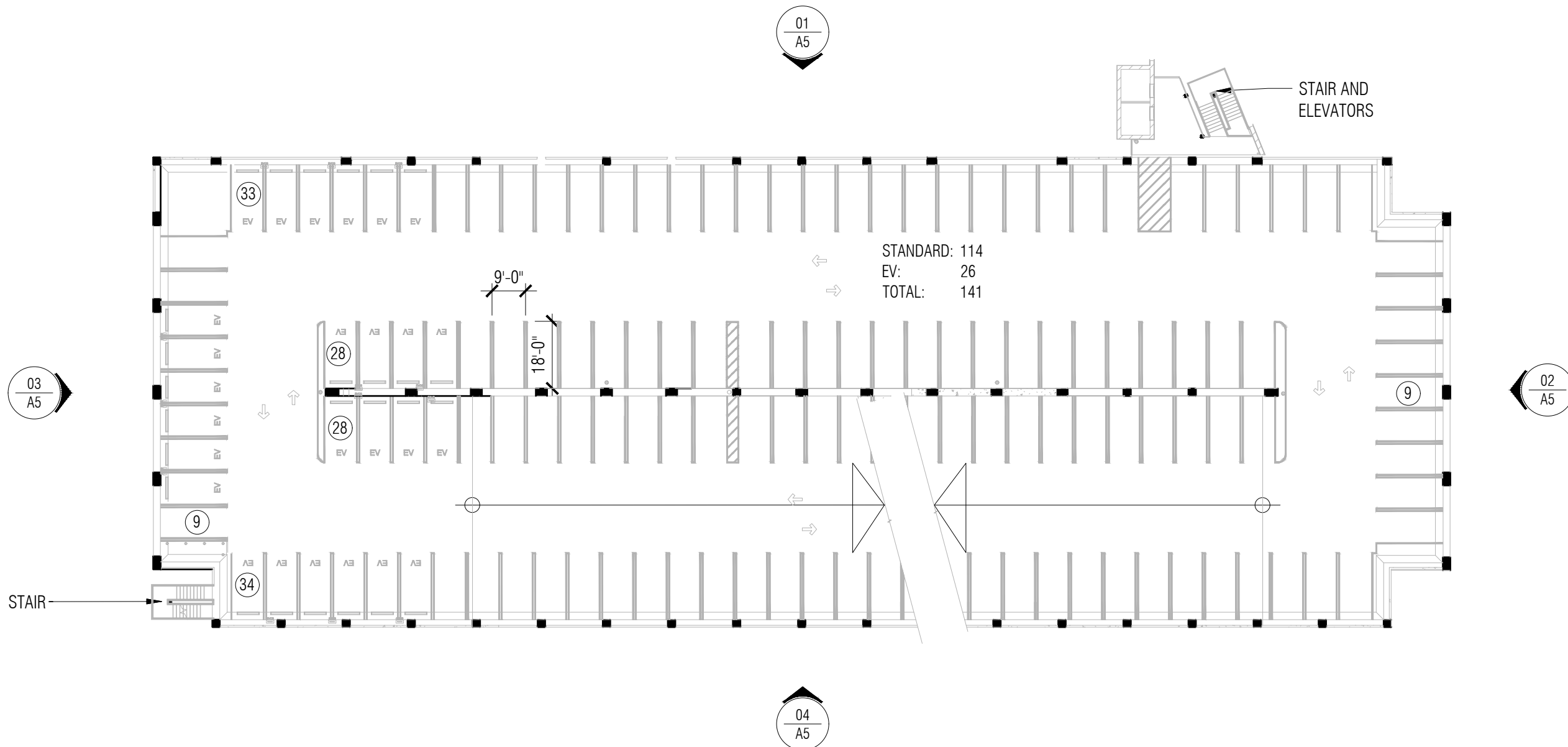
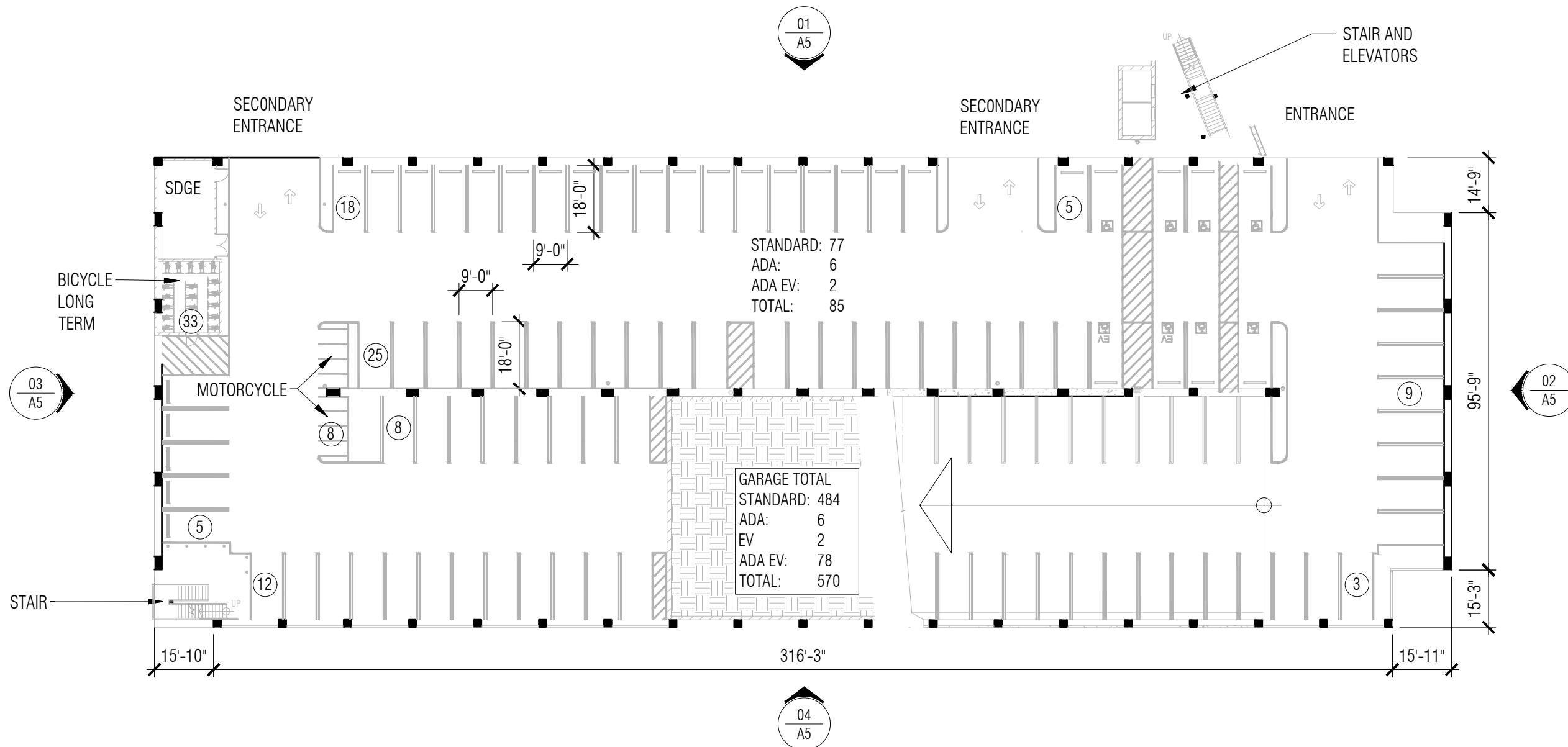
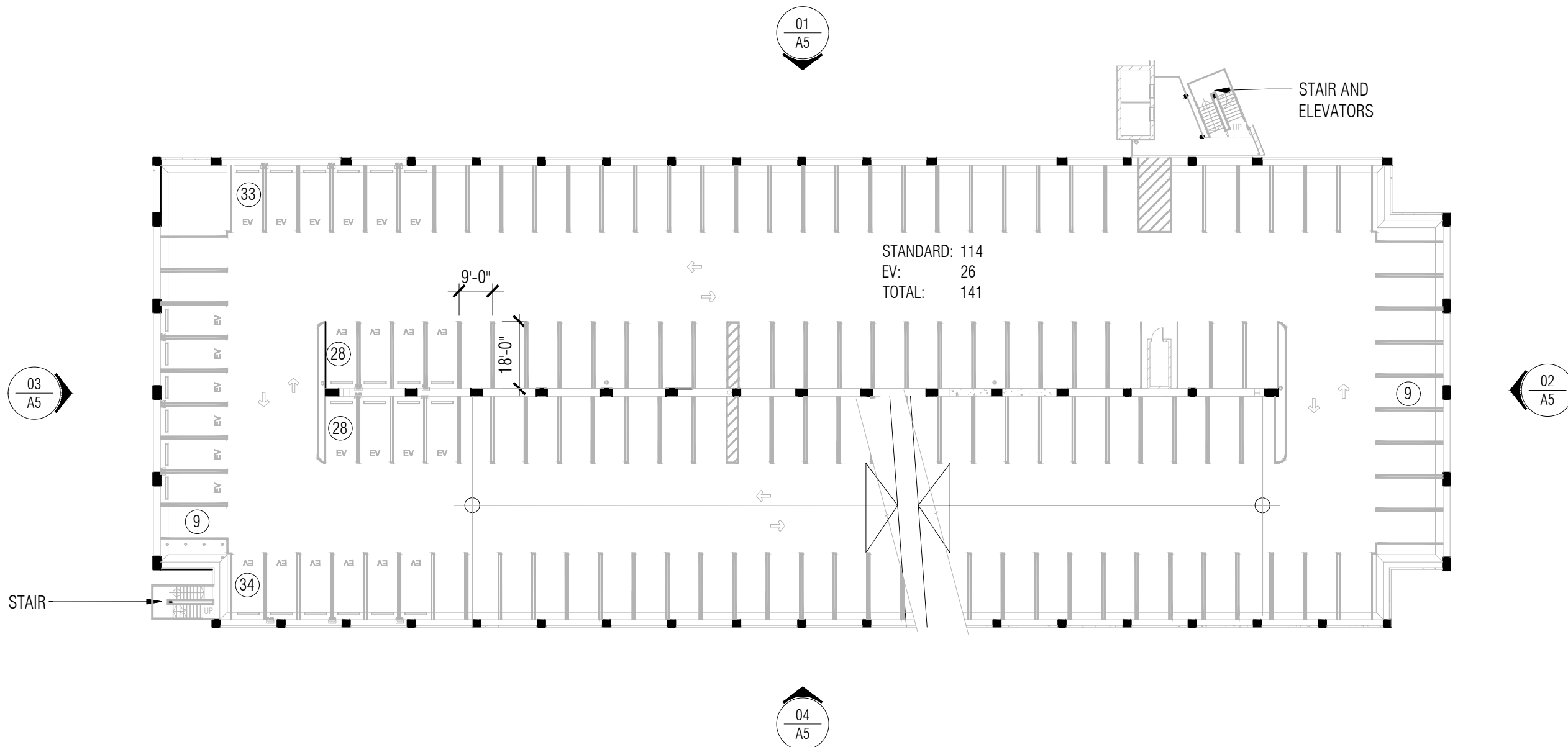
parking structure plans

sheet number

A3

project phase

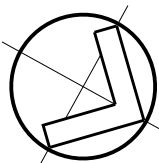
CITY OF CHULA VISTA



**Design Review**  
**Sharp Rees-Stealy Otay Ranch Expansion– IS210005**  
**Conceptual Landscape Plans**

---





revision schedule

no.	date	description
-----	------	-------------



project

SHARP OTAY RANCH MOB

1400 E. PALOMAR STREET  
CHULA VISTA, CA 91913

date

2022.06.27

hgw project number

21.45

agency project number

ENVIRONMENTAL: IS21-0005  
DESIGN REVIEW: DR21-0029  
CONDITION USE: CUP21-0019

sheet description

LANDSCAPE ILLUSTRATIVE PLAN

sheet number

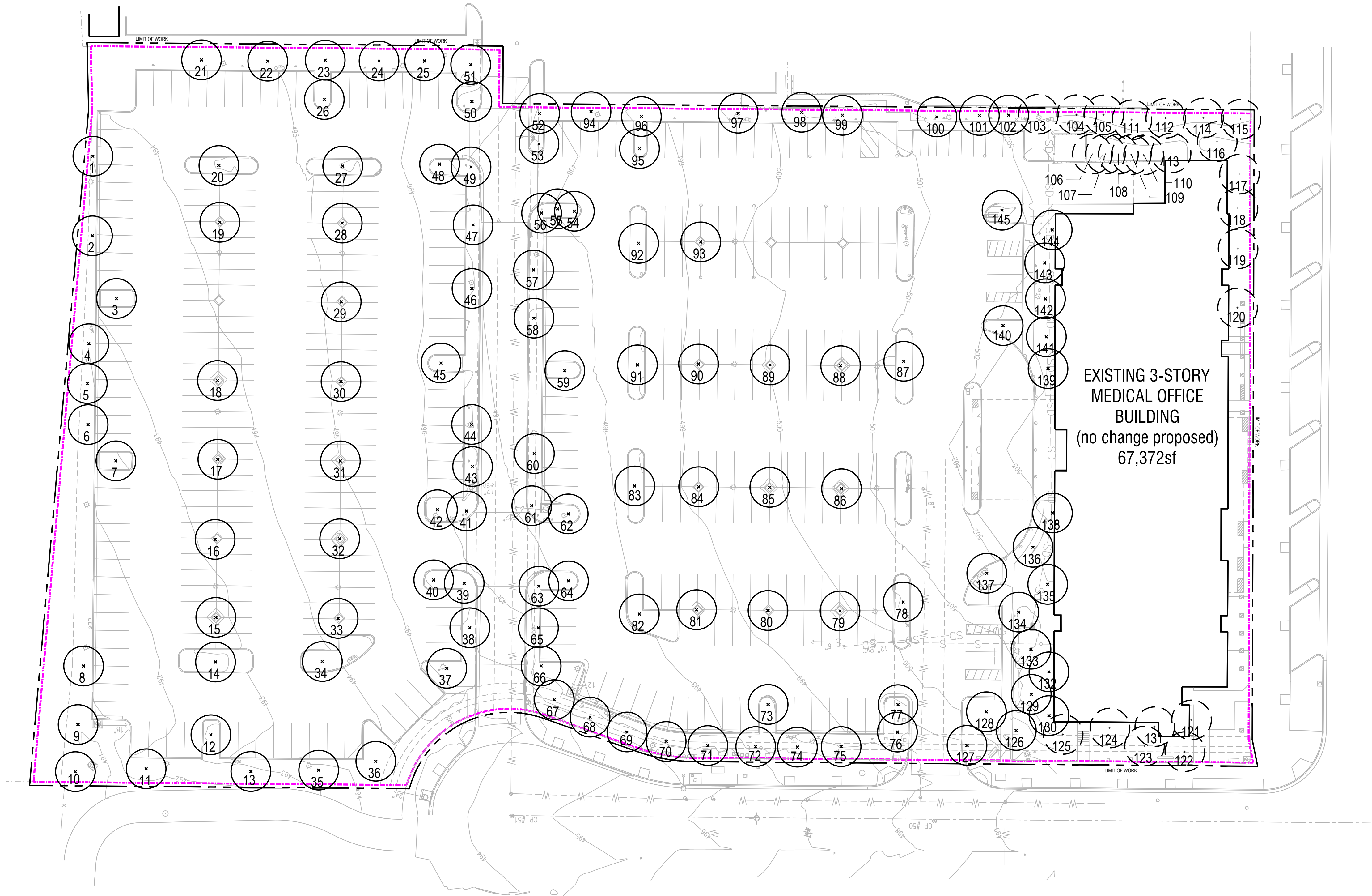
LA100

project phase

CITY OF CHULA VISTA



© ARCHITECTS harma gabriel wells, all rights reserved. Any use without permission is expressly prohibited. Printed



TREE LEGEND	
	REMOVE TREE
	PROTECT TREE

ARCHITECTS

harma gabriel wells

1955 bacon street  
san diego, ca 92107  
619.523.8485  
619.523.8487  
www.architects-hgw.com

**SHARP** Rees-Stealy  
Medical Centers

**DPR**  
CONSTRUCTION  
GROUNDLEVEL  
LANDSCAPE ARCHITECTURE

**ICF**  
2605 State Street, Suite B  
San Diego, CA 92103  
619.234.1010  
GroundLevelSD.com  
GL Project #21046

revision schedule

no.	date	description
-----	------	-------------



project

SHARP OTAY RANCH MOB

1400 E. PALOMAR STREET  
CHULA VISTA, CA 91913

date

2022.06.27

hgw project number

21.45

agency project number

ENVIRONMENTAL: IS21-0005  
DESIGN REVIEW: DR21-0029  
CONDITION USE: CUP21-0019

sheet description

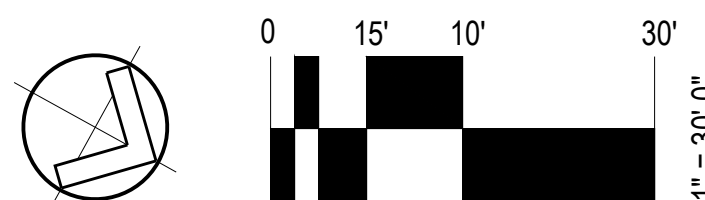
LANDSCAPE TREE SURVEY PLAN

sheet number

LS100

project phase

CITY OF CHULA VISTA





TREE SURVEY - PROTECTION & REMOVAL						
NUMBER	TREE SPECIES	COMMON NAME	CALIPER	HEIGHT	SPREAD	ACTION
1	CORYMBIA CITRIODORA	LEMON EUCALYPTUS	2	15'	-	REMOVE
2	TRISTANIA CONFERTA	BRISBANE BOX	2	12'	8'	REMOVE
3	TRISTANIA CONFERTA	BRISBANE BOX	2	12'	8'	REMOVE
4	TRISTANIA CONFERTA	BRISBANE BOX	2	12'	8'	REMOVE
5	TRISTANIA CONFERTA	BRISBANE BOX	2	12'	8'	REMOVE
6	TRISTANIA CONFERTA	BRISBANE BOX	2	12'	8'	REMOVE
7	TRISTANIA CONFERTA	BRISBANE BOX	2	12'	8'	REMOVE
8	TRISTANIA CONFERTA	BRISBANE BOX	2	18'	8'	REMOVE
9	TRISTANIA CONFERTA	BRISBANE BOX	2	18'	8'	REMOVE
10	TRISTANIA CONFERTA	BRISBANE BOX	2	18'	8'	REMOVE
11	TRISTANIA CONFERTA	BRISBANE BOX	2	18'	8'	REMOVE
12	TRISTANIA CONFERTA	BRISBANE BOX	2	15'	8'	REMOVE
13	TRISTANIA CONFERTA	BRISBANE BOX	1	6'	8'	REMOVE
14	TRISTANIA CONFERTA	BRISBANE BOX	1	8'	8'	REMOVE
15	TRISTANIA CONFERTA	BRISBANE BOX	1	8'	8'	REMOVE
16	TRISTANIA CONFERTA	BRISBANE BOX	1	8'	8'	REMOVE
17	TRISTANIA CONFERTA	BRISBANE BOX	2	12'	8'	REMOVE
18	TRISTANIA CONFERTA	BRISBANE BOX	2	12'	8'	REMOVE
19	TRISTANIA CONFERTA	BRISBANE BOX	2	12'	8'	REMOVE
20	TRISTANIA CONFERTA	BRISBANE BOX	2	15'	12'	REMOVE
21	TRISTANIA CONFERTA	BRISBANE BOX	2	15'	8'	REMOVE
22	TRISTANIA CONFERTA	BRISBANE BOX	2	15'	8'	REMOVE
23	TRISTANIA CONFERTA	BRISBANE BOX	2	18'	8'	REMOVE
24	TRISTANIA CONFERTA	BRISBANE BOX	2	12'	8'	REMOVE
25	TRISTANIA CONFERTA	BRISBANE BOX	1	8'	8'	REMOVE
26	TRISTANIA CONFERTA	BRISBANE BOX	2	15'	8'	REMOVE
27	TRISTANIA CONFERTA	BRISBANE BOX	2	15'	8'	REMOVE
28	TRISTANIA CONFERTA	BRISBANE BOX	2	15'	8'	REMOVE
29	TRISTANIA CONFERTA	BRISBANE BOX	2	12'	8'	REMOVE
30	TRISTANIA CONFERTA	BRISBANE BOX	2	12'	8'	REMOVE
31	TRISTANIA CONFERTA	BRISBANE BOX	1	8'	8'	REMOVE
32	TRISTANIA CONFERTA	BRISBANE BOX	1	10'	8'	REMOVE
33	TRISTANIA CONFERTA	BRISBANE BOX	2	12'	8'	REMOVE
34	TRISTANIA CONFERTA	BRISBANE BOX	2	12'	8'	REMOVE
35	TRISTANIA CONFERTA	BRISBANE BOX	2	20'	8'	REMOVE
36	TRISTANIA CONFERTA	BRISBANE BOX	2	20'	8'	REMOVE
37	TRISTANIA CONFERTA	BRISBANE BOX	2	15'	8'	REMOVE
38	TRISTANIA CONFERTA	BRISBANE BOX	2	15'	8'	REMOVE
39	WASHINGTONIA ROBUSTA	MEXICAN FAN PALM	3	20' BTH	10'	REMOVE
40	WASHINGTONIA ROBUSTA	MEXICAN FAN PALM	3	20' BTH	10'	REMOVE
41	WASHINGTONIA ROBUSTA	MEXICAN FAN PALM	3	20' BTH	10'	REMOVE
42	WASHINGTONIA ROBUSTA	MEXICAN FAN PALM	3	20' BTH	10'	REMOVE
43	TRISTANIA CONFERTA	BRISBANE BOX	2	12'	8'	REMOVE
44	TRISTANIA CONFERTA	BRISBANE BOX	2	12'	8'	REMOVE
45	TRISTANIA CONFERTA	BRISBANE BOX	1	10'	8'	REMOVE
46	TRISTANIA CONFERTA	BRISBANE BOX	2	15'	8'	REMOVE
47	TRISTANIA CONFERTA	BRISBANE BOX	2	12'	8'	REMOVE
48	WASHINGTONIA ROBUSTA	MEXICAN FAN PALM	3	20' BTH	12'	REMOVE
49	WASHINGTONIA ROBUSTA	MEXICAN FAN PALM	3	20' BTH	12'	REMOVE
50	WASHINGTONIA ROBUSTA	MEXICAN FAN PALM	3	20' BTH	12'	REMOVE
51	WASHINGTONIA ROBUSTA	MEXICAN FAN PALM	3	20' BTH	12'	REMOVE
52	WASHINGTONIA ROBUSTA	MEXICAN FAN PALM	3	20' BTH	12'	REMOVE
53	WASHINGTONIA ROBUSTA	MEXICAN FAN PALM	3	20' BTH	12'	REMOVE
54	WASHINGTONIA ROBUSTA	MEXICAN FAN PALM	3	20' BTH	12'	REMOVE

55	TRISTANIA CONFERTA	BRISBANE BOX	2	12'	8'	REMOVE
56	WASHINGTONIA ROBUSTA	MEXICAN FAN PALM	3	20' BTH	12'	REMOVE
57	TRISTANIA CONFERTA	BRISBANE BOX	3	12'	8'	REMOVE
58	TRISTANIA CONFERTA	BRISBANE BOX	1	6'	8'	REMOVE
59	TRISTANIA CONFERTA	BRISBANE BOX	2	12'	8'	REMOVE
60	TRISTANIA CONFERTA	BRISBANE BOX	2	12'	8'	REMOVE
61	WASHINGTONIA ROBUSTA	MEXICAN FAN PALM	3	20' BTH	12'	REMOVE
62	WASHINGTONIA ROBUSTA	MEXICAN FAN PALM	3	20' BTH	12'	REMOVE
63	WASHINGTONIA ROBUSTA	MEXICAN FAN PALM	3	20' BTH	12'	REMOVE
64	WASHINGTONIA ROBUSTA	MEXICAN FAN PALM	3	20' BTH	12'	REMOVE
65	TRISTANIA CONFERTA	BRISBANE BOX	2	15'	8'	REMOVE
66	TRISTANIA CONFERTA	BRISBANE BOX	2	15'	8'	REMOVE
67	PISTACIA CHINESIS	CHINESE PISTACHE	1	10'	8'	REMOVE
68	PISTACIA CHINESIS	CHINESE PISTACHE	1	10'	8'	REMOVE
69	PISTACIA CHINESIS	CHINESE PISTACHE	1	10'	8'	REMOVE
70	PISTACIA CHINESIS	CHINESE PISTACHE	1	10'	8'	REMOVE
71	PISTACIA CHINESIS	CHINESE PISTACHE	1	10'	8'	REMOVE
72	PISTACIA CHINESIS	CHINESE PISTACHE	1	10'	8'	REMOVE
73	TRISTANIA CONFERTA	BRISBANE BOX	2	18'	8'	REMOVE
74	PISTACIA CHINESIS	CHINESE PISTACHE	1	10'	8'	REMOVE
75	PISTACIA CHINESIS	CHINESE PISTACHE	1	10'	8'	REMOVE
76	SYAGRUS ROMANZOFFIANA	QUEEN PALM	2	20' BTH	12'	REMOVE
77	SYAGRUS ROMANZOFFIANA	QUEEN PALM	2	20' BTH	12'	REMOVE
78	TRISTANIA CONFERTA	BRISBANE BOX	2	18'	8'	REMOVE
79	TRISTANIA CONFERTA	BRISBANE BOX	1	10'	8'	REMOVE
80	TRISTANIA CONFERTA	BRISBANE BOX	1	10'	8'	REMOVE
81	TRISTANIA CONFERTA	BRISBANE BOX	1	8'	8'	REMOVE
82	TRISTANIA CONFERTA	BRISBANE BOX	2	18'	8'	REMOVE
83	TRISTANIA CONFERTA	BRISBANE BOX	1	8'	8'	REMOVE
84	TRISTANIA CONFERTA	BRISBANE BOX	1	8'	8'	REMOVE
85	TRISTANIA CONFERTA	BRISBANE BOX	1	8'	8'	REMOVE
86	TRISTANIA CONFERTA	BRISBANE BOX	1	8'	8'	REMOVE
87	TRISTANIA CONFERTA	BRISBANE BOX	2	12'	8'	REMOVE
88	TRISTANIA CONFERTA	BRISBANE BOX	2	12'	8'	REMOVE
89	TRISTANIA CONFERTA	BRISBANE BOX	2	12'	8'	REMOVE
90	TRISTANIA CONFERTA	BRISBANE BOX	2	12'	8'	REMOVE
91	TRISTANIA CONFERTA	BRISBANE BOX	2	12'	8'	REMOVE
92	TRISTANIA CONFERTA	BRISBANE BOX	2	12'	8'	REMOVE
93	TRISTANIA CONFERTA	BRISBANE BOX	2	12'	8'	REMOVE
94	TRISTANIA CONFERTA	BRISBANE BOX	1	6'	8'	REMOVE
95	TRISTANIA CONFERTA	BRISBANE BOX	2	12'	8'	REMOVE
96	TRISTANIA CONFERTA	BRISBANE BOX	2	12'	8'	REMOVE
97	TRISTANIA CONFERTA	BRISBANE BOX	2	12'	8'	REMOVE
98	TRISTANIA CONFERTA	BRISBANE BOX	2	12'	8'	REMOVE
99	TRISTANIA CONFERTA	BRISBANE BOX	2	12'	8'	REMOVE
100	WASHINGTONIA ROBUSTA	MEXICAN FAN PALM	3	25' BTH	10'	REMOVE
101	WASHINGTONIA ROBUSTA	MEXICAN FAN PALM	3	25' BTH	10'	REMOVE
102	JACARANDA MIMOSIFOLIA	BLUE JACARANDA	1	8'	12'	REMOVE
103	WASHINGTONIA ROBUSTA	MEXICAN FAN PALM	3	25' BTH	10'	PROTECT
104	WASHINGTONIA ROBUSTA	MEXICAN FAN PALM	3	25' BTH	10'	PROTECT
105	JACARANDA MIMOSIFOLIA	BLUE JACARANDA	2	15'	12'	PROTECT
106	CUPRESSUS SEMPERVIRENS	ITALIAN CYPRESS	3	25'	5'	PROTECT
107	CUPRESSUS SEMPERVIRENS	ITALIAN CYPRESS	3	25'	5'	PROTECT
108	CUPRESSUS SEMPERVIRENS	ITALIAN CYPRESS	3	25'	5'	PROTECT
109	CUPRESSUS SEMPERVIRENS	ITALIAN CYPRESS	3	25'	5'	PROTECT

110	CUPRESSUS SEMPERVIRENS	ITALIAN CYPRESS	3	25'	5'	PROTECT
111	JACARANDA MIMOSIFOLIA	BLUE JACARANDA	2	15'	12'	PROTECT
112	JACARANDA MIMOSIFOLIA	BLUE JACARANDA	2	15'	12'	PROTECT
113	WASHINGTONIA ROBUSTA	MEXICAN FAN PALM	3	30' BTH	12'	PROTECT
114	WASHINGTONIA ROBUSTA	MEXICAN FAN PALM	3	30' BTH	12'	PROTECT
115	WASHINGTONIA ROBUSTA	MEXICAN FAN PALM	3	30' BTH	12'	PROTECT
116	JACARANDA MIMOSIFOLIA	BLUE JACARANDA	2	15'	12'	PROTECT
117	WASHINGTONIA ROBUSTA	MEXICAN FAN PALM	3	30' BTH	12'	PROTECT
118	WASHINGTONIA ROBUSTA	MEXICAN FAN PALM	3	30' BTH	12'	PROTECT
119	WASHINGTONIA ROBUSTA	MEXICAN FAN PALM	3	30' BTH	12'	PROTECT
120	JACARANDA MIMOSIFOLIA	BLUE JACARANDA	2	15'	12'	PROTECT
121	WASHINGTONIA ROBUSTA	MEXICAN FAN PALM	3	30' BTH	10'	PROTECT
122	WASHINGTONIA ROBUSTA	MEXICAN FAN PALM	3	30' BTH	10'	PROTECT
123	WASHINGTONIA ROBUSTA	MEXICAN FAN PALM	3	30' BTH	10'	PROTECT
124	WASHINGTONIA ROBUSTA	MEXICAN FAN PALM	3	30' BTH	10'	PROTECT
125	WASHINGTONIA ROBUSTA	MEXICAN FAN PALM	3	30' BTH	10'	PROTECT
126	SYAGRUS ROMANZOFFIANA	QUEEN PALM	2	20' BTH	12'	REMOVE
127	SYAGRUS ROMANZOFFIANA	QUEEN PALM	2	20' BTH	12'	REMOVE
128	SYAGRUS ROMANZOFFIANA	QUEEN PALM	2	20' BTH	12'	REMOVE
129	JACARANDA MIMOSIFOLIA	BLUE JACARANDA	2	20'	12'	REMOVE
130	STRELITZIA NICOLAI	BIRD OF PARADISE	1	20'	8'	REMOVE
131	STRELITZIA NICOLAI	BIRD OF PARADISE	1	20'	8'	REMOVE
132	STRELITZIA NICOLAI	BIRD OF PARADISE	1	20'	8'	REMOVE
133	JACARANDA MIMOSIFOLIA	BLUE JACARANDA	2	20'	12'	REMOVE
134	JACARANDA MIMOSIFOLIA	BLUE JACARANDA	2	20'	12'	REMOVE
135	JACARANDA MIMOSIFOLIA	BLUE JACARANDA	2	20'	12'	REMOVE
136	JACARANDA MIMOSIFOLIA	BLUE JACARANDA	2	20'	12'	REMOVE
137	PHOENIX CANARIENSIS	CANARY DATE PALM	4	25' BTH	25'	REMOVE
138	SYAGRUS ROMANZOFFIANA	BIRD OF PARADISE	1	20'	8'	REMOVE
139	SYAGRUS ROMANZOFFIANA	QUEEN PALM	2	20' BTH	12'	REMOVE
140	PHOENIX CANARIENSIS	CANARY DATE PALM	4	25' BTH	25'	REMOVE
141	SYAGRUS ROMANZOFFIANA	QUEEN PALM	2	20' BTH	12'	REMOVE
142	JACARANDA MIMOSIFOLIA	BLUE JACARANDA	2	20'	12'	REMOVE
143	JACARANDA MIMOSIFOLIA	BLUE JACARANDA	2	20'	12'	REMOVE
144	SYAGRUS ROMANZOFFIANA	QUEEN PALM	2	20' BTH	10'	REMOVE
145	SYAGRUS ROMANZOFFIANA	QUEEN PALM	2	20' BTH	10'	REMOVE

TREE SURVEY - TOTAL SITE QUANTITY	
ACTION	TOTAL
PROTECT IN PLACE TREE TOTAL	23
REMOVE TREE TOTAL	122
EXISTING TREE TOTAL	145
PROPOSED ADDITIONAL TREE TOTAL	153

<p>TREE SURVEY NOTES</p>
<p>1. FOR PROPOSED TREES PLEASE REFER TO SHEET LP101</p>

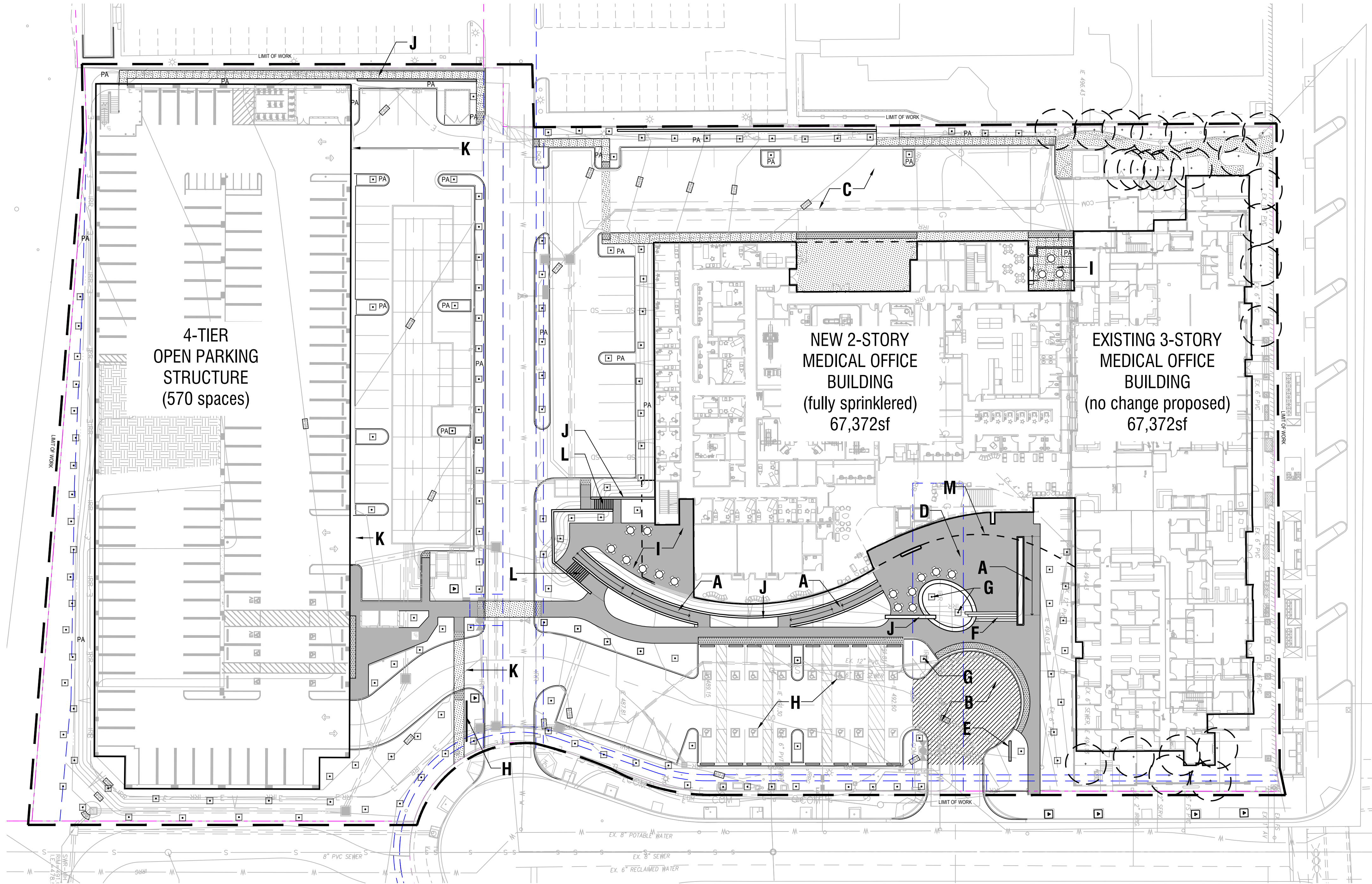
DEMOLITION NOTES	
①	THE TERM "REMOVE" INCLUDES ALL WORK RELATED TO EXISTING TREES, SHRUBS, GROUNDCOVER, ORNAMENTAL METAL, WOOD & HARDSCAPE ELEMENTS. ITEMS SHALL BE VERIFIED WITH THE LANDSCAPE ARCHITECT PRIOR TO REMOVAL.
②	THE TERM "TO REMAIN" INCLUDES ALL WORK NECESSARY TO PROTECT AND MAINTAIN AN ITEM IN ITS CURRENT CONDITION, INCLUDING THE HEALTH OF PLANT MATERIAL.
③	THE TERM "PROTECT" INCLUDES PROVIDING OF TEMPORARY BARRICADES, WARNING MARKERS, COVERINGS, OR OTHER TYPES OF PROTECTION NECESSARY TO PREVENT DAMAGE TO EXISTING IMPROVEMENTS OR PLANT MATERIAL.
④	THE TERM "SALVAGE" INCLUDES ALL WORK RELATED TO PROPER REMOVAL, CONSOLIDATION AND INVENTORY OF PARTS, PROTECTION MATERIALS, TRANSPORTING TO STORAGE, AND CLEAN-UP.
⑤	LIMITS OF DEMOLITION IN LANDSCAPE AREAS ARE APPROXIMATE AND ARE SHOWN FOR REFERENCE. CONTRACTOR TO DETERMINE EXTENT OF DEMOLITION APPROPRIATE FOR NEW WORK WITH LANDSCAPE ARCHITECT IN THE FIELD.
⑥	ALL VALVE BOXES, VAULTS AND OTHER UNDERGROUND UTILITIES WITHIN THE LANDSCAPE DEMOLITION AREAS ARE TO REMAIN AND BE PROTECTED IN PLACE, UNLESS OTHERWISE NOTED.
⑦	ALL TREES THAT ARE IDENTIFIED AS PROTECTED IN PLACE SHALL HAVE YELLOW CAUTION TAPE INSTALLED ON 24" HIGH WOODEN STAKES AT THE DRUPLINE OF THE TREE TO PROTECT THE TREE ROOTS DURING CONSTRUCTION.
⑧	THE CONTRACTOR SHALL CUT AND CAP THE EXISTING IRRIGATION SYSTEM WHERE IRRIGATION IS SCHEDULED FOR DEMOLITION. THE CONTRACTOR SHALL ENSURE THE IRRIGATION SYSTEM MAINTAINS FUNCTION TO ALL LANDSCAPE AREAS NOT REMOVED DURING DEMOLITION. CONTRACTOR SHALL PROVIDE HAND WATERING MONDAY, WEDNESDAY AND FRIDAY TO TREES THAT ARE IDENTIFIED TO BE "PROTECTED IN PLACE" WHERE THE IRRIGATION TO THOSE TREES IS TO BE REMOVED. (AN ALTERNATE IS TO PROVIDE TEMPORARY IRRIGATION TO THOSE TREES)
⑨	ALL EXISTING CURB LINES SHALL REMAIN; PROTECT IN PLACE, UNLESS OTHERWISE NOTED.
⑩	ALL EXISTING SITE FURNISHINGS SHALL BE SALVAGED; COORDINATE WITH OWNER FOR STORAGE OR RELOCATION.
⑪	PROTECT ALL EXISTING SITE & BUILDING UTILITIES SUCH AS A/C UNITS & ELECTRICAL JUNCTION BOXES (MAINTAIN IN GOOD WORKING ORDER).
⑫	THE TERM "DEMO" INCLUDES COMPLETE REMOVAL OF STRUCTURES AND ASSOCIATED WALLS, METAL WORK, CONCRETE FOOTINGS, UTILITY LINES, CURBS, VENT, ETC.
⑬	LANDSCAPE ARCHITECT TO REVIEW ALL TREES ON SITE PRIOR TO DEMO TO DETERMINE IF ANY TREES CAN BE PROTECTED AND TRANSPLANTED ON SITE DURING CONSTRUCTION.

**SHARP** Rees-Stealy  
Medical Centers



	no.	date	description
project			
			<p><b>SHARP OTAY RANCH MOB</b></p> <p>1400 E. PALOMAR STREET CHULA VISTA, CA 91913</p>
date			2022.06.27
hgw project number			21.45
agency project number			ENVIRONMENTAL: IS21-0005 DESIGN REVIEW: DR21-0029 CONDITION USE: CUP21-0019



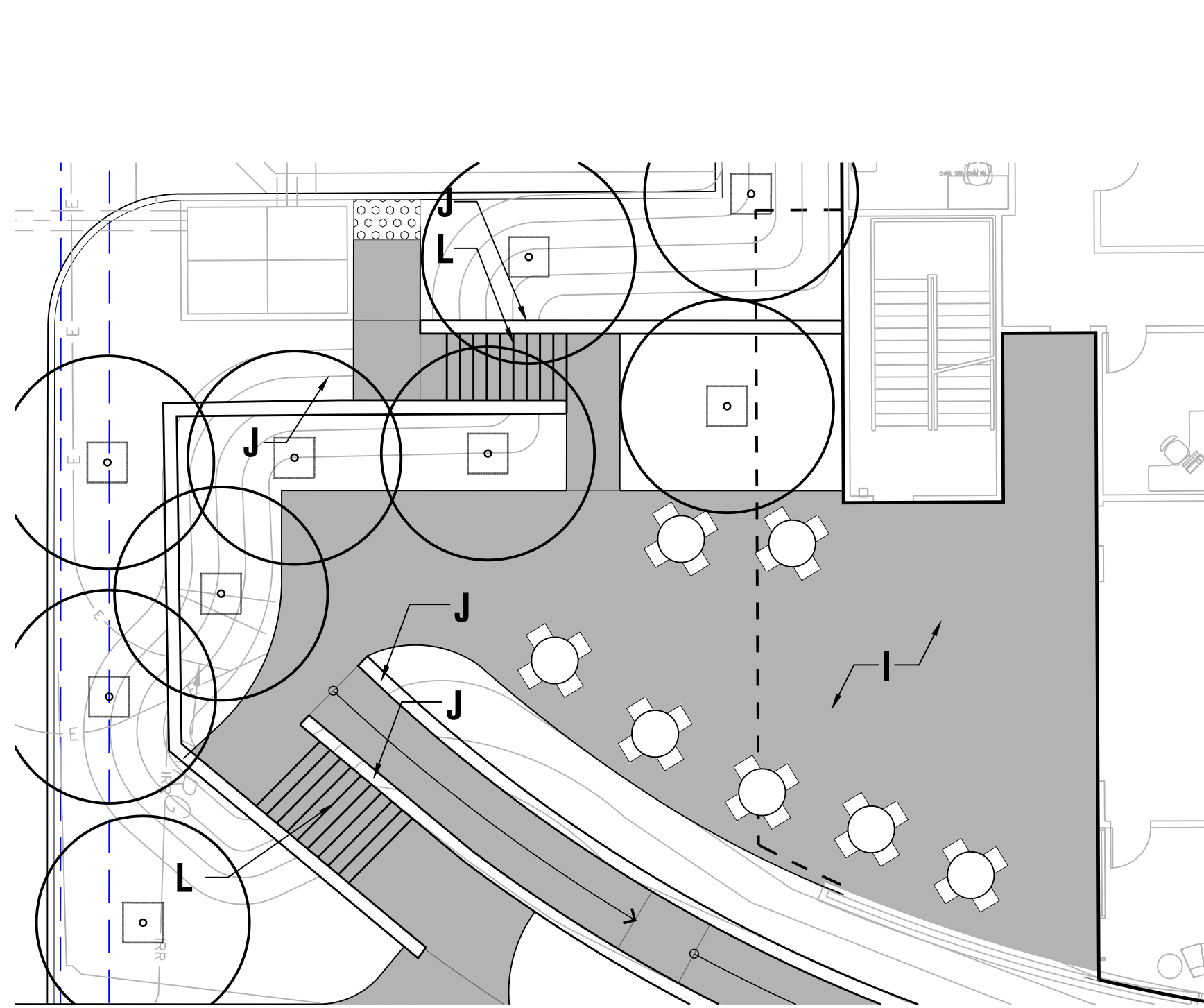


PLAN KEY

- A ACCESSIBLE RAMP
- B ENTRANCE DROP-OFF
- C AMBULANCE PICKUP
- D ENTRY COURTYARD
- E SIGNAGE
- F TERRACED SEATING
- G SPECIMEN TREE
- H ACCESSIBLE PARKING
- I DOCTORS' OUTDOOR LOUNGE
- J RETAINING WALL
- K VEHICULAR ACCESS TO PARKING
- L STEPS WITH HANDRAILS
- M CEMENT PLASTER BUILDING CANOPY OVERHANGS ABOVE PER ARCHITECT'S DRAWINGS
- (+) EXISTING TREES TO BE RETAINED

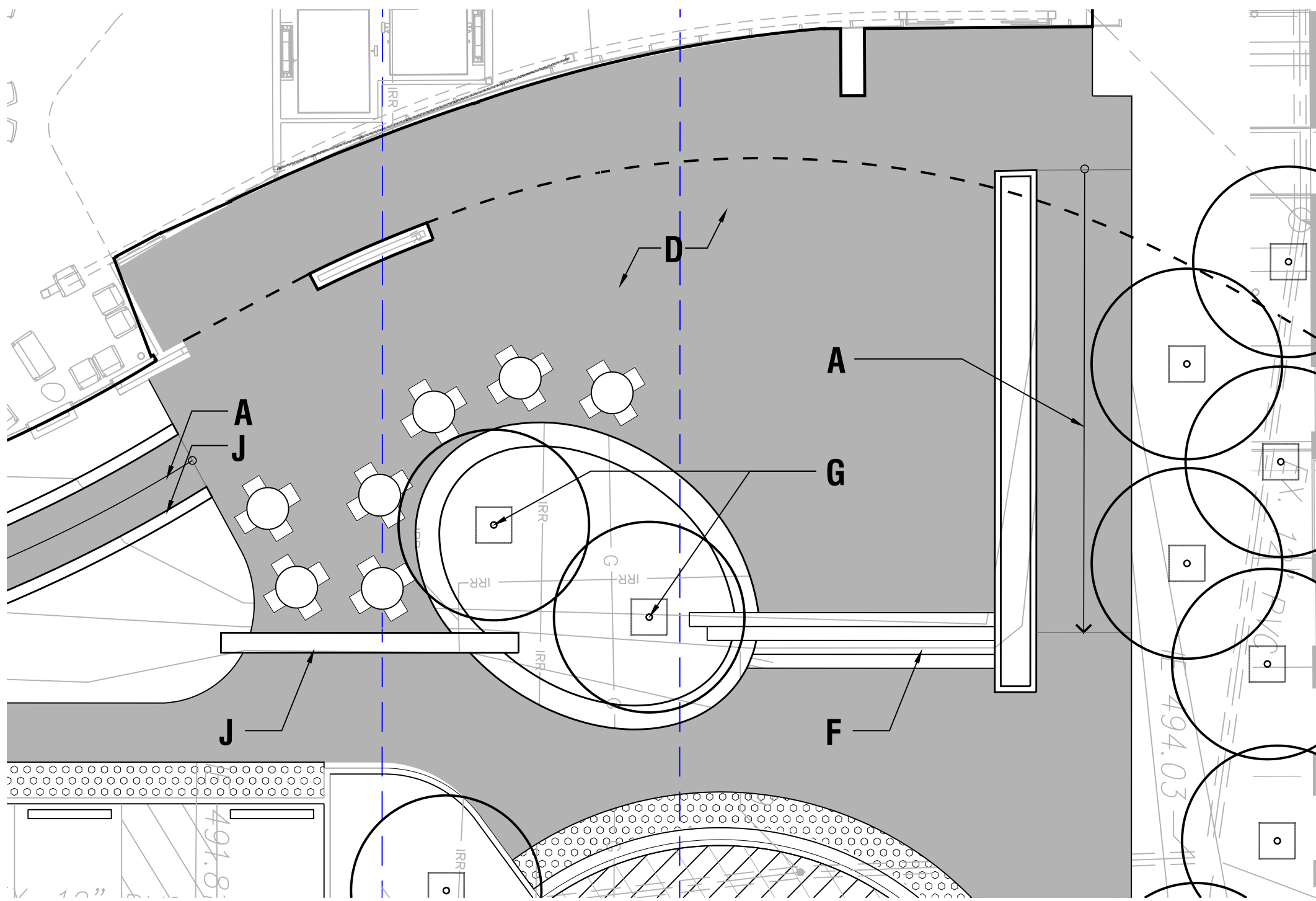
PAVING FINISH LEGEND

- ENHANCED CONCRETE PAVING (PEDESTRIAN) - COLORS TO BE CONSISTENT WITH OTAY RANCH
- ENHANCED CONCRETE PAVING (VEHICULAR) - COLORS TO BE CONSISTENT WITH OTAY RANCH
- TRUNCATED DOMES
- NATURAL GRAY CONCRETE PAVING (PEDESTRIAN)



ENLARGEMENT: DOCTOR'S OUTDOOR LOUNGE

SCALE: 1"=10'-0"



ENLARGEMENT: MAIN ENTRY PLAZA

SCALE: 1"=10'-0"

ARCHITECTS

hanna gabriel wells

1955 bacon street  
san diego, ca 92107  
619.523.8485  
619.523.8487  
www.architects-hgw.com

SHARP Rees-Stealy  
Medical Centers

DPR  
CONSTRUCTION  
GROUNDLEVEL  
LANDSCAPE ARCHITECTURE

2605 State Street, Suite B  
San Diego, CA 92103  
619.234.1010  
GroundLevelSD.com  
GL Project #21046

revision schedule

no.	date	description
-----	------	-------------



project SHARP OTAY RANCH MOB

1400 E. PALOMAR STREET  
CHULA VISTA, CA 91913

date 2022.06.27

hgw project number 21.45

agency project number

ENVIRONMENTAL: IS21-0005  
DESIGN REVIEW: DR21-0029  
CONDITION USE: CUP21-0019

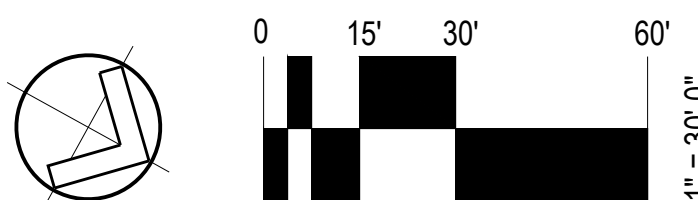
sheet description LANDSCAPE CONSTRUCTION PLAN

sheet number

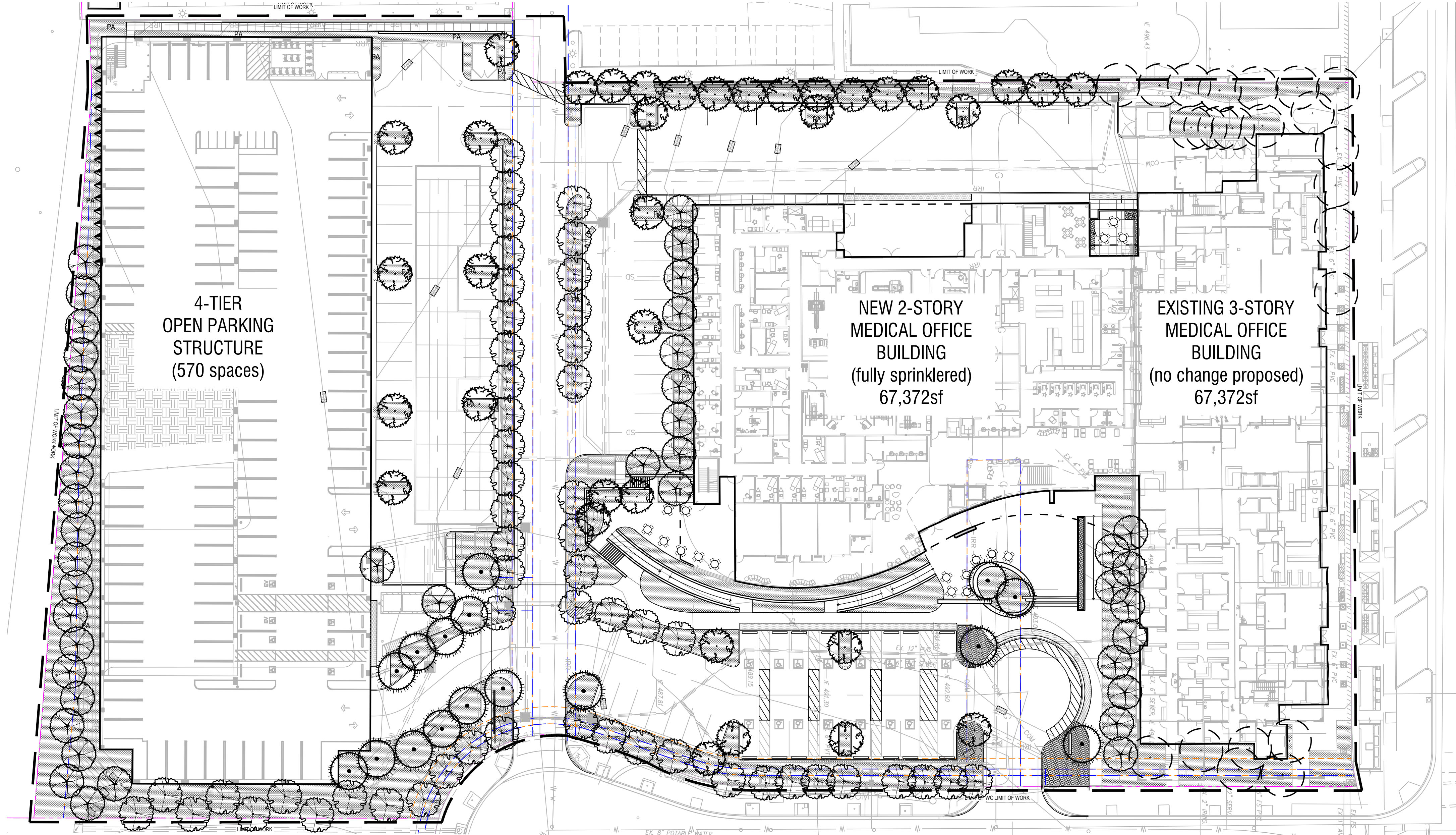
LC101

project phase

CITY OF CHULA VISTA







TOTAL SITE AREA IS 207,208 SQ FT.

LANDSCAPE PLANTING AREA IS 30,823 SQ FT.

IRRIGATED AND PLANTED LANDSCAPE OCCUPIES 15% OF THE EXTERIOR SITE AREA

#### IRRIGATION DESIGN CONCEPT

AN AUTOMATIC, ELECTRICALLY CONTROLLED IRRIGATION SYSTEM SHALL BE PROVIDED AS REQUIRED FOR PROPER IRRIGATION, DEVELOPMENT, AND MAINTENANCE OF THE VEGETATION IN A HEALTHY, DISEASE-RESISTANT CONDITION. THE DESIGN OF THE SYSTEM SHALL PROVIDE ADEQUATE SUPPORT FOR THE VEGETATION SELECTED. THIS SYSTEM WILL BE CONTROLLED BY A DUAL PROGRAM ELECTRONIC TIME CLOCK AND REMOTE CONTROL VALVES POP-UP TYPE HEADS WILL BE USED ADJACENT TO WALKWAYS AND ROADWAYS. BUBBLER HEADS WILL BE USED FOR LANDSCAPED AREAS LESS THAN 6' WIDE. DRIP IRRIGATION OR LOW-FLOW BUBBLERS SHALL BE USED IN PARKING AREAS AND ADJACENT TO LOW-LEVEL BUILDING GLASS. THE SYSTEM WILL BE INSTALLED AS SOON AS POSSIBLE AFTER CONSTRUCTION AND PRIOR TO PLACEMENT OF PLANT MATERIALS.

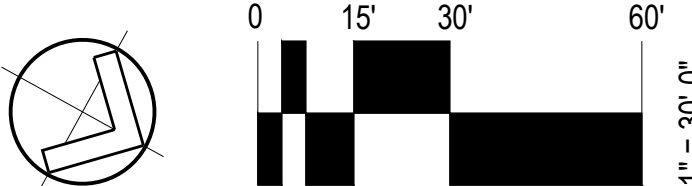
12	IF ANY REQUIRED LANDSCAPE INDICATION ON THE APPROVED CONSTRUCTION DOCUMENT PLANS IS DAMAGED OR REMOVED DURING DEMOLITION OR CONSTRUCTION, IT SHALL BE REPAIRED AND/OR REPLACED IN KIND AND EQUIVALENT SIZE PER THE APPROVED DOCUMENTS TO THE SATISFACTION OF THE DEVELOPMENT SERVICES DEPARTMENT WITHIN 30 DAYS OF DAMAGE.
13	SOIL SAMPLES SHALL BE TAKEN FROM THE SITE AT THE LANDSCAPE ARCHITECT'S DIRECTIVE AND SENT TO A SOIL ANALYSIS LABORATORY TO PERFORM / PROVIDE SOIL AGRONOMIC TEST REPORT(S) PER SPECIFICATIONS. THIS REPORT SHALL BE PERFORMED PRIOR TO START OF PLANTING.
14	ALL PRUNING SHALL COMPLY WITH THE STANDARDS OF THE AMERICAN NATIONAL INSTITUTE (ANSI) FOR TREE CARE OPERATIONS AND THE INTERNATIONAL SOCIETY OF ARBORICULTURE (ISA) FOR TREE PRUNING. TOPPING TREES IS NOT PERMITTED.

SPECIAL INSTRUCTIONS	
1.	CONTRACTOR TO OBTAIN AGRONOMIC SOILS TEST AND IMPLEMENT SOIL AMENDMENTS AS RECOMMENDED. COORDINATE WITH LANDSCAPE ARCHITECT TO CONFIRM TEST LOCATIONS/QUANTITY.
2.	CONTRACTOR SHALL ARRANGE A PRE-CONSTRUCTION MEETING WITH LANDSCAPE ARCHITECT TO REVIEW ENTIRE SCOPE OF PLANTING WORK PRIOR TO INSTALLATION. PROVIDE 72 HOUR NOTICE.
3.	ALL EXISTING PLANT MATERIAL MUST BE MAINTAINED AT ALL TIMES, UNLESS OTHERWISE NOTED.

POT PLANTING NOTES	
1.	ALL PLANT MATERIAL FOR POTS TO BE RETAIL GRADE STOCK, NO EXCEPTIONS.
2.	ALL POTS TO RECEIVE 2" LAYER OF 3/8" DIAMETER 'COPPER CANYON' GRAVEL MULCH TOPPING.
3.	FOR BOTTOM DRAINAGE, ALL POTS TO RECEIVE 3" LAYER OF 3/4" CRUSHED DRAINAGE ROCK WITH FILTER FABRIC. TOP COVER (WRAP UP SIDES 6") IN BOTTOM OF POT.

#### PLANTING NOTES

SYMBOL	DESCRIPTION
1	TREES ARE STANDARD FORM UNLESS NOTED OTHERWISE.
2	TRIPLE STAKE TREES, UNLESS NOTED OTHERWISE.
3	TREE ROOT BARRIERS SHALL BE INSTALLED WHERE TREES ARE PLACED WITHIN 5 FEET OF PUBLIC IMPROVEMENTS INCLUDING WALKS, CURBS, OR STREET PAVEMENTS OR WHERE NEW PUBLIC IMPROVEMENTS ARE PLACED ADJACENT TO EXISTING TREES. THE ROOT BARRIER WILL NOT WRAP AROUND THE ROOT BALL.
4	WHERE SPREADING GROUNDCOVERS ARE SHOWN TO BE PLANTED ADJACENT TO A CURB OR WALKWAY EDGE, SET CENTER OF PLANT 24" OFF HARD SURFACE.
5	MINIMUM TREE SEPARATION DISTANCE: TRAFFIC SIGNALS / STOP SIGNS..... 20 FT. UNDERGROUND UTILITY LINES..... 5 FT. (10' FOR SEWER) ABOVE GROUND UTILITY STRUCTURES..... 10 FT. DRIVEWAYS (ENTRIES)..... 10 FT. INTERSECTIONS..... 25 FT. (INTERSECTING CURB LINES OF TWO STREETS)
6	ALL LANDSCAPE AND IRRIGATION SHALL CONFORM TO THE STANDARDS OF THE CITY-WIDE LANDSCAPE REGULATIONS AND ALL OTHER LANDSCAPE-RELATED CITY AND REGIONAL STANDARDS.
7	A MINIMUM ROOT ZONE OF 486" IN AREA SHALL BE PROVIDED FOR ALL TREES. THE MINIMUM DIMENSION FOR THIS AREA SHALL BE 5 FEET.
8	MAINTENANCE: ALL REQUIRED LANDSCAPE SHALL BE MAINTAINED BY OWNER. LANDSCAPE AND IRRIGATION IN THE PUBLIC RIGHT-OF-WAY SHALL BE MAINTAINED BY OWNER. THE LANDSCAPE AREAS SHALL BE MAINTAINED FREE OF DEBRIS AND LITTER, AND ALL PLANT MATERIAL SHALL BE MAINTAINED IN A HEALTHY GROWING CONDITION. DISEASED OR DEAD PLANT MATERIAL SHALL BE SATISFACTORILY TREATED OR REPLACED PER THE CONDITIONS OF THE PERMIT.
9	TREES SHALL BE MAINTAINED SO THAT ALL BRANCHES OVER PEDESTRIAN WALKWAYS ARE 6 FEET ABOVE THE WALKWAY GRADE AND BRANCHES OVER VEHICULAR TRAVEL WAYS ARE 16 FEET ABOVE THE GRADE OF THE TRAVEL WAY.
10	EXISTING TREES TO REMAIN ON SITE WITHIN THE AREA OF WORK WILL BE PROTECTED IN PLACE. THE FOLLOWING PROTECTION MEASURES WILL BE PROVIDED: 1. A BRIGHT YELLOW OR ORANGE TEMPORARY FENCE WILL BE PLACED AROUND EXISTING TREES AT THE DRIP LINE. 2. STOCKPILING, TOPSOIL DISTURBANCE, VEHICLE USE, AND MATERIAL STORAGE OF ANY KIND IS PROHIBITED WITHIN THE DRIP LINE. 3. A TREE WATERING SCHEDULE WILL BE MAINTAINED AND DOCUMENTED DURING CONSTRUCTION. 4. ALL DAMAGED TREES WILL BE REPLACED WITH ONE OF EQUAL OR GREATER SIZE.
11	MULCH: ALL REQUIRED PLANTING AREAS AND ALL EXPOSED SOIL AREAS WITHOUT VEGETATION SHALL BE COVERED WITH MULCH TO A MINIMUM DEPTH OF 3", EXCLUDING SLOPES REQUIRING REVEGETATION PER SDMC 142.0411.



PLANTING LEGEND				
TREES				
SYMBOL	SIZE	BOTANICAL NAME	COMMON NAME	WUCOLS
	36" BOX	LAGERSTROEMIA INDICA	CRAPPE MYRTLE	MEDIUM
	36" BOX	ARBUTUS SP.	MADRONES	LOW
	36" BOX	CERCIDUM x 'DESERT MUSEUM'	PALO VERDE	LOW
	36" BOX	OLEA EUROPAEA	OLIVE	LOW
	36" BOX	DRACAENA DRACO	DRAGON TREE	LOW
	36" BOX	DRACAENA MARGINATA	MADAGASCAR DRAGON TREE	LOW
	36" BOX	QUERCUS SP.	OAK	LOW
	36" BOX	PLATANUS RACEMOSA	WESTERN SYCAMORE	MEDIUM
	36" BOX	ALOE 'HERCULES'	HERCULES ALOE	LOW
	36" BOX	ALOE 'MEDUSA'	MOZAMBIQUE TREE ALOE	LOW
ACCENT TREES	36" BOX	LAURUS NOBILIS	BAY LAUREL	LOW
	36" BOX	PITTOSPORUM 'SILVER SHEEN'	SILVER SHEEN KOHUIJU	MEDIUM
	36" BOX	TRISTANIA CONFERTA	LOPHOSTEMON	MEDIUM
	36" BOX	PODOCARPUS GRACILIOR	FERN PODOCARPUS	MEDIUM
	36" BOX	QUERCUS VIRGINIANA	SOUTHERN LIVE OAK	LOW
	36" BOX	MAGNOLIA SP.	MAGNOLIA	MEDIUM
	36" BOX	LOPHOSTEMON CONFERTUS	BRISBANE BOX	MEDIUM
	36" BOX	ARBUTUS 'MARINA'	STRAWBERRY TREE	LOW
	36" BOX	RHUS LANCEA	AFRICAN SUMAC	LOW
	36" BOX	FRAXINUS SP.	ASH	MEDIUM
	36" BOX	QUERCUS VIRGINIANA	SOUTHERN LIVE OAK	LOW
	36" BOX	PODOCARPUS GRACILIOR	AFRICAN FERN TREE	MEDIUM
STREET TREES	36" BOX	ULMUS SP.	ELM	MEDIUM
	36" BOX	FRAXINUS SP.	ASH	MEDIUM
	36" BOX	QUERCUS VIRGINIANA	SOUTHERN LIVE OAK	LOW
	36" BOX	PODOCARPUS GRACILIOR	AFRICAN FERN TREE	MEDIUM
PARKING LOT SHADE TREES	36" BOX	ULMUS SP.	ELM	MEDIUM
EXISTING TREES				
EXISTING TREE TO REMAIN				
FEATURE SUCCULENT PLANTING				
SYMBOL	SIZE	BOTANICAL NAME	COMMON NAME	WUCOLS
	36" BOX	AGAVE SP.	AGAVE	LOW
	36" BOX	ALOE SP.	ALOE	LOW
	36" BOX	AEONIUM SP.	PALO VERDE	LOW
	36" BOX	EUPHORBIA INGENS	OLIVE	LOW
	36" BOX	SCENECIO MANDRALISCAE	DRAGON TREE	LOW
SHRUB AND GRASS PLANTING				
SYMBOL	SIZE	BOTANICAL NAME	COMMON NAME	WUCOLS
	5 GAL	WESTRINGIA SP.	ROSEMARY	LOW
	5 GAL	LIGUSTRUM 'TEXANUM'	WAXLEAF PRIVET	MEDIUM
	5 GAL	PODOCARPUS SP.	YELLOWWOOD	MEDIUM
	5 GAL	LOMANDRA SP.	MAT RUSHES	LOW
	5 GAL	DIANELIA SP.	FLAX LILY	MEDIUM
	5 GAL	LEYMUS 'CANYON PRINCE'	CANYON PRINCE WILD RYE	LOW
	5 GAL	PENNISETUM 'BUNNY TAILS'	FOUNTAIN GRASS	MEDIUM
	5 GAL	SALVIA SP.	SAGES	LOW
	5 GAL	CARISSA SP.	NATAL PLUM	LOW
	5 GAL	CEANOETHUS SP.	CALIFORNIA LILACS	LOW
	5 GAL	RHAPHIOLEPIS SP.	HAWTHORNE	LOW
	5 GAL	PRUNUS CAROLINIANA 'BRIGHT AND TIGHT'	BRIGHT AND TIGHT CAROLINA LAUREL	MEDIUM
	5 GAL	SESLERIA AUTUMNALIS	AUTUMN MOOR GRASS	MEDIUM
	5 GAL	CISTUS SP.	ROCKROSE	LOW
	5 GAL	MUHLENBERGIA RIGENS	DEERGRASS	LOW
	5 GAL	PENNISETUM 'FAIRY TAILS'	EVERGREEN FOUNTAIN GRASS	MEDIUM
	5 GAL	ROSA CALIFORNICA	CALIFORNIA WILD ROSE	LOW
	5 GAL	PITTOSPORUM SP.	MOCK ORANGE	MEDIUM
	5 GAL	ARCTOSTAPHYLOS SP.	MANZANITA	LOW
	5 GAL	HETEROMELES ARBUTIFOLIA	TOYON	LOW
VINES				
SYMBOL	SIZE	BOTANICAL NAME	COMMON NAME	WUCOLS
	15 GAL	PYROSTEGIA VENUSTA	FLAME VINE	MEDIUM

ARCHITECTS

hanna gabriel wells

1955 bacon street  
san diego, ca 92107  
619.523.8485  
619.523.8487  
www.architects-hgw.com

SHARP Rees-Stealy Medical Centers

DPR CONSTRUCTION GROUNDLEVEL LANDSCAPE ARCHITECTURE

2605 State Street, Suite B  
San Diego, CA 92103  
619.234.1010  
GroundLevelSD.com  
GL Project #21046

revision schedule		
no.	date	description

project

SHARP OTAY RANCH MOB

1400 E. PALOMAR STREET  
CHULA VISTA, CA 91913

date

2022.06.27

hgw project number

21.45

agency project number

ENVIRONMENTAL: IS21-0005  
DESIGN REVIEW: DR21-0029  
CONDITION USE: CUP21-0019

sheet description

LANDSCAPE PLANTING PLAN

sheet number

LP101

project phase

CITY OF CHULA VISTA



**Design Review**  
**Sharp Rees-Stealy Otay Ranch Expansion– IS210005**  
**Conceptual Grading Plans**

---

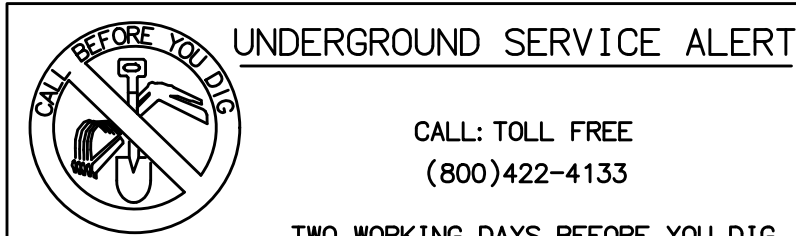


## GRADING NOTES

1. ALL WORK SHALL BE DONE IN ACCORDANCE WITH THESE APPROVED PLANS AND APPROVED REVISIONS. ANY CHANGES OR REVISIONS THEREFROM SHALL BE APPROVED BY THE CITY ENGINEER AND MITIGATION MONITOR PRIOR TO ANY REQUEST FOR INSPECTION.
2. ALL GRADING SHALL BE INSPECTED AND TESTED BY OR UNDER THE DIRECTION OF A QUALIFIED SOILS ENGINEER. THE SOILS ENGINEER SHALL INSPECT THE EXCAVATION, AND SHALL OBSERVE AND TEST THE PLACEMENT, AND COMPACTION OF FILL AND BACKFILL AND COMPACTION OF TRENCHES; SUBMIT GEOTECHNICAL OR SOILS REPORTS AS REQUIRED AND DETERMINE THE SUITABILITY OF ANY FILL MATERIAL UPON COMPLETION OF GRADING OPERATIONS. THE SOILS ENGINEER SHALL STATE THAT OBSERVATIONS AND TESTS WERE MADE BY, OR UNDER DIRECTION OF THE SOILS ENGINEER, AND THAT EMBANKMENTS AND EXCAVATIONS WERE CONSTRUCTED IN ACCORDANCE WITH THE GEOTECHNICAL ASPECTS OF THE APPROVED GRADING PLANS. ANY APPROVED REVISIONS THERE TO, SUBJECT LAND DEVELOPMENT PERMIT AND ORDINANCE NO. 1797 AS AMENDED, AND THAT ALL EMBANKMENTS AND EXCAVATIONS ARE ACCEPTABLE FOR THEIR INTENDED USE.
3. THE CONTRACTOR SHALL PROPERLY GRADE ALL EXCAVATED SURFACES TO PROVIDE POSITIVE DRAINAGE AND PREVENT PONDING OF WATER. CONTRACTOR SHALL CONTROL SURFACE WATER TO AVOID DAMAGE TO ADJOINING PROPERTIES OR TO FINISHED WORK ON THE SITE, AND SHALL TAKE REMEDIAL MEASURES TO PREVENT EROSION OF FRESHLY GRADED AREAS UNTIL SUCH TIME AS PERMANENT DRAINAGE AND EROSION CONTROL MEASURES HAVE BEEN INSTALLED TO THE SATISFACTION OF THE CITY ENGINEER AND THE MITIGATION MONITOR.
4. ALL AREAS TO BE FILLED SHALL BE PREPARED PRIOR TO FILLING, AND FILL SHALL BE PLACED IN ACCORDANCE WITH STANDARD SPECIFICATIONS AND THE RECOMMENDATIONS AND SPECIFICATIONS CONTAINED IN THE SOILS REPORT. ALL VEGETABLE MATTER AND OTHER OBJECTIONABLE MATERIALS SHALL BE REMOVED, BY THE CONTRACTOR, FROM THE SURFACE UPON WHICH THE FILL IS TO BE PLACED. LOOSE FILL AND UNSUITABLE SOILS SHALL BE REMOVED TO SUITABLE FIRM NATURAL GROUND. THE EXPOSED SOILS SHALL BE SCARIFIED IN ACCORDANCE WITH THE GEOTECHNICAL REPORT AND THEN COMPACTED TO A MINIMUM OF 90% OF ASTM-D1557. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO PLACE, SPREAD, WATER AND COMPACT THE FILL IN STRICT ACCORDANCE WITH THE SPECIFICATIONS.
5. CUT AND FILL SLOPES SHALL BE CUT AND TRIMMED TO THE FINISHED GRADE TO PRODUCE SMOOTH SURFACES AND UNIFORM CROSS SECTIONS. THE SLOPES OF EXCAVATIONS AND EMBANKMENTS SHALL BE SHAPED, TRIMMED, AND PLANTED IN ACCORDANCE WITH THE PLANTING NOTES AND AS DIRECTED BY THE ENGINEER OF WORK, AND LEFT IN A NEAT AND ORDERLY CONDITION. ALL STONES, ROOTS AND OTHER WASTE MATERIALS EXPOSED ON THE EXCAVATION OR EMBANKMENT SLOPES WHICH ARE LIABLE TO BECOME LOOSENEED, SHALL BE REMOVED AND DISPOSED OF. THE TOE AND TOP OF ALL SLOPES SHALL BE ROUNDED IN ACCORDANCE WITH ORDINANCE NO. 1797, THESE GRADING PLANS, AND THE STANDARD DRAWINGS GRD-01 AND GRD-02. SLOPE SETBACKS AND GRADES SHALL CONFORM TO GRD-06.
6. IF THERE ARE EROSION SCARS ON EXISTING SLOPES WHICH OTHERWISE WOULD NOT BE ELIMINATED BY THE PROPOSED GRADING, THESE SCARS ARE TO BE ELIMINATED BY TRIMMING, FINE GRADING AND PLANTING. IF THE SCARS ARE IN AREAS OF NATIVE VEGETATION, THE REPAIRS SHOULD BE PERFORMED WITH AN EFFORT TO AVOID OR MINIMIZE IMPACTS TO NATIVE VEGETATION. ALL SUCH REPAIRS IN AREAS OF NATIVE VEGETATION SHALL BE REVIEWED AND APPROVED BY THE CITY'S MITIGATION MONITORING COORDINATOR PRIOR TO THE BEGINNING OF THE REPAIR WORK.
7. ALL TREES, BRUSH, GRASS, AND OTHER OBJECTIONABLE MATERIAL SHALL BE COLLECTED, PILED OR OTHERWISE DISPOSED OF OFF THE SITE BY THE CONTRACTOR SO AS TO LEAVE THE AREAS THAT HAVE BEEN CLEARED WITH A NEAT AND FINISHED APPEARANCE FREE FROM UNSIGHTLY DEBRIS. APPROVAL OF LOCATIONS FOR DEBRIS FILL SHALL BE OBTAINED FROM THE SOILS ENGINEER PRIOR TO THE DISPOSAL OF ANY SUCH MATERIAL.
8. SUBDRAIN LOCATIONS SHOWN ARE APPROXIMATE AND ARE RECOMMENDED FOR ALL SIGNIFICANT FILL CANYONS. THE ACTUAL LOCATION AND EXTENT OF SUBDRAINS SHALL BE DETERMINED BY THE GEOTECHNICAL CONSULTANT AT THE TIME OF CONSTRUCTION.
9. THE SOILS REPORT TITLED UPDATED GEOTECHNICAL INVESTIGATION SHARP OTAY RANCH MEDICAL OFFICE BUILDING AND PARKING STRUCTURE PROJECT, 1400 EAST PALOMAR STREET, CHULA VISTA CALIFORNIA, FROM LEIGHTON CONSULTING INC, DATED AUGUST 23, 2021, PROJECT NO. 13228.001, SHALL BE CONSIDERED TO BE PART OF THIS GRADING PLAN. ALL GRADING SHALL BE DONE IN ACCORDANCE WITH THE RECOMMENDATIONS AND SPECIFICATIONS CONTAINED IN SAID REPORT.
10. CONTRACTOR SHALL VERIFY LOCATIONS OF ALL EXISTING UNDERGROUND UTILITIES. LOCATIONS SHOWN ON THESE PLANS ARE APPROXIMATE AND SHOWN FOR GENERAL INFORMATION ONLY.
11. WHERE GRADING DOES NOT OCCUR, ALL EXISTING PLANT MATERIAL IS TO BE PROTECTED IN PLACE. NO CONSTRUCTION EQUIPMENT WILL BE ALLOWED TO TRAVEL THROUGH AND DAMAGE ANY OF THESE AREAS. ALL AREAS TO BE RETAINED IN A NATURAL CONDITION SHALL BE FENCED UNDER THE DIRECTION OF THE PROJECT BIOLOGIST. CONTRACTOR WILL BE RESPONSIBLE TO REPAIR ANY AND ALL DAMAGE/IMPACTS TO THESE AREAS.
12. THE CONTRACTOR SHALL FURNISH TO THE ENGINEER OF WORK AS-BUILT PLANS FOR ALL NEW IMPROVEMENTS AND GRADING SHOWN ON THESE PLANS FOR SUBMITTAL TO THE CITY ENGINEER FOR APPROVAL IN ACCORDANCE WITH SECTION 15.04.140 OF THE CHULA VISTA MUNICIPAL CODE.
13. IN THE CASE OF CONFLICTS, THE REQUIREMENTS OF THE EARTHWORK, SPECIFICATIONS PREPARED FOR THE PROJECT BY THE SOILS ENGINEER SHALL GOVERN THE REQUIREMENTS OF THIS PLAN AND THESE NOTES AND THESE PLANS SHALL BE REVISED ACCORDINGLY.

## DIG ALERT NOTICE

IMPORTANT NOTICE  
SECTION 4215/4217 OF THE GOVERNMENT CODE REQUIRES THAT A DIG ALERT IDENTIFICATION NUMBER BE ISSUED BEFORE A "PERMIT TO EXCAVATE" WILL BE VALID. PER YOUR DIG ALERT I.D. NUMBER CALL UNDERGROUND SERVICE ALERT TOLL FREE 1-800-422-4133 TWO WORKING DAYS BEFORE YOU DIG.



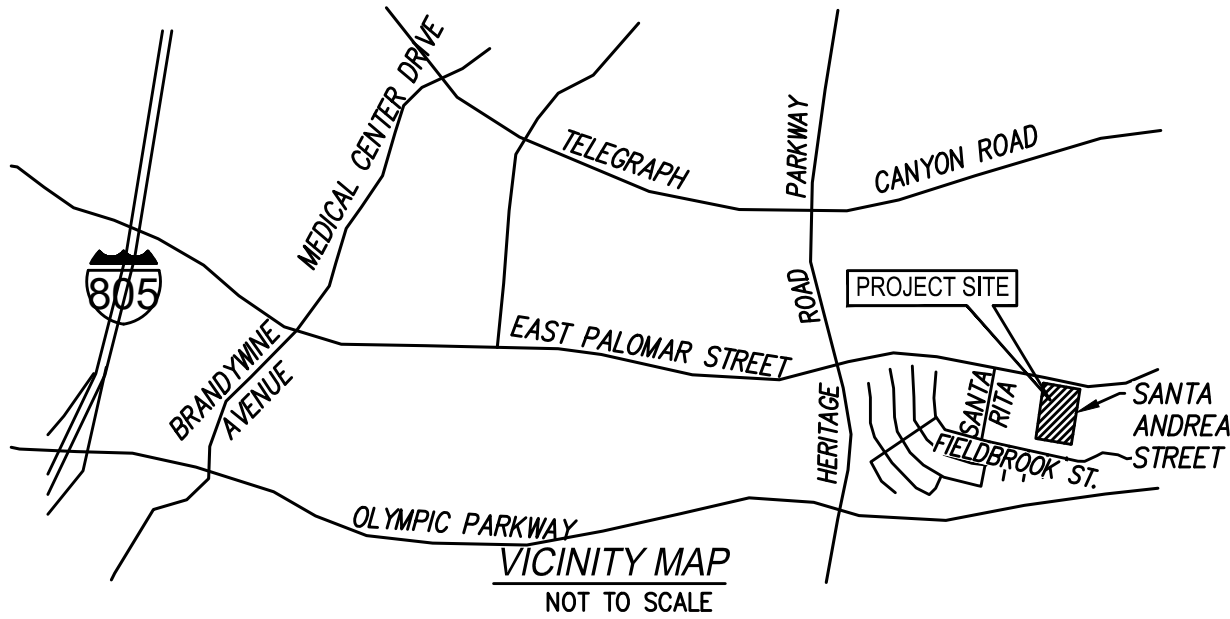
CALL: TOLL FREE  
(800)422-4133

TWO WORKING DAYS BEFORE YOU DIG

"CAUTION": REMEMBER THAT THE USA CENTER NOTIFIES ONLY THOSE UTILITIES BELONGING TO THE CENTER THERE COULD BE OTHER UTILITIES PRESENT AT THE WORK SITE. THE CENTER WILL INFORM YOU OF WHOM THEY WILL NOTIFY.

## GENERAL NOTES

1. STORM DRAINS ARE SHOWN FOR INFORMATIONAL PURPOSES ONLY. APPROVAL OF THIS PLAN DOES NOT CONSTITUTE APPROVAL OF SIZES, LOCATIONS, AND TYPE OF SEWER AND DRAINAGE FACILITIES, OR ANY SURFACE IMPROVEMENTS WITHIN FUTURE STREET RIGHTS-OF-WAY SHOWN ON THESE PLANS. SEPARATE APPROVALS AND PERMITS FOR THESE SHALL BE REQUIRED IN CONJUNCTION WITH IMPROVEMENT PLANS.
2. WRITTEN PERMISSION SHALL BE OBTAINED FOR ANY OFF-SITE GRADING
3. CONTRACTOR SHALL TAKE ALL NECESSARY PRECAUTIONS REQUIRED TO PROTECT ADJACENT PROPERTIES DURING GRADING OPERATIONS. ANYTHING DAMAGED OR DESTROYED SHALL BE REPLACED OR REPAIRED TO CONDITION EXISTING PRIOR TO GRADING.
4. THE DEVELOPER/CONTRACTOR SHALL BE RESPONSIBLE FOR SURVEY MONUMENTS AND/OR VERTICAL CONTROL BENCHMARKS WHICH ARE DISTURBED OR DESTROYED BY CONSTRUCTION. A LAND SURVEYOR MUST FIELD LOCATE, REVERENCE, AND/OR PRESERVE ALL HISTORICAL PROPOSED IMPROVEMENTS; AND IF DESTROYED, A LANDS SURVEYOR, OR A CIVIL ENGINEER AUTHORIZED TO PRACTICE LAND SURVEYING SHALL REPLACE SUCH MONUMENTS WITH THE APPROPRIATE MONUMENTS. A CORNER RECORD OR RECORD OF SURVEY, AS APPROPRIATE MONUMENTS. A CORNER RECORD OR RECODE OF SURVEY, AS APPROPRIATE, SHALL BE FILED AS REQUIRED BY THE PROFESSIONAL LANDS SURVEYOR ACT. THE DEVELOPER/CONTRACTOR WILL BE RESPONSIBLE FOR THE COST OF REPLACING ANY VERTICAL BENCHMARKS DESTROYED BY THE CONSTRUCTION.
5. THE CONTRACTOR SHALL DESIGN, CONSTRUCT, AND MAINTAIN ALL SAFETY DEVICES, INCLUDING SHORINGS, AND SHALL BE RESPONSIBLE FOR CONFORMING TO ALL LOCAL, STATE, AND FEDERAL SAFETY AND HEALTH STANDARDS, LAWS, AND REGULATIONS.
6. ALL FLOWS SHOWN ARE FOR 50 -YEAR STORM, EXCEPT AS NOTED.
7. ALL SEDIMENTATION BASINS, OUTLET PIPES AND DITCHES ARE PRIVATE UNLESS OTHERWISE NOTED AND HAVE NOT BEEN REVIEWED FOR ADEQUACY BY THE CITY ENGINEERING DEPARTMENT.
8. THE OWNER MUST OBTAIN AN EXCAVATION PERMIT FROM THE DIVISION OF OCCUPATIONAL SAFETY AND HEALTH (D.O.S.H.) FOR CONSTRUCTION OF TRENCHES OR EXCAVATIONS WHICH ARE FIVE FEET OR DEEPER INTO WHICH A PERSON IS REQUIRED TO DESCEND. SAID PERMIT IS REQUIRED PRIOR TO ISSUANCE OF A GRADING PERMIT BY THE CITY OF CHULA VISTA.
9. GRADING EQUIPMENT SHALL NOT USE OR BLOCK TRAFFIC LANES DURING GRADING ACTIVITY, TRUCK OPERATIONS IN AND OUT OF CONSTRUCTION AND STAGING AREAS SHALL BE CONTROLLED AS REQUIRED BY THE CITY. TRUCK AND EQUIPMENT ROUTES IN AND OUT OF THE SITE, SHALL BE APPROVED BY THE CITY PRIOR TO START OF WORK. AT THE END OF THE WORKING DAY, STREETS SHALL BE CLEARED OF DIRT AND CONSTRUCTION DEBRIS TO THE SATISFACTION OF THE CITY INSPECTOR AND THE MITIGATION MONITOR.
10. DUST GENERATED BY CONSTRUCTION ACTIVITIES SHALL COMPLY WITH LOCAL DUST CONTROL, ANY REQUIREMENTS OF ANY MITIGATION MONITORING PROGRAMS, AND UNIFORM BUILDING CODE (UBC) REQUIREMENTS, WHICH INCLUDE DUST CONTROL MEASURES FOR CONSTRUCTION SITES. DUST REDUCING MEASURES SHALL INCLUDE, BUT NOT LIMITED TO, REGULAR WATERING OF GRADED SURFACES AND RESTRICTION OF ALL CONSTRUCTION VEHICLES AND EQUIPMENT TO TRAVEL ALONG ESTABLISHED AND REGULARLY WATERED ROADWAYS AT SPECIFIED SPEEDS.
11. ALL STORM DRAIN PIPE SHALL BE 1500 D-LOAD UNLESS OTHERWISE SHOWN ON THESE PLANS. ALL STORM DRAIN NEEDS TO BE CONSTRUCTED PER THE GRADING AND DRAINAGE PLANS.



## SURVEY INFORMATION

AERIAL SURVEY PREPARED BY BDS ENGINEERING INC. ON 08/23/2021.  
5575 LAKE PARK WAY SUITE 114  
LA MESA, CALIFORNIA 92942  
(619) 582-4992

## BASIS OF BEARING

xxx

## BENCHMARK

CP #50 NAIL & SHINER N-1807431.50 E-6332206.22 ELEV-498.44  
CP #51 NAIL & SHINER N-1807226.80 E-6332266.26

## LEGAL DESCRIPTION

THE LAND REFERRED TO HEREIN BELOW IS LOCATED IN THE CITY OF CHULA VISTA, COUNTY OF SAN DIEGO, STATE OF CALIFORNIA, AND IS DESCRIBED AS FOLLOWS:

PARCEL A:  
LOT 5 OF CHULA VISTA TRACT NO. 96-044, IN THE CITY OF CHULA VISTA, COUNTY OF SAN DIEGO, STATE OF CALIFORNIA, ACCORDING TO MAP THEREOF NO. 13990 FILED IN THE CITY OF SAN DIEGO COUNTY RECORDER JUNE 27, 2000.

SUBJECT TO THOSE RESERVATIONS AND RIGHTS CONTAINED IN THAT CERTAIN GRANT DEED RECORDED DECEMBER 9, 1999 AS FILE NO. 1990-0801542, OF OFFICIAL RECORDS

APN: 642-560-01-00

## REFERENCE DRAWINGS

PALOMAR STREET IMP. PLAN PER CITY DWG NO. 98-281  
SANTA ANDREA STREET IMP. PLAN PER CITY DWG. 99-778  
STORM DRAIN PER CITY DWG. NO. 99-473  
SHARP MEDICAL OFFICES OTAY RANCH PER BUILDING PROJECT NO. 99551-01  
CIVIL SITE PLAN PER BUILDING PERMIT NO. 152-01

## FLOOD ZONE NOTE:

BASED ON THE US DEPARTMENT OF HOUSING AND URBAN DEVELOPMENT, FEDERAL INSURANCE ADMINISTRATION FLOOD HAZARD BOUNDARY MAP. COMMUNITY NUMBER 060 73C, SHEET NUMBER 2176G DATED 05/16/2012, THE SUBJECT PROPERTY IS NOT LOCATED IN A SPECIAL FLOOD HAZARD AREA ACCORDING TO THE MAP.

## CONSULTANT BACKGROUND DRAWINGS

ARCHITECTURAL BASE. . . . . 267-ARCH.DWG DATE 02-09-2020  
LANDSCAPE BASE. . . . . 267-LAND.DWG DATE 02-24-2022

## SHEET INDEX

TITLE SHEET. . . . . C0.0  
KEY MAP AND SECTIONS. . . . . C0.1  
EXISTING CONDITION AND PARTIAL DEMOLITION PLAN. . . C1.0  
GRADING PLAN. . . . . C2.0-C2.1  
PRIVATE STORM DRAIN AND UTILITIES PLAN. . . . . C3.0-C3.1  
HORIZONTAL CONTROL/SURFACE IMPROVEMENTS PLAN. . C4.0  
EROSION CONTROL PLAN. . . . . C5.0  
EROSION CONTROL DETAILS PLAN. . . . . C5.1  
FIRE AND WASTE/RECYCLING TRUCK ACCESS PLAN. . . . C6.0

## WORK TO BE DONE

THE WORK TO BE DONE CONSISTS OF THE ITEMS INDICATED UNDER THE "LEGEND" SHOWN BELOW, AND IS TO BE DONE IN ACCORDANCE WITH THESE PLANS AND THE FOLLOWING LIST OR PRINTED MATERIALS AS CURRENTLY ADOPTED BY THE CITY OF CHULA VISTA CITY COUNCIL INCLUDING THE FOLLOWING:

1. 2012 STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION ("GREENBOOK") AND 2012 REGIONAL SUPPLEMENT AMENDMENTS (TO THE GREENBOOK).
2. 2012 SAN DIEGO AREA REGIONAL STANDARD DRAWINGS.
3. 2019 CITY OF CHULA VISTA STANDARD SPECIAL PROVISIONS (TO THE GREENBOOK).
4. 2017 DESIGN AND CONSTRUCTION STANDARDS OF THE CITY OF CHULA VISTA.
5. PORTION OF THE STATE STANDARD SPECIFICATIONS, STATE OF CALIFORNIA, DEPARTMENT OF TRANSPORTATION, DATED JULY 2010 AND ALL SUBSEQUENT ADDITIONS AND REVISIONS.
6. PORTION OF THE STATE STANDARD PLANS, STATE OF CALIFORNIA, DEPARTMENT OF TRANSPORTATION, DATED JULY 2010 AND ALL SUBSEQUENT ADDITIONS AND REVISIONS.
7. 2014 CALIFORNIA MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES ("CA-MUTCD") AND ALL SUBSEQUENT ADDITIONS AND REVISIONS.
8. WATER AGENCIES STANDARDS SPECIFICATIONS FOR RECYCLED WATER AND SEWER FACILITIES, LATEST EDITION.
9. PUBLIC WATER SYSTEM IMPROVEMENTS SHALL BE INSTALLED IN ACCORDANCE WITH THE SWEETWATER AUTHORITY'S DESIGN STANDARDS AND STANDARD SPECIFICATIONS FOR CONSTRUCTION OF WATER FACILITIES.

ALL REFERENCES ARE TO BE MADE PART OF THESE PLANS. ANY CHANGES OR REVISIONS THEREFROM, SHALL BE APPROVED BY THE CITY ENGINEER, OR HIS DESIGNEE, PRIOR TO ANY REQUEST FOR INSPECTION.

## LEGEND

### PROPOSED IMPROVEMENTS

ITEM	SYMBOL
PROPOSED IMPROVEMENTS	
PROP BLDG PAD	
LIMITS OF WORK	
TOP OF CURB ELEVATION	TC 100.50
FLOW LINE ELEVATION	FL 100.00
FINISH SURFACE ELEVATION	FS 100.00
MAJOR CONTOUR	100
MINOR CONTOUR	101
DRAINAGE FLOW	
PROP MODULAR WETLAND UNIT (PVT)	PER CITY DWG. NO. XXXXXX
PROP STORM DRAIN TYPE A-4 CLEANOUT (PVT)	PER CITY DWG. NO. XXXXXX
PROP STORM DRAIN CURB INLET (PVT)	PER CITY DWG. NO. XXXXXX
PROP. CATCH BASIN BROOKS BOX (PVT)	PER CITY DWG. NO. XXXXXX
PROP STORMTRAP VAULT STORAGE (PVT)	PER CITY DWG. NO. XXXXXX
PROP PVC STORM DRAIN PIPE (PVT)	PER CITY DWG. NO. XXXXXX
PROP STORM DRAIN CLEANOUT	PER CITY DWG. NO. XXXXXX
* PROP FIRE SERV. BACKFLOW PREVENTOR (PVT)	
* PROP WATER SERV. METER W/BACKFLOW PREVENTOR (PVT)	
* PROP. FIRE HYDRANT	
PROP TYPE G 6" CURB AND GUTTER (PVT)	
PROP 6" CURB (PVT)	
PROP 3' RIBBON GUTTER (PVT)	MOD. SDG-157
PROP PARKING STALL (PVT)	
PROP AC PAVING (PVT)	

PROP PCC DRIVEWAY (PUB)	
PROPOSED CURB RAMP	GSL 08
CONCRETE PAVING	
PROP SAWCUT LINE	
PROP. BROW DITCH	
EXISTING DIRECTION OF FLOW	
PROP RETAINING WALL (PVT)	
* PER OTAY WATER DISTRICT PROJECT NO. XXX-XXXX	

### EXISTING IMPROVEMENTS

ITEM	SYMBOL
PROJECT BOUNDARY	
LIMIT OF WORK	
EXISTING EDGE OF PAVEMENT	
EXISTING CONTOURS	55 x 55.0
EXISTING SPOT ELEVATION	
EXISTING A.C. PAVEMENT	
EXISTING STORM DRAIN PIPE	
EXISTING STORM DRAIN CLEANOUT	
EXISTING STORM DRAIN CURB-INLET	
EXISTING WATER MAIN	W
EXISTING FIRE HYDRANT	W
EXISTING GATE VALVE	
EXISTING SEWER MAIN	S
EXISTING SEWER MANHOLE	
EXISTING SEWER LATERAL	S
EXISTING GAS	G
EXISTING ELECTRIC	E
EXISTING TELEPHONE	T
EXISTING FIRE SERVICE	FS
EXISTING STREET LIGHTS	
EXISTING C.L. FENCE	
EXISTING WOOD FENCE	
EXISTING BUILDING	

EXISTING TREES	
EXISTING ASPHALT	
EXISTING DIRECTION OF FLOW	

## ARCHITECTS

hanna gabriel wells

1955 bacon street  
san diego, ca 92107  
+ 619.523.8485  
+ 619.523.8487  
www.architects-hgw.com

SHARP Rees-Stealy  
Medical Centers

DPR  
CONSTRUCTION

ICF

revision schedule

no.	date	description
-----	------	-------------



KETTLER LEWECK

ENGINEERING  
1620 FIFTH AVENUE, SUITE 675  
SAN DIEGO, CA 92101  
t: 619 269-3444 | f: 619 269-3459  
www.kettlerleweck.com

project

SHARP OTAY RANCH MOB

1400 E. PALOMAR STREET  
CHULA VISTA, CA 91913

date	2022.06.27
------	------------

hgw project number	21.45
--------------------	-------

agency project number	ENVIRONMENTAL: IS21-0005 DESIGN REVIEW: DR21-0029 CONDITION USE: CUP21-0019
-----------------------	---

sheet description

## TITLE SHEET

sheet number

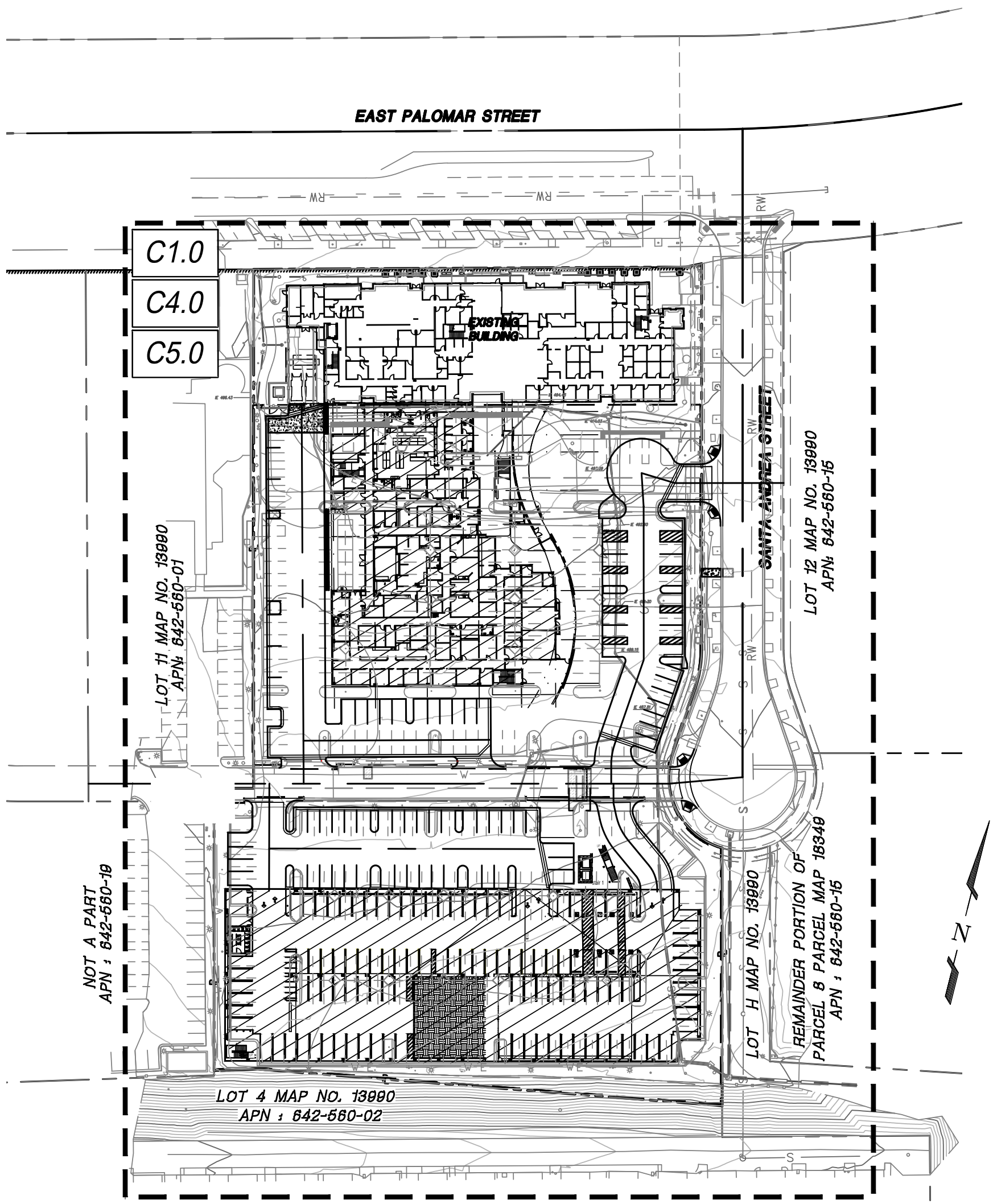
C0.0

project phase

CITY OF CHULA VISTA



© ARCHITECTS hanna gabriel wells, all rights reserved. Any use without permission is expressly prohibited. Printed

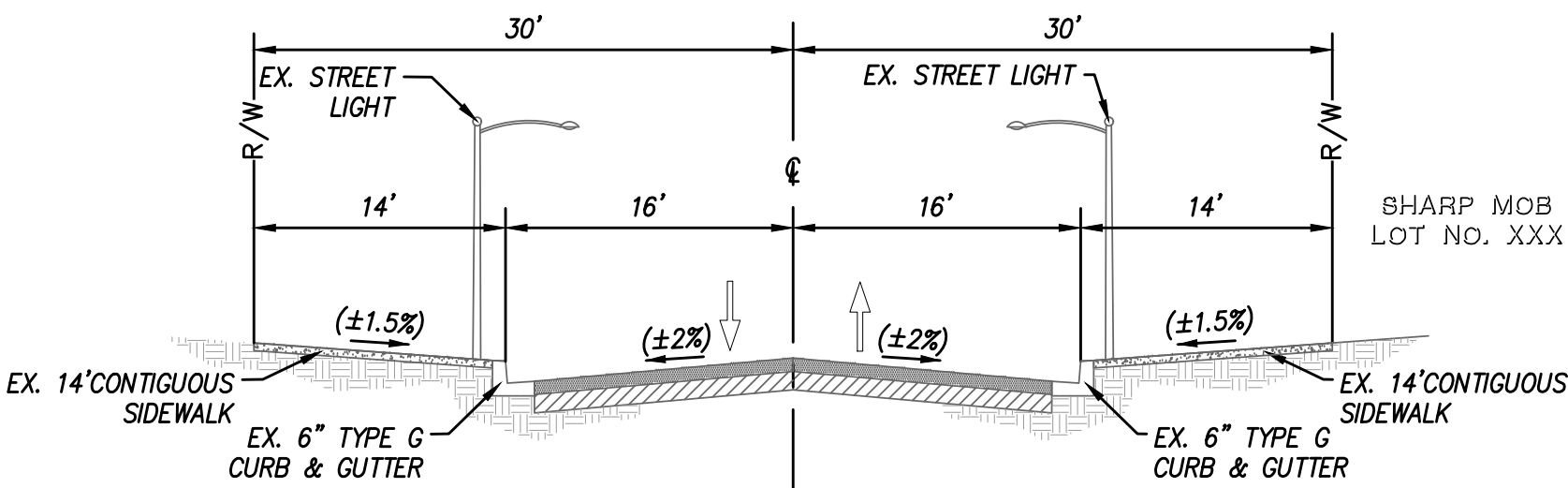


KEY MAP LEGEND

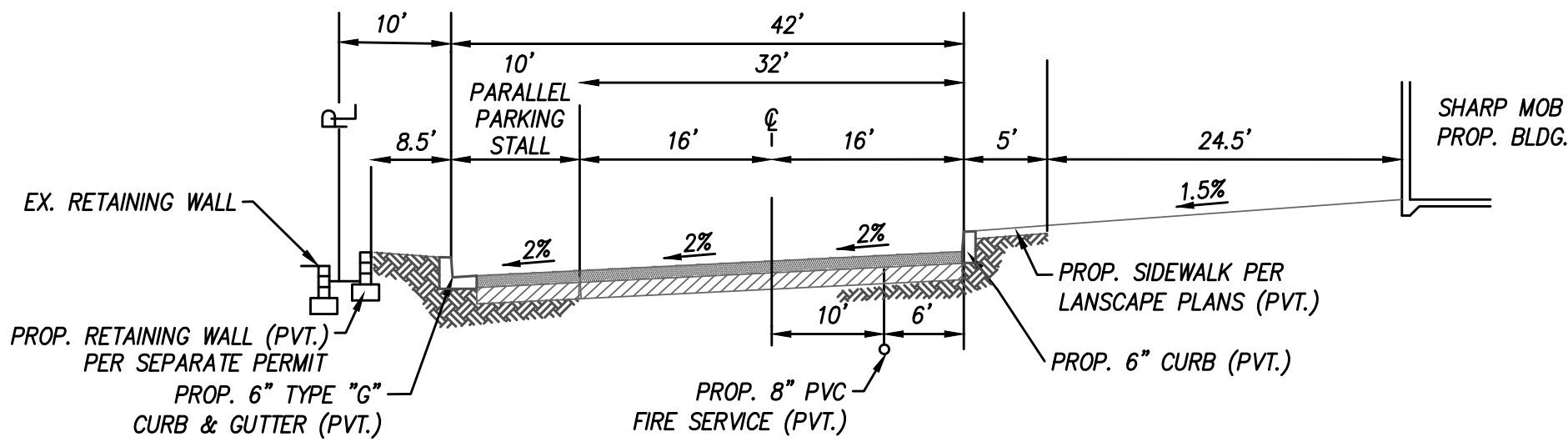
SHEET NO. #

SHEET LIMITS

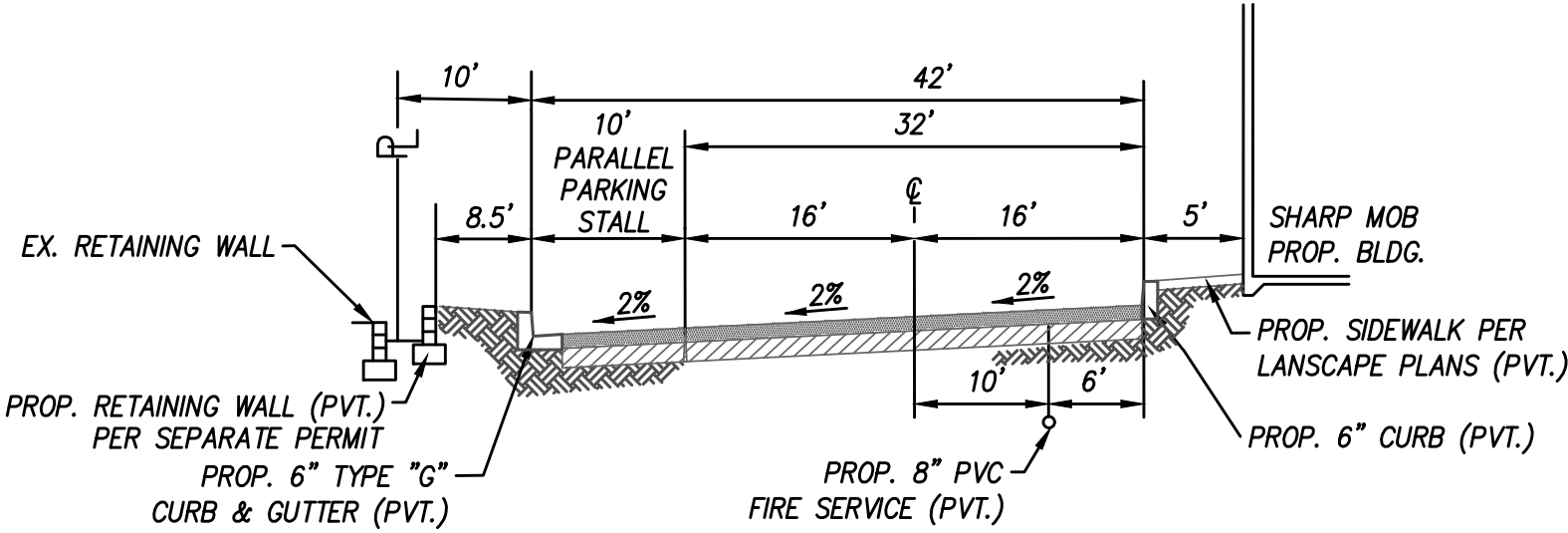
KEY MAP  
SCALE 1" = 80'



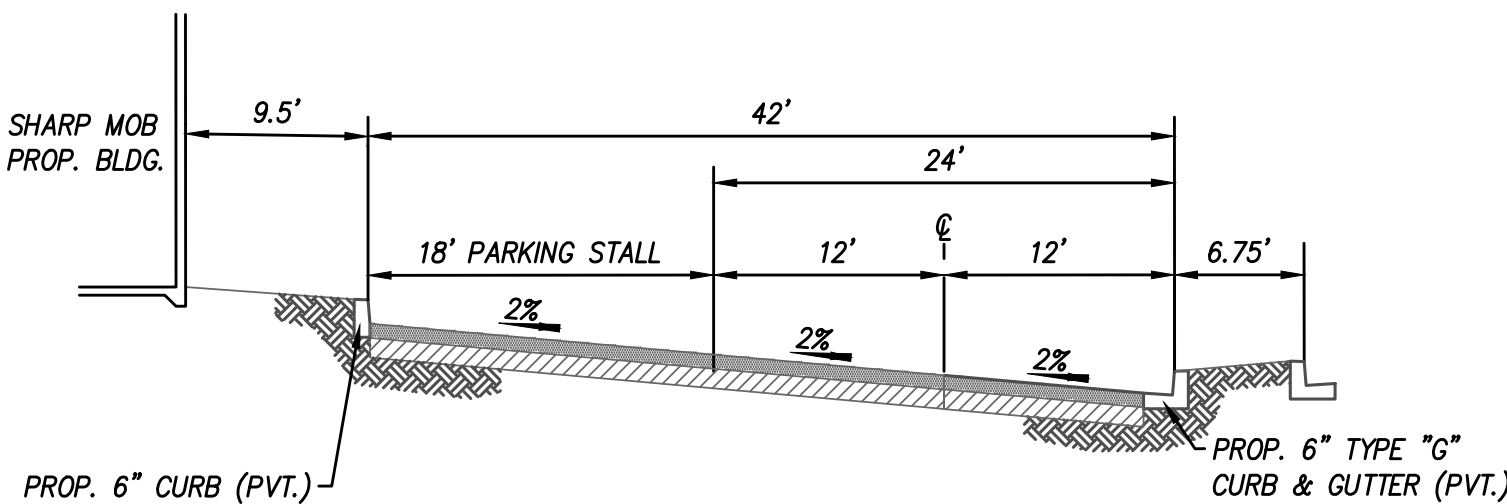
EXISTING CONDITIONS - SANTA ANDREA STREET  
NO SCALE



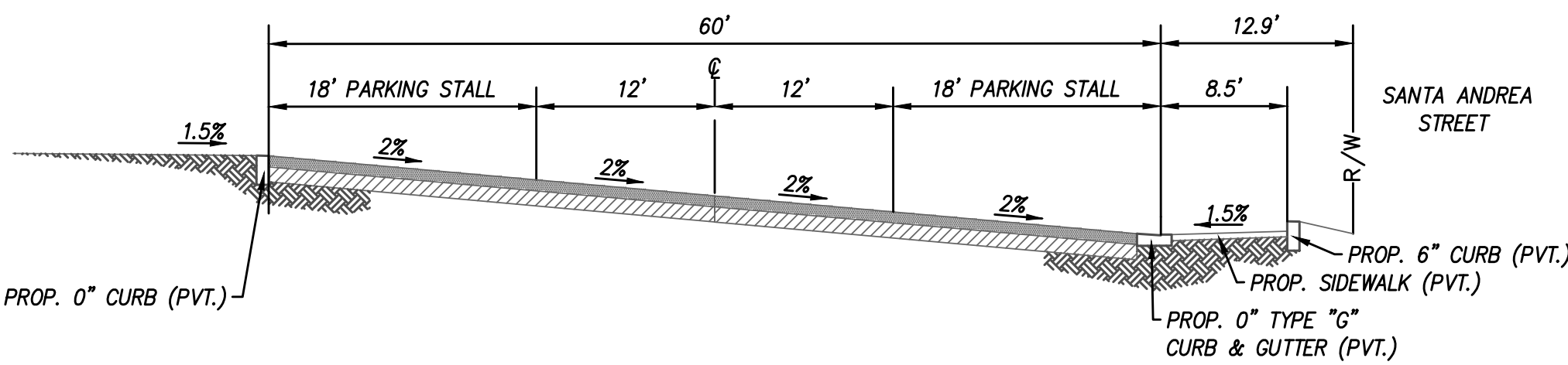
DRIVEWAY "A" - SECTION "A-A" (PVT.)  
NO SCALE



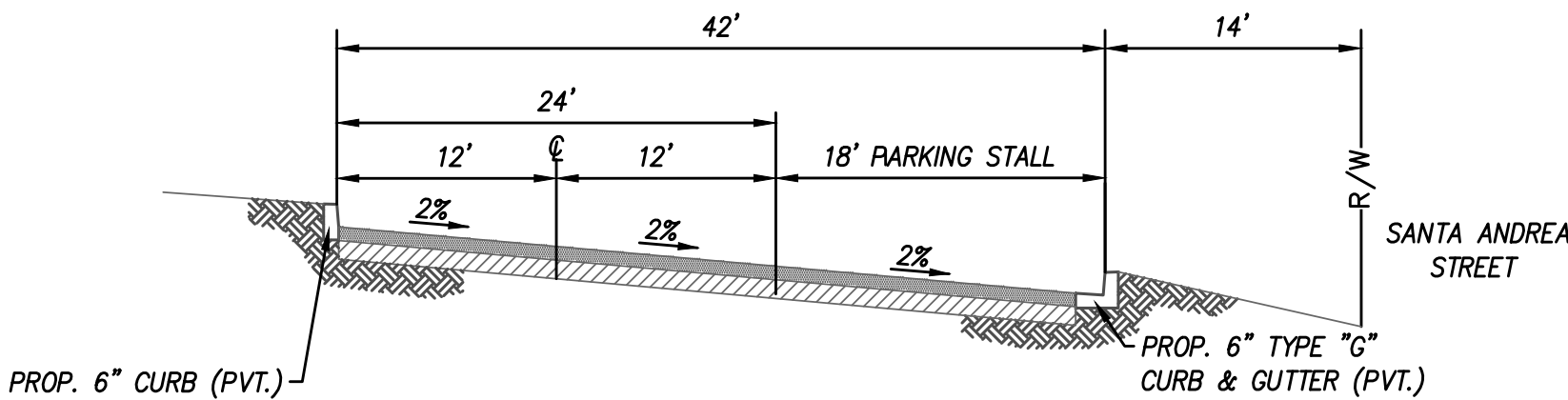
DRIVEWAY "B" - SECTION "B-B" (PVT.)  
NO SCALE



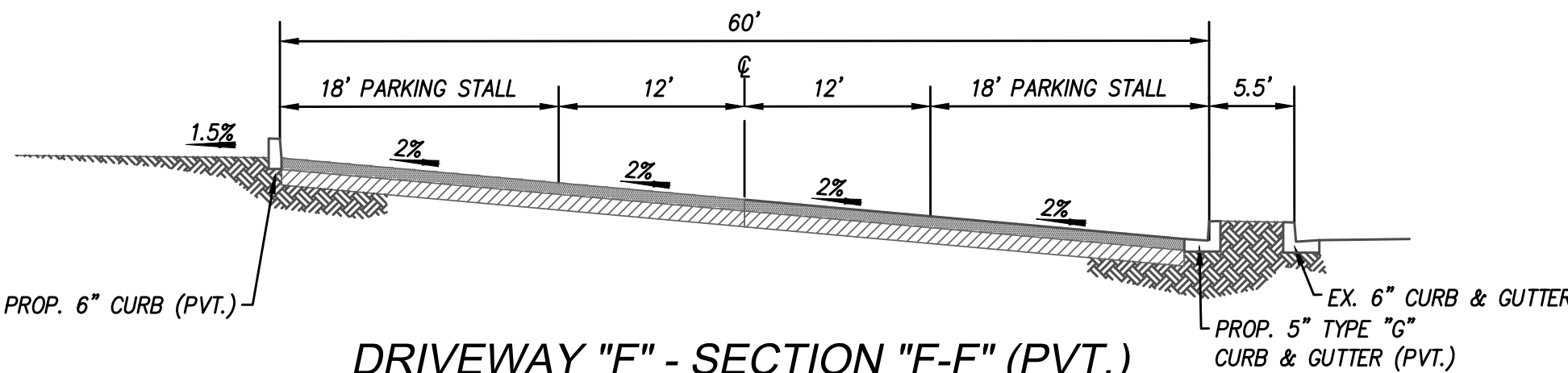
DRIVEWAY "C" - SECTION "C-C" (PVT.)  
NO SCALE



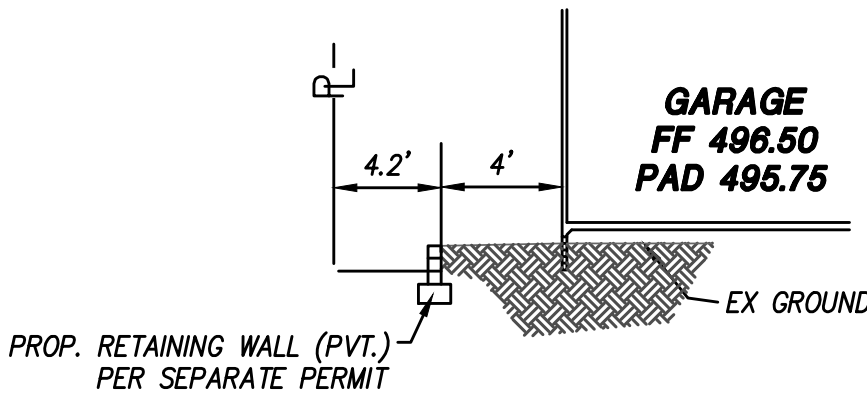
DRIVEWAY "D" - SECTION "D-D" (PVT.)  
NO SCALE



DRIVEWAY "E" - SECTION "E-E" (PVT.)  
NO SCALE



DRIVEWAY "F" - SECTION "F-F" (PVT.)  
NO SCALE



CROSS SECTION G-G  
NO SCALE

ARCHITECTS

hanna gabriel wells

1955 bacon street  
san diego, ca 92107  
t: 619.523.8485  
f: 619.523.8487  
www.architects-hgw.com

SHARP Rees-Stealy Medical Centers

DPR CONSTRUCTION

ICF

revision schedule

no. date description



KETTLER LEWECK

ENGINEERING  
1620 FIFTH AVENUE, SUITE 675  
SAN DIEGO, CA 92101  
t: 619 269-3444 | f: 619 269-3459  
www.kettlerleweck.com

project

SHARP OTAY RANCH MOB

1400 E. PALOMAR STREET  
CHULA VISTA, CA 91913

date

2022.06.27

hgw project number

21.45

agency project number

ENVIRONMENTAL: IS21-0005  
DESIGN REVIEW: DR21-0029  
CONDITION USE: CUP21-0019

sheet description

KEY MAP AND SECTIONS

sheet number

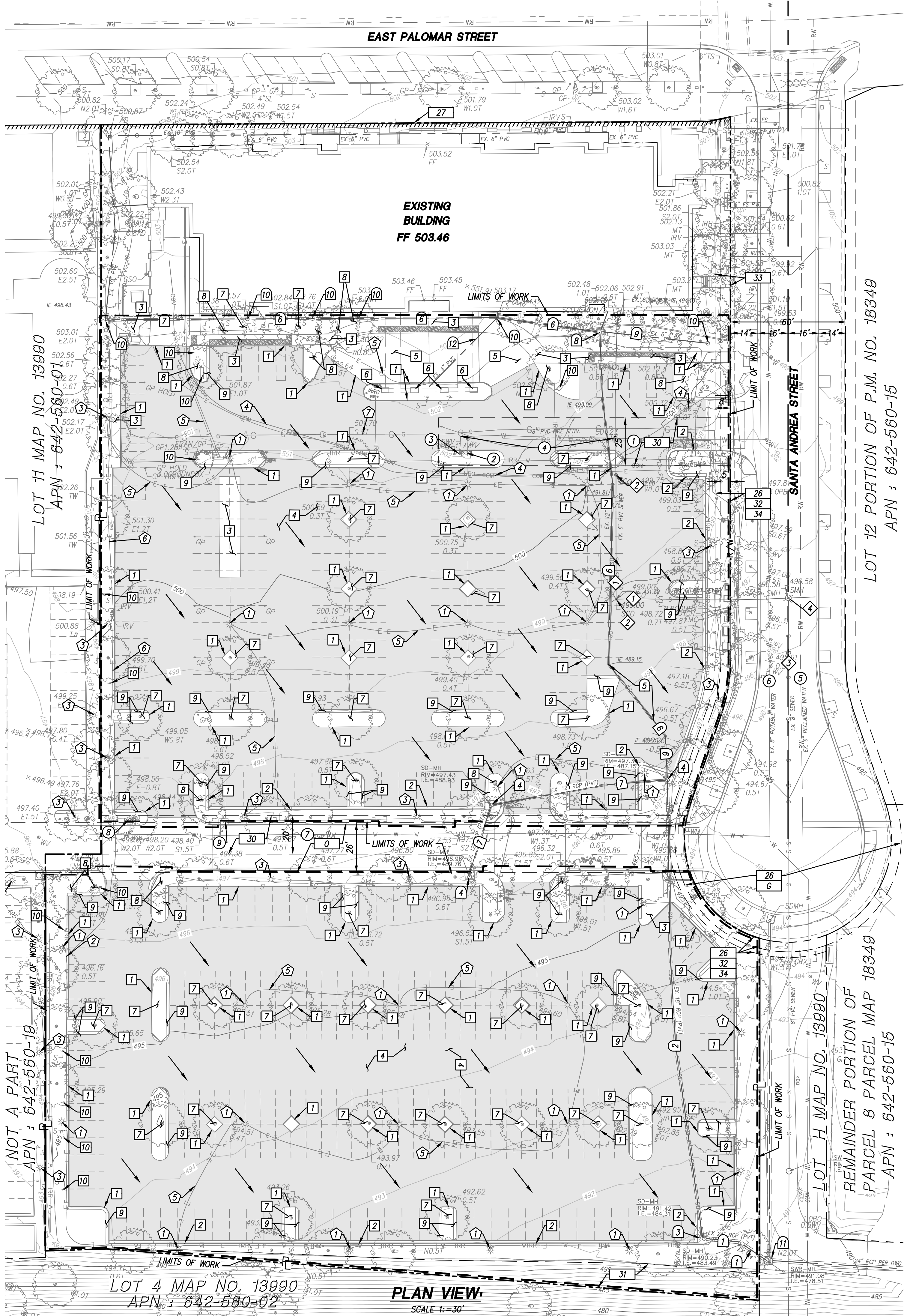
C0.1

project phase

CITY OF CHULA VISTA



© ARCHITECTS hanna gabriel well, all rights reserved. Any use without permission is expressly prohibited. Printed



EX. SURFACE IMPROVEMENTS

- EX. CURB TO BE REMOVED
- EX. CURB AND GUTTER TO BE REMOVED
- EX. SIDEWALK TO BE REMOVED
- EX. ASPHALT TO BE REMOVED
- EX. CONCRETE SLAB TO BE REMOVED
- EX. COLUMNS TO BE REMOVED
- EX. TREES TO BE REMOVED
- EX. PALM TREES TO BE REMOVED
- EX. CONCRETE STRIP TO BE REMOVED
- EX. SIGNS TO BE REMOVED

EX. SEWER

- EX. 6" PVC SEWER TO REMAIN IN PLACE
- EX. SEWER CLEAN OUT TO REMAIN, ADJUST TO GRADE
- EX. 8" SEWER PER C.V. DWG NO. 99-778, TO REMAIN IN PLACE
- EX. MANHOLE TO REMAIN IN PLACE

EX. WATER

- PORTION OF EX. 8" FIRE SERVICE TO BE REMOVED
- EX. FIRE HYDRANT TO BE RELOCATED
- EX. 1" AIR VALVE TO BE RELOCATED
- PORTION OF EX. 8" FIRE SERVICE BE REMOVED
- EX. 6" RECLAIMED WATER PER C.V. CITY DWG NO 99-778 TO REMAIN IN PLACE.
- EX. 8: POTABLE WATER PER C.V. DWG. NO. 99-778 TO REMAIN IN PLACE.
- EX. 8" FIRE SERVICE PER C.V. DWG. NO. 99-778 TO REMAIN IN PLACE.
- EX. FIRE HYDRANT TO REMAIN, PROTECT IN PLACE
- EX. WATER B.O. TO REMAIN, PROTECT IN PLACE.

EX. STORM DRAIN

- EX. 24" RCP STORM DRAIN PIPE TO BE REMOVED.
- EX. 18" RCP STORM DRAIN PIPE TO BE REMOVED.
- EX. MOD 5' TYPE B CURB INLET TO BE REMOVED.
- EX. TYPE B CURB INLET TO BE REMOVED.
- PORTION OF EX. 12" PVC STORM DRAIN PIPE TO BE REMOVED.
- EX. 12" PVC STORM DRAIN PIPE TO REMAIN IN PLACE, PROTECT IN PLACE
- EX. 12" RCP STORM DRAIN PIPE TO BE REMOVED
- EX. STORM DRAIN CATCH BASIN TO REMAIN IN PLACE, ADJUST TO GRADE
- EX. 6" PVC STORM DRAIN TO REMAIN, PROTECT IN PLACE.
- EX. STORM DRAIN CLEANOUT TO REMAIN, ADJUST TO GRADE
- EX. STORM DRAIN CLEANOUT TO REMAIN, PROTECT IN PLACE
- EX. 4" PVC STORM DRAIN PIPE TO BE REMOVED

EX. DRY UTILITIES

- EX. STREET LIGHT TO BE REMOVED
- EX. ELECTRICAL BOX TO BE REMOVED
- EX. STREET LIGHT TO REMAIN
- EX. TELECOMMUNICATION LINE TO BE REMOVED AND/OR RELOCATED
- EX. ELECTRICAL LINE TO BE REMOVED AND/OR RELOCATED
- EX. ELECTRICAL LINE TO REMAIN
- EX. GAS LINE TO BE REMOVED AND/OR RELOCATED

EX. EASEMENTS

- EXISTING PRIVATE UTILITY AND ACCESS EASEMENT TO CURRENT OWNERS AND/OR SUBSEQUENT OWNERS OR PURCHASES OF LOTS 1 THROUGH 12 INCLUSIVE, LOTS A, B, H, I, J, AND K AS SHOWN AND PARCEL 8 OF PACEL MAP 18349, PURSUANT TO SECTION 18.20150 OF THE CITY OF CHULA VISTA MUNICIPAL CODE, RESERVED OR GRANTED ON MAP 13990, SAID EASEMENTS, SHALL BE SUBORDINATE TO ANY EXISTING EASEMENTS, ANY EASEMENTS GRANTED THEREON, AND ANY FUTURE GRANT OF EASEMENT TO THE CITY OF CHULA VISTA OR OTHER PUBLIC ENTITY.
- EXISTING PRIVATE UTILITY AND ACCESS EASEMENT TO BE RESERVED FOR THE BENEFIT OF ALL ADJACENT AND ABUTTING PROPERTY TO SAID EASEMENT INCLUDING LOTS 5, 7-11 AND NOT A PART PARCEL LYING SOUTHERLY AND ADJACENT TO SAID LOTS 7-11. SHOWN AND DEDICATED ON THE MAP FILED OR RECORDED JUNE 27, 2000 AS OF MAP NO. 13990.
- EXISTING EASEMENT FOR LANDSCAPE BUTTER, PRIVATE UTILITY, GENERAL UTILITY, ACCESS AND INCIDENTAL PURPOSES PER DEDICATED MAP NO. 13990, RECORDED JUNE 27, 2000 OF OFFICIAL RECORD.
- ABUTTER'S RIGHT OF INGRESS AND EGRESS TO OR FROM EAST PALOMAR STREET HAVE BEEN DEDICATED OR RELINQUISHED ON THE MAP OF MAP NO. 13990 OF TRACT MAPS RECORDED JUNE 27, 2000.
- EXISTING EASEMENT IN FAVOR OF OTAY WATER DISTRICT FOR UNDERGROUND WATER PIPELINES AND LATERALS, MAIN SEWER LINES, SEWER TRUNK LINES, COLLECTION LINES AND LATERALS, SEWER MANHOLES AND OTHER UNDERGROUND AND SURFACE STRUCTURES APPURTENANT TO SAID WATER AND SEWER LINES, INCLUDING BUT NOT LIMITED TO POWER LINES FOR TRANSMISSION AND COMMUNICATION PURPOSES, PUMPS, REGULATORS, VALVES AND ACCESS ROADS AND INCIDENTAL PURPOSES, RECORDED AUGUST 07, 2000 AS INSTRUMENT NO. 2000-0415948 OF OFFICIAL RECORDS.
- EXISTING EASEMENT IN FAVOR OF OTAY PROJECT L.P., A CALIFORNIA LIMITED PARTNERSHIP FOR LANDSCAPE MAINTENANCE, ACCESS AND INCIDENTAL PURPOSES, RECORDED SEPTEMBER 20, 2000 AS INSTRUMENT NO. 2000-0503692 OF OFFICIAL RECORDS.
- EXISTING EASEMENT IN FAVOR OF SAN DIEGO GAS AND ELECTRIC FOR THE UNDERGROUND ELECTRIC FACILITIES, AND APPURTENANCES FOR THE TRANSMISSION AND DISTRIBUTION OF ELECTRICITY, UNDERGROUND COMMUNICATION FACILITIES, AND APPURTENANCES, TOGETHER WITH THE RIGHT OF INGRESS THERETO AND EGRESS AND INCIDENTAL PURPOSES, RECORDED NOVEMBER 15, 2000 AS INSTRUMENT NO. 2000-0621791 OF OFFICIAL RECORDS.
- EXISTING EASEMENT FOR THE RIGHTS OF INGRESS AND EGRESS, PRIVATE LIGHTING, MAINTENANCE AND ACCESS AND INCEDENTAL PURPOSES, RECORDED OCTOBER 23, 2001 AS INSTRUMENT IN FAVOR OF OTAY RANCH ONE COMMUNITY ASSOCIATION, A CALIFORNIA NON PROFIT CORPORATION.
- EXISTING EASEMENT FOR THE RIGHTS OF INGRESS AND EGRESS, FOR THE CONSTRUCTION AND MAINTENANCE OF LANDSCAPING, LIGHTING AND ACCESS AND INCEDENTAL PURPOSES, RECORDED OCTOBER 23, 2001 AS INSTRUMENT IN FAVOR OF OTAY RANCH ONE COMMUNITY ASSOCIATION, A CALIFORNIA NON PROFIT CORPORATION.

ARCHITECTS

hanna gabriel well

1955 bacon street  
san diego, ca 92107  
619.523.8485  
619.523.8487  
www.architects-hgw.com

SHARP Rees-Stealy  
Medical Centers

DPR  
CONSTRUCTION

ICF

revision schedule

no.	date	description
-----	------	-------------



KETTLER LEWECK

ENGINEERING  
1620 FIFTH AVENUE, SUITE 675  
SAN DIEGO, CA 92101  
t: 619 269-3444 | f: 619 269-3459  
www.kettlerleweck.com

project

SHARP OTAY RANCH MOB

1400 E. PALOMAR STREET  
CHULA VISTA, CA 91913

date

2022.06.27

hgw project number

21.45

agency project number

ENVIRONMENTAL: IS21-0005  
DESIGN REVIEW: DR21-0029  
CONDITION USE: CUP21-0019

sheet description

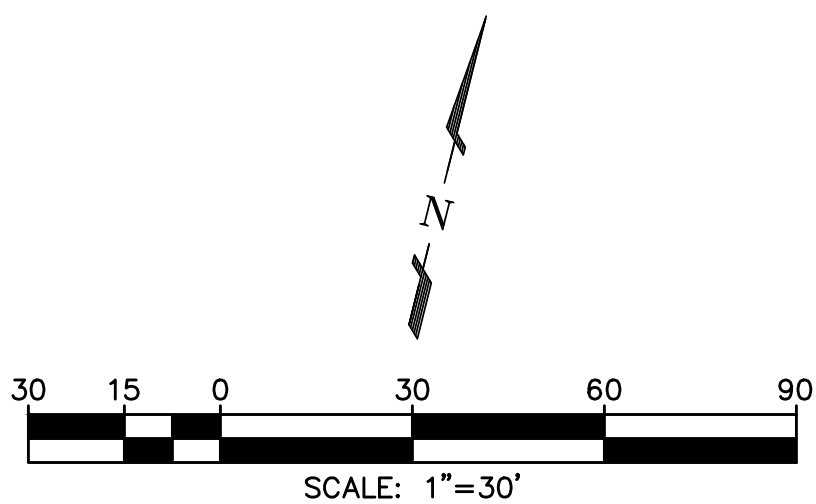
EXISTING CONDITIONS AND  
PARCIAL DEMOLITION PLAN

sheet number

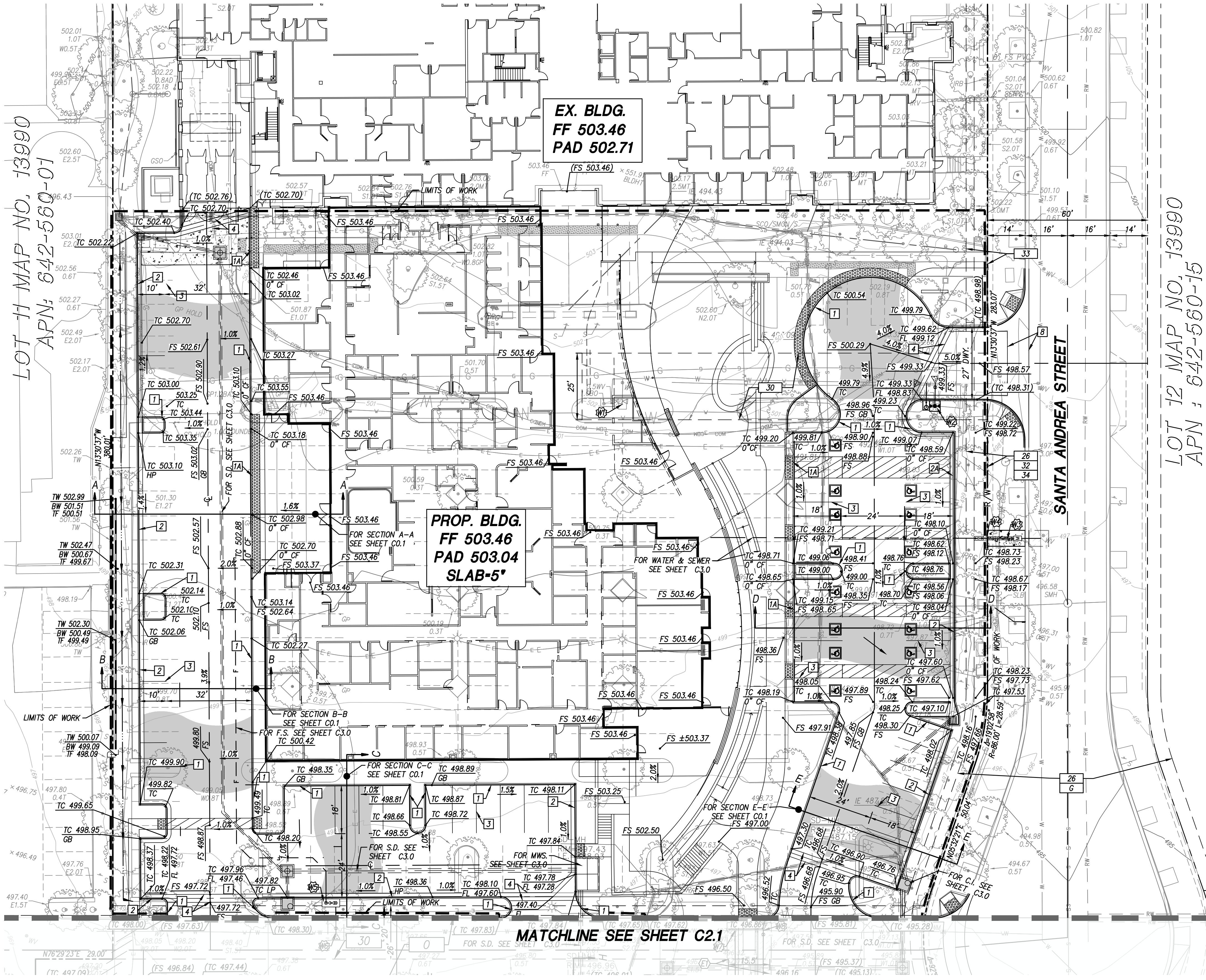
C1.0

project phase

CITY OF CHULA VISTA







NOTE TO CONTRACTOR:

1. CONTRACTOR TO FIELD VERIFY EDGE CONDITIONS PRIOR TO START OF GRADING OPERATIONS AND PROVIDE FIELD SURVEY INFORMATION TO ENGINEER OF WORK.
2. ENGINEER OF WORK TO REVIEW FIELD SURVEY INFORMATION PROVIDED BY THE CONTRACTOR AND PROVIDE CONTRACTOR WITH ANY DESIGN CHANGES, IF REQUIRED.
3. STREET AND PARKING LOTS FINISHED SURFACE (FS) ELEVATIONS SHOWN ON PLAN ARE TO TOP OF PAVEMENT. CONTRACTOR SHALL UNDERCUT STREETS AND PARKING LOTS AS RECOMMENDED IN ACCORDANCE WITH THE APPROVED GEOTECHNICAL REPORT PREPARED BY LEIGHTON AND ASSOCIATES, DATED FEBRUARY 19, 2019.
4. CONTOURS SHOWN HEREON ARE APPROXIMATE, +/-, AND FOR INFORMATION ONLY.

GRADING, STORM DRAIN AND IMPROVEMENTS NOTE:

1. FOR ROUGH GRADING AND PRIVATE STORM DRAIN SEE CITY DWG NO. XXXXX
2. FOR STREET IMPROVEMENTS PLANS SEE DWG. NO. XXXXXX
3. FOR PRIVATE WET UTILITY PLAN SEE SHEET C3.0

"DIG ALERT NOTICE"

SECTION 4216/4217 OF THE GOVERNMENT CODE REQUIRES THAT DIG ALERT IDENTIFICATION NUMBER BE ISSUED BEFORE A "PERMIT TO EXCAVATE" WILL BE VALID. FOR YOUR DIG ALERT I.D. NUMBER, CALL UNDERGROUND SERVICE ALERT TOLL FREE 1-800-422-4133 AT LEAST TWO WORKING DAYS BEFORE YOU DIG.

PLAN VIEW:

SCALE 1"=20'

PROP. SURFACE IMPROVEMENTS

- 1] PROP. 6" CURB (PVT.)
- 1A] PROP. 0" CURB (PVT.)
- 2] PROP. 6" CURB AND GUTTER (PVT.)
- 2A] PROP. 0" CURB AND GUTTER (PVT.)
- 3] PROP. STRIPING (PVT.)
- 4] PROP. 3" RIBBON GUTTER (PVT.)
- 8] PROP. 8" CROSS GUTTER PER CVSD GSI-02

NOTE:

ALL PAVEMENT AND GUTTERS AT ADA PARKING SPACES AND ADJACENT LOADING ZONES TO SLOPE AT 1.5% MAXIMUM.

EX. EASEMENTS

- 6] EXISTING PRIVATE ACCESS AND DRAINAGE EASEMENT TO CURRENT OWNERS AND/OR SUBSEQUENT OWNERS OR PURCHASES OF LOTS 1 THROUGH 12 INCLUSIVE, LOTS A, B, H, I, J, AND K AS SHOWN AND PARCEL 8 OF PACEL MAP 18349, PURSUANT TO SECTION 18.20150 OF THE CITY OF CHULA VISTA MUNICIPAL CODE RESERVED OR GRANTED ON MAP 13990. SAID EASEMENTS, SHALL BE SUBORDINATE TO ANY EXISTING EASEMENTS, ANY EASEMENTS GRANTED THEREON, AND ANY FUTURE GRANT OF EASEMENT TO THE CITY OF CHULA VISTA OR OTHER PUBLIC ENTITY.
- 0] EXISTING PRIVATE UTILITY AND ACCESS EASEMENT TO BE RESERVED FOR THE BENEFIT OF ALL ADJACENT AND ABUTTING PROPERTY TO SAID EASEMENT INCLUDING LOTS 5, 7-11 AND NOT A PART PARCEL LYING SOUTHERLY AND ADJACENT TO SAID LOTS 7-11. SHOWN AND DEDICATED ON THE MAP FILED OR RECORDED JUNE 27, 2000 AS OF MAP NO. 13990.
- 26] EXISTING EASEMENT FOR LANSCAPE BUTTER, PRIVATE UTILITY, GENERAL UTILITY, ACCESS AND INDENTAL PURPOSES PER DEDICATED MAP NO. 13990, RECORDED JUNE 27, 2000 OF OFFICIAL RECORD.
- 30] EXISTING EASEMENT IN FAVOR OF OTAY WATER DISTRICT FOR UNDERGROUND WATER PIPELINES AND LATERALS, MAIN SEWER LINES, SEWER TRUNK LINES, COLLECTION LINES AND LATERALS, SEWER MANHOLES AND OTHER UNDERGROUND AND SURFACE STRUCTURES APPURTENANT TO SAID WATER AND SEWER LINES, INCLUDING BUT NOT LIMITED TO POWER LINES FOR TRANSMISSION AND COMMUNICATION PURPOSES, PUMPS, REGULATORS, VALVES AND ACCESS ROADS AND INCIDENTAL PURPOSES, RECORDED AUGUST 07, 2000 AS INSTRUMENT NO. 2000-0415948 OF OFFICIAL RECORDS.
- 32] EXISTING EASEMENT IN FAVOR OF SAN DIEGO GAS AND ELECTRIC FOR THE UNDERGROUND ELECTRIC FACILITIES, AND APPURTENANCES FOR THE TRANSMISSION AND DISTRIBUTION OF ELECTRICITY, UNDERGROUND COMMUNICATION FACILITIES, AND APPURTENANCES, TOGETHER WITH THE RIGHT OF INGRESS THERE TO EGRESS AND INCIDENTAL PURPOSES, RECORDED NOVEMBER 15, 2000 AS INSTRUMENT NO. 2000-0621791 OF OFFICIAL RECORDS.
- 33] EXISTING EASEMENT FOR THE RIGHTS OF INGRESS AND EGRESS, PRIVATE LIGHTING, MAINTENANCE AND ACCESS AND INCIDENTAL PURPOSES, RECORDED OCTOBER 23, 2001 AS INSTRUMENT IN FAVOR OF OTAY RANCH ONE COMMUNITY ASSOCIATION, A CALIFORNIA NON PROFIT CORPORATION.
- 34] EXISTING EASEMENT FOR THE RIGHTS OF INGRESS AND EGRESS, FOR THE CONSTRUCTION AND MAINTENANCE OF LANDSCAPING, LIGHTING AND ACCESS AND INCIDENTAL PURPOSES, RECORDED OCTOBER 23, 2001 AS INSTRUMENT IN FAVOR OF OTAY RANCH ONE COMMUNITY ASSOCIATION, A CALIFORNIA NON PROFIT CORPORATION.

GENERAL NOTES:

1. THE PROPOSED FINISH GRADING SHOWN HEREON IS PRELIMINARY ONLY AND NOT FOR CONSTRUCTION.
2. THE EXISTING IMPROVEMENTS LOCATED ON-SITE ARE ALL PRIVATE.

DRAINAGE NOTES:

1. ALL PROPOSED ON-SITE DRAINAGE FACILITIES ARE PRIVATE.
2. THE PROJECT'S DEVELOPED STORM WATER RUNOFF IS CONSISTENT WITH EXISTING CONDITION (I.E. THERE IS NOT AN INCREASE IN STORM RUNOFF DUE TO THE DEVELOPMENT OF THE PROJECT).

GEOTECHNICAL NOTES

ALL GRADING MUST BE PERFORMED IN ACCORDANCE WITH APPLICABLE CITY ORDINANCE AND THE RECOMMENDATIONS AND SPECIFICATIONS SET FORTH IN THE SOILS REPORT OR GEOLOGICAL/GEOTECHNICAL INVESTIGATION ENTITLED:

1. PRELIMINARY GEOTECHNICAL INVESTIGATION PROPOSED

GRADING INFORMATION

1. THE TOTAL SITE AREA IS----- 203,601 SQ-FT (4.674 AC)
2. THE TOTAL AMOUNT OF SITE TO BE GRADED----- 164,858 SQ-FT (3.78 AC)
3. THE TOTAL AMOUNT OF SITE AREA----- 61%
4. THE AMOUNT OF GEOMETRIC CUT IS----- 300 C.Y.
5. THE MAXIMUM DEPTH OF CUT IS----- 1 FT
6. THE AMOUNT OF GEOMETRIC FILL IS----- 9,000 C.Y.
7. THE MAXIMUM DEPTH OF FILL IS----- 4 FT
8. THE MAXIMUM HEIGHT OF CUT SLOPE IS----- 1 FT
9. THE MAXIMUM HEIGHT OF FILL SLOPE IS----- 3 FT
10. THE MAXIMUM GRADIENT OF ALL CUT AND FILL SLOPES----- 2:1
11. THE AMOUNT OF GEOMETRIC IMPORT IS----- 9,000 C.Y.
12. THE LENGTH OF PROPOSED RETAINING WALLS----- 82 LF
13. THE MAXIMUM HEIGHT OF PROPOSED RETAINING WALL (MEASURED FROM TW TO TF) IS----- 3 FT
14. REMEDIAL GRADING (2' REMOVAL DEPTH PER SOILS REPORT----- 12,000 CY

GRADING QUANTITY NOTES:

1. GRADING QUANTITIES ARE ESTIMATED FOR BONDING PURPOSES ONLY AND ARE NOT TO BE USED FOR PAYMENT QUANTITIES. REFER TO GEOTECHNICAL REPORT FOR FINAL REMEDIAL GRADING REQUIREMENTS (IF REQUIRED).
2. VOLUMES SHOWN ARE GEOMETRIC QUANTITIES AND EXCLUDES STREET UNDERCUTS AND SPOILS.

PROP. EASEMENTS

- 6] PROP. 15.5 WIDE WATER EASEMENT PER DOC. NO. XXXXXX. DATED XX/XX/XXXX.

PROP. WATER

- 10] FOR PROP. RELOCATION OF FIRE HYDRANT SEE OTAY WATER DISTRICT PROJECT NO. XXX-XXXXXX
- 10] FOR PROP. NEW LOCATION OF EX. FIRE HYDRANT SEE OTAY WATER DISTRICT PROJECT NO. XXX-XXXXXX
- 10] FOR PROP 2" WATER SERVICE SEE OTAY WATER PROJECT NO. XXX-XXXXXX
- 10] FOR PROP 2" WATER METER SEE OTAY WATER PROJECT NO. XXX-XXXXXX
- 10] FOR PROP. 8" BACKFLOW PREVENTOR SEE OTAY WATER DISTRICT PROJECT NO. XXX-XXXXXX
- 10] FOR PROP. 8" FIRE SERVICE SEE OTAY WATER PROJECT NO. XXX-XXXXXX
- 10] FOR PROP 2" WATER SERVICE SEE OTAY WATER PROJECT NO. XXX-XXXXXX
- 10] FOR PROP 6" FIRE SERVICE SEE OTAY WATER PROJECT NO. XXX-XXXXXX

ARCHITECTS

horna gabriel wells

1955 bacon street  
san diego, ca 92107  
t: 619.523.8485  
f: 619.523.8487  
www.architects-hgw.com

SHARP Rees-Stealy  
Medical Centers

DPR  
CONSTRUCTION

ICF

revision schedule

no.	date	description
-----	------	-------------



KETTLER LEWECK

ENGINEERING  
1620 FIFTH AVENUE, SUITE 675  
SAN DIEGO, CA 92101  
t: 619 269-3444 | f: 619 269-3459  
www.kettlerleweck.com

project

SHARP OTAY RANCH MOB

1400 E. PALOMAR STREET  
CHULA VISTA, CA 91913

date

2022.06.27

hgw project number

21.45

agency project number

ENVIRONMENTAL: IS21-0005

DESIGN REVIEW: DR21-0029

CONDITION USE: CUP21-0019

sheet description

GRADING PLAN

sheet number

C2.0

project phase

CITY OF CHULA VISTA





KETTLER LEWECK

ENGINEERING  
1620 FIFTH AVENUE, SUITE 675  
SAN DIEGO, CA 92101  
t: 619 269-3444 | f: 619 269-3459  
www.kettlerleweck.com

project

SHARP OTAY RANCH MOB

1400 E. PALOMAR STREET  
CHULA VISTA, CA 91913

date

2022.06.27

hgw project number

21.45

agency project number

ENVIRONMENTAL: IS21-0005  
DESIGN REVIEW: DR21-0029  
CONDITION USE: CUP21-0019

sheet description

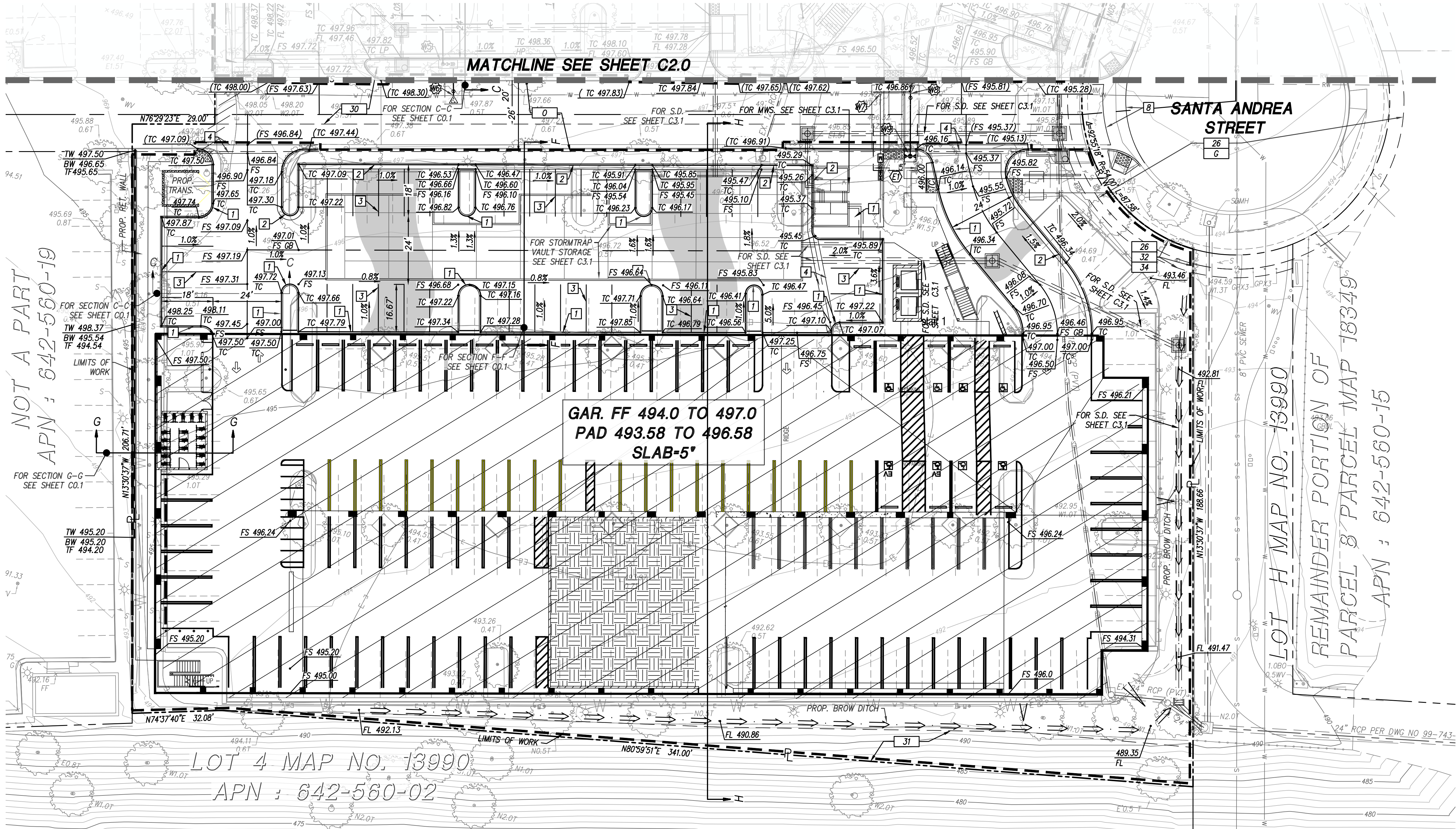
GRADING PLAN

sheet number

C2.1

project phase

CITY OF CHULA VISTA



PROP. SURFACE IMPROVEMENTS

- 1 PROP. 6" CURB (PVT.)
- 2 PROP. 6" CURB AND GUTTER (PVT.)
- 3 PROP. STRIPING (PVT.)
- 4 PROP. 3" RIBBON GUTTER (PVT.)
- 8 PROP. 8' CROSS GUTTER PER CVSD GSI-02

NOTE TO CONTRACTOR:

1. CONTRACTOR TO FIELD VERIFY EDGE CONDITIONS PRIOR TO START OF GRADING OPERATIONS AND PROVIDE FIELD SURVEY INFORMATION TO ENGINEER OF WORK.
2. ENGINEER OF WORK TO REVIEW FIELD SURVEY INFORMATION PROVIDED BY THE CONTRACTOR AND PROVIDE CONTRACTOR WITH ANY DESIGN CHANGES, IF REQUIRED.
3. STREET AND PARKING LOTS FINISHED SURFACE (FS) ELEVATIONS SHOWN ON PLAN ARE TO TOP OF PAVEMENT. CONTRACTOR SHALL UNDERCUT STREETS AND PARKING LOTS AS RECOMMENDED IN ACCORDANCE WITH THE APPROVED GEOTECHNICAL REPORT PREPARED BY LEIGHTON AND ASSOCIATES, DATED FEBRUARY 19, 2019.
4. CONTOURS SHOWN HEREON ARE APPROXIMATE, +/-, AND FOR INFORMATION ONLY.

GRADING, STORM DRAIN AND IMPROVEMENTS NOTE:

1. FOR ROUGH GRADING AND PRIVATE STORM DRAIN SEE CITY DWG NO. XXXXX
2. FOR STREET IMPROVEMENTS PLANS SEE DWG. NO. XXXXXX
3. FOR PRIVATE WET UTILITY PLAN SEE SHEET C3.0

PLAN VIEW

SCALE 1"=20'

EX. EASEMENTS

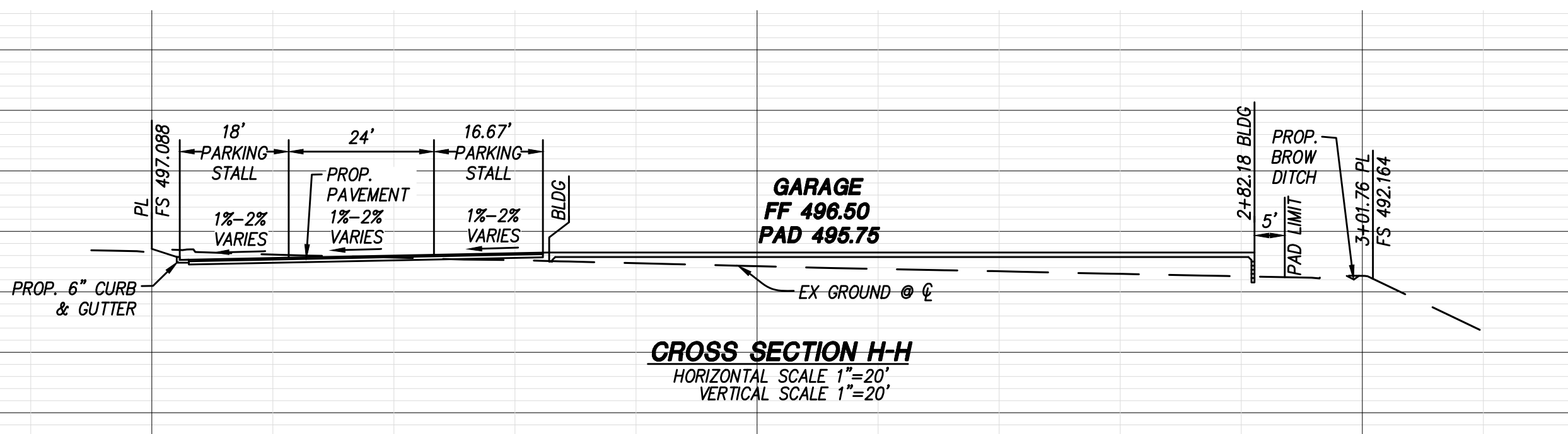
- 6 EXISTING PRIVATE ACCESS AND DRAINAGE EASEMENT TO CURRENT OWNERS AND/OR SUBSEQUENT OWNERS OR PURCHASES OF LOTS 1 THROUGH 12 INCLUSIVE, LOTS A, B, H, I, J, AND K AS SHOWN AND PARCEL 8 OF PACEL MAP 18349, PURSUANT TO SECTION 18.20150 OF THE CITY OF CHULA VISTA MUNICIPAL CODE RESERVED OR GRANTED ON MAP 13990, SAID EASEMENTS, SHALL BE SUBORDINATE TO ANY EXISTING EASEMENTS, ANY EASEMENTS GRANTED THEREON, AND ANY FUTURE GRANT OF EASEMENT TO THE CITY OF CHULA VISTA OR OTHER PUBLIC ENTITY.
- 0 EXISTING PRIVATE UTILITY AND ACCESS EASEMENT TO BE RESERVED FOR THE BENEFIT OF ALL ADJACENT AND ABUTTING PROPERTY TO SAID EASEMENT INCLUDING LOTS 5, 7-11 AND NOT A PART PARCEL LYING SOUTHERLY AND ADJACENT TO SAID LOTS 7-11. SHOWN AND DEDICATED ON THE MAP FILED OR RECORDED JUNE 27, 2000 AS OF MAP NO. 13990.
- 26 EXISTING EASEMENT FOR LANDSCAPE BUTTER, PRIVATE UTILITY, GENERAL UTILITY, ACCESS AND INCIDENTAL PURPOSES PER DEDICATED MAP NO. 13990, RECORDED JUNE 27, 2000 OF OFFICIAL RECORD.
- 30 EXISTING EASEMENT IN FAVOR OF OTAY WATER DISTRICT FOR UNDERGROUND WATER PIPELINES AND LATERALS, MAIN SEWER LINES, SEWER TRUNK LINES, COLLECTION LINES AND LATERALS, SEWER MANHOLES AND OTHER UNDERGROUND AND SURFACE STRUCTURES APPURTENANT TO SAID WATER AND SEWER LINES, INCLUDING BUT NOT LIMITED TO POWER LINES FOR TRANSMISSION AND COMMUNICATION PURPOSES, PUMPS, REGULATORS, VALVES AND ACCESS ROADS AND INCIDENTAL PURPOSES, RECORDED AUGUST 07, 2000 AS INSTRUMENT NO. 2000-0415948 OF OFFICIAL RECORDS.
- 31 EXISTING EASEMENT IN FAVOR OF OTAY PROJECT L.P., A CALIFORNIA LIMITED PARTERSHIP FOR LANDSCAPE MAINTENANCE, ACCESS AND INCIDENTAL PURPOSES, RECORDED SEPTEMBER 20, 2000 AS INSTRUMENT NO. 2000-0503692 OF OFFICIAL RECORDS.
- 32 EXISTING EASEMENT IN FAVOR OF SAN DIEGO GAS AND ELECTRIC FOR THE UNDERGROUND ELECTRIC FACILITIES, AND APPURTENANCES FOR THE TRANSMISSION AND DISTRIBUTION OF ELECTRICITY, UNDERGROUND COMMUNICATION FACILITIES, AND APPURTENANCES, TOGETHER WITH THE RIGHT OF INGRESS THERETO AND EGRESS AND INCIDENTAL PURPOSES, RECORDED NOVEMBER 15, 2000 AS INSTRUMENT NO. 2000-0621791 OF OFFICIAL RECORDS.
- 34 EXISTING EASEMENT FOR THE RIGHTS OF INGRESS AND EGRESS, FOR THE CONSTRUCTION AND MAINTENANCE OF LANDSCAPING, LIGHTING AND ACCESS AND INCIDENTAL PURPOSES, RECORDED OCTOBER 23, 2001 AS INSTRUMENT IN FAVOR OF OTAY RANCH ONE COMMUNITY ASSOCIATION, A CALIFORNIA NON PROFIT CORPORATION.

PROP. EASEMENTS

- 15.5 PROP. 15.5 WIDE WATER EASEMENT PER DOC. NO. XXXXXX. DATED XX/XX/XXXX.

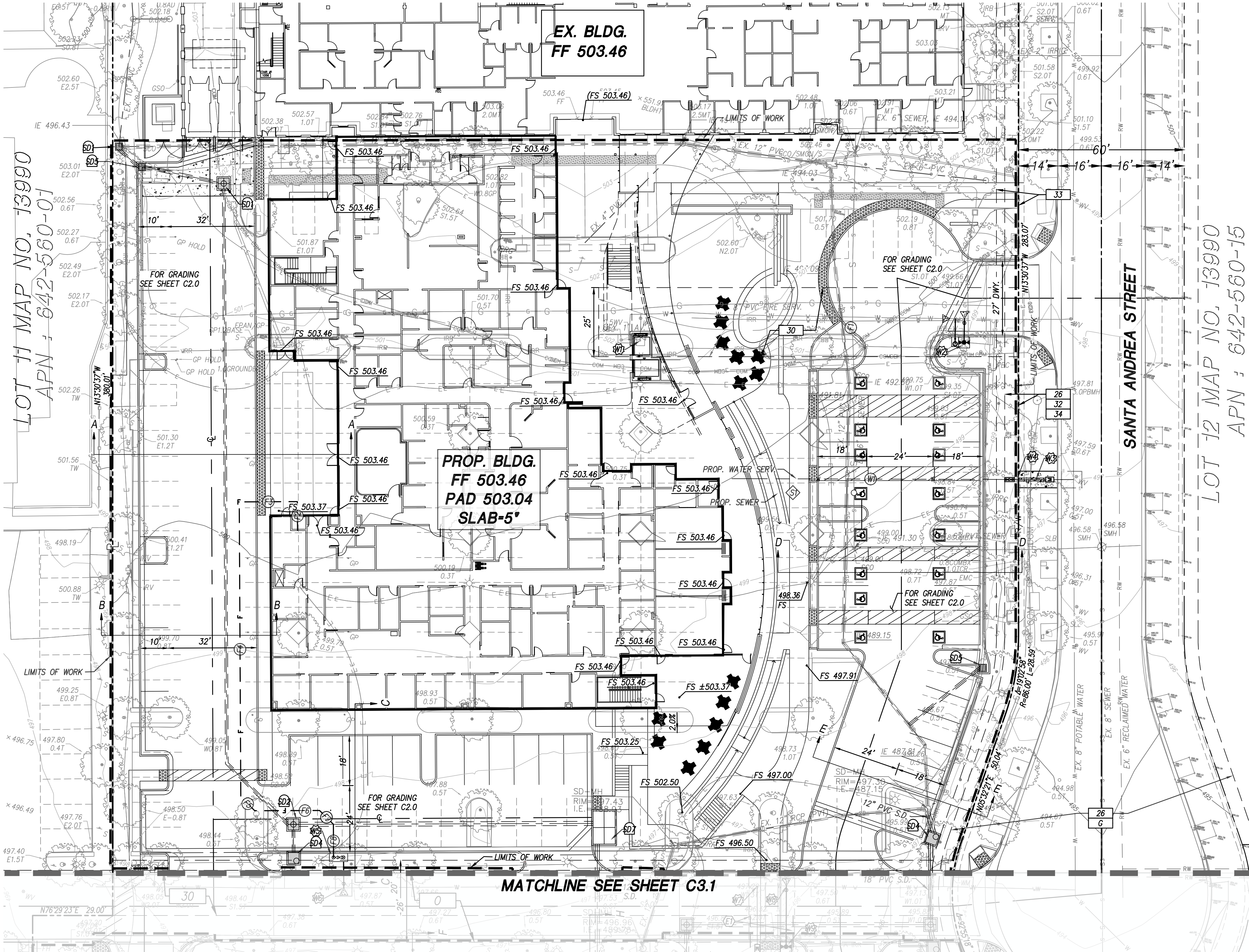
PROP. WATER

- 8" FOR PROP. 8" BACKFLOW PREVENTOR SEE OTAY WATER DISTRICT PROJECT NO. XXX-XXXXXX
- 8" FOR PROP. 8" FIRE SERVICE SEE OTAY WATER PROJECT NO. XXX-XXXXXX
- 2" FOR PROP 2" WATER SERVICE SEE OTAY WATER PROJECT NO. XXX-XXXXXX
- 6" FOR PROP 6" FIRE SERVICE SEE OTAY WATER PROJECT NO. XXX-XXXXXX
- 6" FOR PROP FIRE HYDRANT SEE OTAY WATER PROJECT NO. XXX-XXXXXX



NOTE:  
ALL PAVEMENT AND GUTTERS AT ADA PARKING SPACES AND ADJACENT LOADING ZONES TO SLOPE AT 1.5% MAXIMUM.





**PROP. STORM DRAIN**

- SD1 STORM DRAIN CLEANOUT (PVT)
- SD2 STORM DRAIN TYPE A-4 CO (PVT)
- SD3 STORM DRAIN CURB INLET (PVT)
- SD3 24'X24' CATCH BASIN BROOKS BOX (PVT.)
- SD1 MODULAR WETLAND SYSTEM MWS-LB-12-6'9"-C (PVT.) SEE CITY OF C.V. DWG NO XXXXX

**GRADING, STORM DRAIN AND IMPROVEMENTS NOTE:**

- FOR ROUGH GRADING AND PRIVATE STORM DRAIN SEE CITY DWG NO. XXXXX
- FOR STREET IMPROVEMENTS PLANS SEE DWG. NO. XXXXXX

**"DIG ALERT NOTICE"**

SECTION 4216/4217 OF THE GOVERNMENT CODE REQUIRES THAT DIG ALERT IDENTIFICATION NUMBER BE ISSUED BEFORE A "PERMIT TO EXCAVATE" WILL BE VALID. FOR YOUR DIG ALERT I.D. NUMBER, CALL UNDERGROUND SERVICE ALERT TOLL FREE 1-800-422-4133 AT LEAST TWO WORKING DAYS BEFORE YOU DIG.

**PLAN VIEW:**

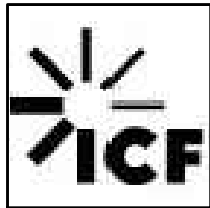
SCALE 1"=20'

**EX. EASEMENTS**

- 6 EXISTING PRIVATE ACCESS AND DRAINAGE EASEMENT TO CURRENT OWNERS AND/OR SUBSEQUENT OWNERS OR PURCHASES OF LOTS 1 THROUGH 12 INCLUSIVE, LOTS A, B, H, I, J, AND K AS SHOWN AND PARCEL 8 OF PACEL MAP 18349, PURSUANT TO SECTION 18.20150 OF THE CITY OF CHULA VISTA MUNICIPAL CODE. RESERVED OR GRANTED ON MAP 13990, SAID EASEMENTS, SHALL BE SUBORDINATE TO ANY EXISTING EASEMENTS, ANY EASEMENTS GRANTED THEREON, AND ANY FUTURE GRANT OF EASEMENT TO THE CITY OF CHULA VISTA OR OTHER PUBLIC ENTITY.
- 0 EXISTING PRIVATE UTILITY AND ACCESS EASEMENT TO BE RESERVED FOR THE BENEFIT OF ALL ADJACENT AND ABUTTING PROPERTY TO SAID EASEMENT INCLUDING LOTS 5, 7-11 AND NOT A PART PARCEL LYING SOUTHERLY AND ADJACENT TO SAID LOTS 7-11. SHOWN AND DEDICATED ON THE MAP FILED OR RECORDED JUNE 27, 2000 AS OF MAP NO. 13990.
- 26 EXISTING EASEMENT FOR LANSCAPE BUTTER, PRIVATE UTILITY, GENERAL UTILITY, ACCESS AND INCIDENTAL PURPOSES PER DEDICATED MAP NO. 13990, RECORDED JUNE 27, 2000 OF OFFICIAL RECORD.
- 30 EXISTING EASEMENT IN FAVOR OF OTAY WATER DISTRICT FOR UNDERGROUND WATER PIPELINES AND LATERALS, MAIN SEWER LINES, SEWER TRUNK LINES, COLLECTION LINES AND LATERALS, SEWER MANHOLES AND OTHER UNDERGROUND AND SURFACE STRUCTURES APPURTENANT TO SAID WATER AND SEWER LINES, INCLUDING BUT NOT LIMITED TO POWER LINES FOR TRANSMISSION AND COMMUNICATION PURPOSES, PUMPS, REGULATORS, VALVES AND ACCESS ROADS AND INCIDENTAL PURPOSES, RECORDED AUGUST 07, 2000 AS INSTRUMENT NO. 2000-0415948 OF OFFICIAL RECORDS.
- 32 EXISTING EASEMENT IN FAVOR OF SAN DIEGO GAS AND ELECTRIC FOR THE UNDERGROUND ELECTRIC FACILITIES, AND APPURTENANCES FOR THE TRANSMISSION AND DISTRIBUTION OF ELECTRICITY, UNDERGROUND COMMUNICATION FACILITIES, AND APPURTENANCES, TOGETHER WITH THE RIGHT OF INGRESS THERETO AND EGRESS AND INCIDENTAL PURPOSES, RECORDED NOVEMBER 15, 2000 AS INSTRUMENT NO. 2000-0621791 OF OFFICIAL RECORDS.
- 33 EXISTING EASEMENT FOR THE RIGHTS OF INGRESS AND EGRESS, PRIVATE LIGHTING, MAINTENANCE AND ACCESS AND INCIDENTAL PURPOSES, RECORDED OCTOBER 23, 2001 AS INSTRUMENT IN FAVOR OF OTAY RANCH ONE COMMUNITY ASSOCIATION, A CALIFORNIA NON PROFIT CORPORATION.
- 34 EXISTING EASEMENT FOR THE RIGHTS OF INGRESS AND EGRESS, FOR THE CONSTRUCTION AND MAINTENANCE OF LANDSCAPING, LIGHTING AND ACCESS AND INCIDENTAL PURPOSES, RECORDED OCTOBER 23, 2001 AS INSTRUMENT IN FAVOR OF OTAY RANCH ONE COMMUNITY ASSOCIATION, A CALIFORNIA NON PROFIT CORPORATION.

**PROP. EASEMENTS**

- 15.5 WIDE WATER EASEMENT PER DOC. NO. XXXXXX. DATED XX/XX/XXXX.



revision schedule

no.	date	description
-----	------	-------------

PRIVATE WATER DATA				
NO	BEARING/DELTA	RADIUS	LENGTH	NOTE
W1	N 76°38'51" E	--	100.98'	2" PVC

PRIVATE FIRE SERVICE DATA				
NO	BEARING/DELTA	RADIUS	LENGTH	NOTE
F1	N 12°35'27" W	--	7.66'	2" PVC
F2	N 13°47'56" W	--	10.43'	2" PVC
F3	N 76°12'04" E	--	21.05'	2" PVC
F4	N 13°48'34" W	--	106.77'	2" PVC
F5	N 58°29'24" W	--	7.13'	2" PVC
F6	N 76°18'15" E	--	23.49'	2" PVC
F7	N 58°41'45" W	--	7.07'	2" PVC
F8	N 13°41'45" W	--	12.00'	2" PVC
F9	N 58°41'45" W	--	7.07'	2" PVC

PRIVATE SEWER LATERAL DATA				
NO	BEARING/DELTA	RADIUS	LENGTH	NOTE
S1	N 76°38'51" E	--	44.20'	8" PVC

NOTE: ALL PRIVATE STORM DRAIN PER CITY OF CHULA VISTA DDWG. NO. XXXXXX



**KETTLER LEWECK**

ENGINEERING  
1620 FIFTH AVENUE, SUITE 675  
SAN DIEGO, CA 92101  
t: 619 269-3444 | f: 619 269-3459  
www.kettlerleweck.com

project

SHARP OTAY RANCH MOB

1400 E. PALOMAR STREET  
CHULA VISTA, CA 91913

date

2022.06.27

hgw project number

21.45

agency project number

ENVIRONMENTAL: IS21-0005  
DESIGN REVIEW: DR21-0029  
CONDITION USE: CUP21-0019

sheet description

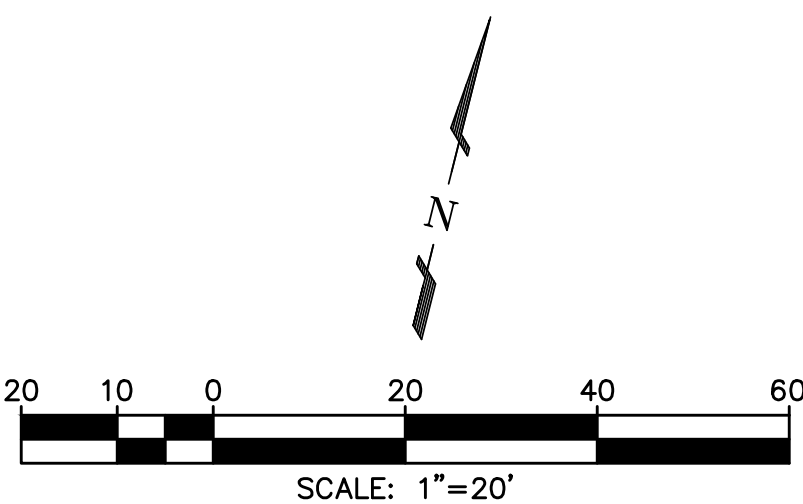
**STORM DRAIN  
AND UTILITIES PLAN**

sheet number

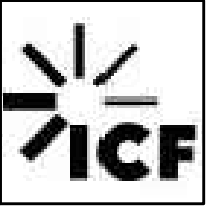
**C3.0**

project phase

CITY OF CHULA VISTA







no.	date	description
-----	------	-------------

no.	date	description
-----	------	-------------

KETTLER  LEWECK

**ENGINEERING**  
1620 FIFTH AVENUE, SUITE 675  
SAN DIEGO, CA 92101  
t: 619 269-3444 | f: 619 269-3459  
[www.kettlerleweck.com](http://www.kettlerleweck.com)

SHARP OTAY RANCH MOB

1400 E. PALOMAR STREET  
CHULA VISTA, CA 91913

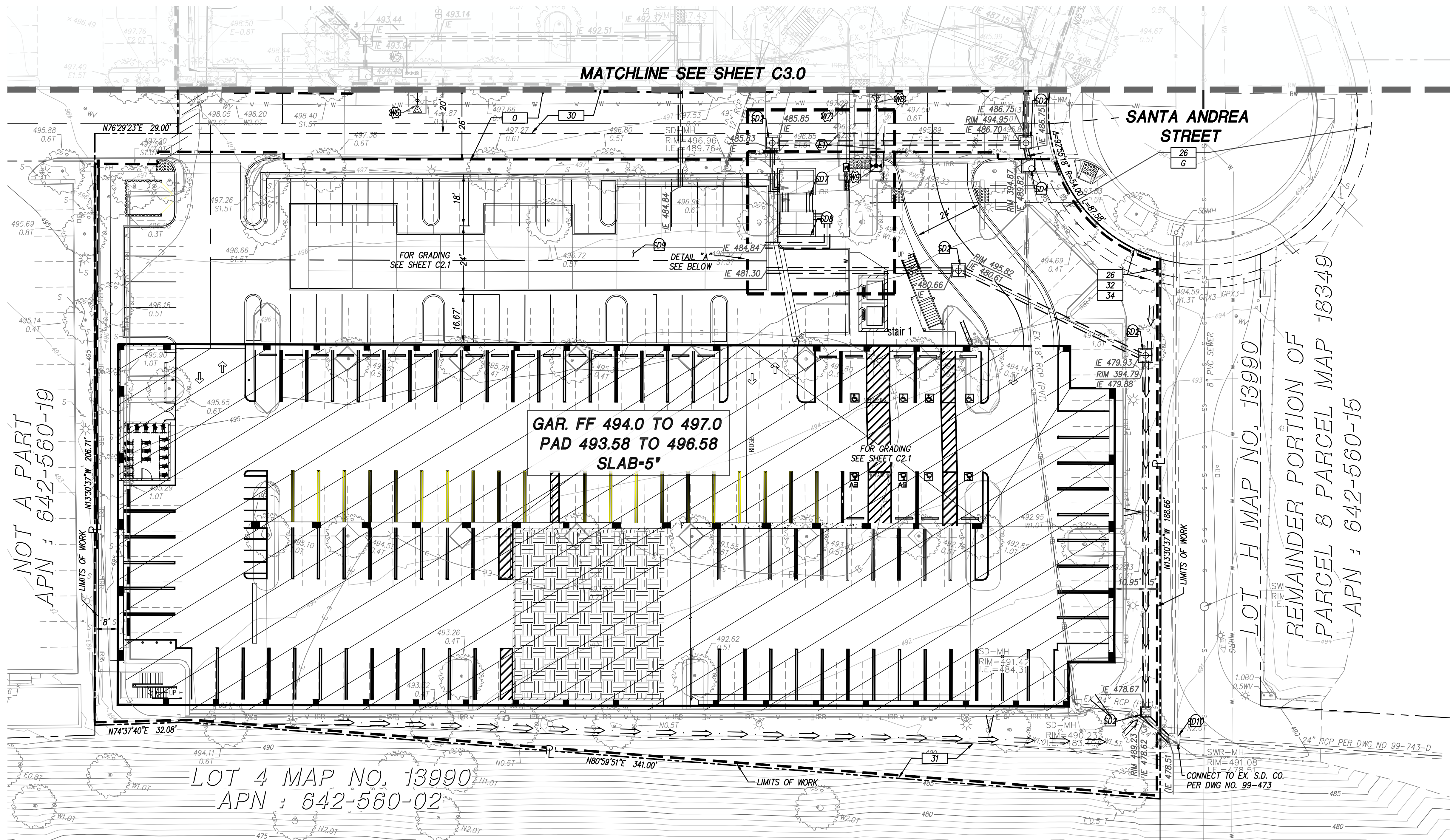
date 2022.06.27

agency project number ENVIRONMENTAL: IS21-0005  
DESIGN REVIEW: DR21-0029  
CONDITION USE: CUP21-0019

## STORM DRAIN AND UTILITIES PLAN

## C3.1

CITY OF CHULA VISTA



**PLAN VIEW.**  
SCALE 1"=20'

EX. EASEMENTS

6. EXISTING PRIVATE ACCESS AND DRAINAGE EASEMENT TO CURRENT OWNERS AND/OR SUBSEQUENT OWNERS OR PURCHASES OF LOTS 1 THROUGH 12 INCLUSIVE, LOTS A, B, H, I, J, AND K AS SHOWN AND PARCEL 8 OF PACEL MAP 18349, PURSUANT TO SECTION 18.20150 OF THE CITY OF CHULA VISTA MUNICIPAL CODE. RESERVED OR GRANTED ON MAP 13990. SAID EASEMENTS, SHALL BE SUBORDINATE TO ANY EXISTING EASEMENTS, ANY EASEMENTS GRANTED THEREON, AND ANY FUTURE GRANT OF EASEMENT TO THE CITY OF CHULA VISTA OR OTHER PUBLIC ENTITY.
0. EXISTING PRIVATE UTILITY AND ACCESS EASEMENT TO BE RESERVED FOR THE BENEFIT OF ALL ADJACENT AND ABUTTING PROPERTY TO SAID EASEMENT INCLUDING LOTS 5, 7-11 AND NOT A PART PARCEL LYING SOUTHERLY AND ADJACENT TO SAID LOTS 7-11. SHOWN AND DEDICATED ON THE MAP FILED OR RECORDED JUNE 27, 2000 AS OF MAP NO. 13990.
26. EXISTING EASEMENT FOR LANDSCAPE BUTTER, PRIVATE UTILITY , GENERAL UTILITY, ACCESS AND INCIDENTAL PURPOSES PER DEDICATED MAP NO. 13990, RECORDED JUNE 27, 2000 OF OFFICIAL RECORD.
30. EXISTING EASEMENT, IN FAVOR OF OTAY WATER DISTRICT FOR UNDERGROUND WATER PIPELINES AND LATERALS, MAIN SEWER LINES, SEWER TRUNK LINES, COLLECTION LINES AND LATERALS, SEWER MANHOLES AND OTHER UNDERGROUND AND SURFACE STRUCTURES APPURTENANT TO SAID WATER AND SEWER LINES, INCLUDING BUT NOT LIMITED TO POWER LINES FOR TRANSMISSION AND COMMUNICATION PURPOSES, PUMPS, REGULATORS, VALVES AND ACCESS ROADS AND INCIDENTAL PURPOSES, RECORDED AUGUST 07, 2000 AS INSTRUMENT NO. 2000-0415948 OF OFFICIAL RECORDS.
31. EXISTING EASEMENT IN FAVOR OF OTAY PROJECT L.P., A CALIFORNIA LIMITED PARTERSHIP FOR LANDSCAPE MAINTENANCE, ACCESS AND INCIDENTAL PURPOSES, RECORDED SEPTEMBER 20, 2000 AS INSTRUMENT NO. 2000-0503692 OF OFFICIAL RECORDS.
32. EXISTING EASEMENT IN FAVOR OF SAN DIEGO GAS AND ELECTRIC FOR THE UNDERGROUND ELECTRIC FACILITIES, AND APPURTENANCES FOR THE TRANSMISSION AND DISTRIBUTION OF ELECTRICITY, UNDERGROUND COMMUNICATION FACILITIES, AND APPURTENANCES, TOGETHER WITH THE RIGHT OF INGRESS THERETO AND EGRESS AND INCIDENTAL PURPOSES, RECORDED NOVEMBER 15, 2000 AS INSTRUMENT NO. 2000-0621791 OF OFFICIAL RECORDS.
34. EXISTING EASEMENT FOR THE RIGHTS OF INGRESS AND EGRESS, FOR THE CONSTRUCTION AND MAINTENANCE OF LANDSCAPING, LIGHTING AND ACCESS AND INCIDENTAL PURPOSES, RECORDED OCTOBER 23, 2001 AS INSTRUMENT IN FAVOR OF OTAY RANCH ONE COMMUNITY ASSOCIATION, A CALIFORNIA NON PROFIT CORPORATION.

PROP. EASEMENTS

PROPOSED EASEMENTS






(E1) PROP. 15.5 WIDE WATER EASEMENT PER DOC. NO. XXXXXX. DATED XX/XX/XXXX.

PRIVATE FIRE SERVICE DATA

(NO)	BEARING/DELTA	RADIUS	LENGTH	NOTE
F1	N 13°35'13" W	--	3.00'	8" PVC
F2	N 58°40'01" W	--	5.63'	8" PVC
F3	N 13°07'58" W	--	54.26'	8" PVC

NOTE: ALL PRIVATE STORM DRAIN PER CITY OF CHULA VISTA DDWG. NO. XXXXXX

PROP. WATER

 FOR PROP. 8" BACKFLOW PREVENTOR SEE OTAY WATER DISTRICT PROJECT NO. XXX-XXXXXX  
 FOR PROP. 8" FIRE SERVICE SEE OTAY WATER PROJECT NO. XXX-XXXXXX  
 FOR PROP 2" WATER SERVICE SEE OTAY WATER PROJECT NO. XXX-XXXXXX  
 FOR PROP 6" FIRE SERVICE SEE OTAY WATER PROJECT NO. XXX-XXXXXX  
 FOR PROP FIRE HYDRANT SEE OTAY WATER PROJECT NO. XXX-XXXXXX

PROP. STORM DRAIN

SD2 STORM DRAIN TYPE A-4 CO (PVT)

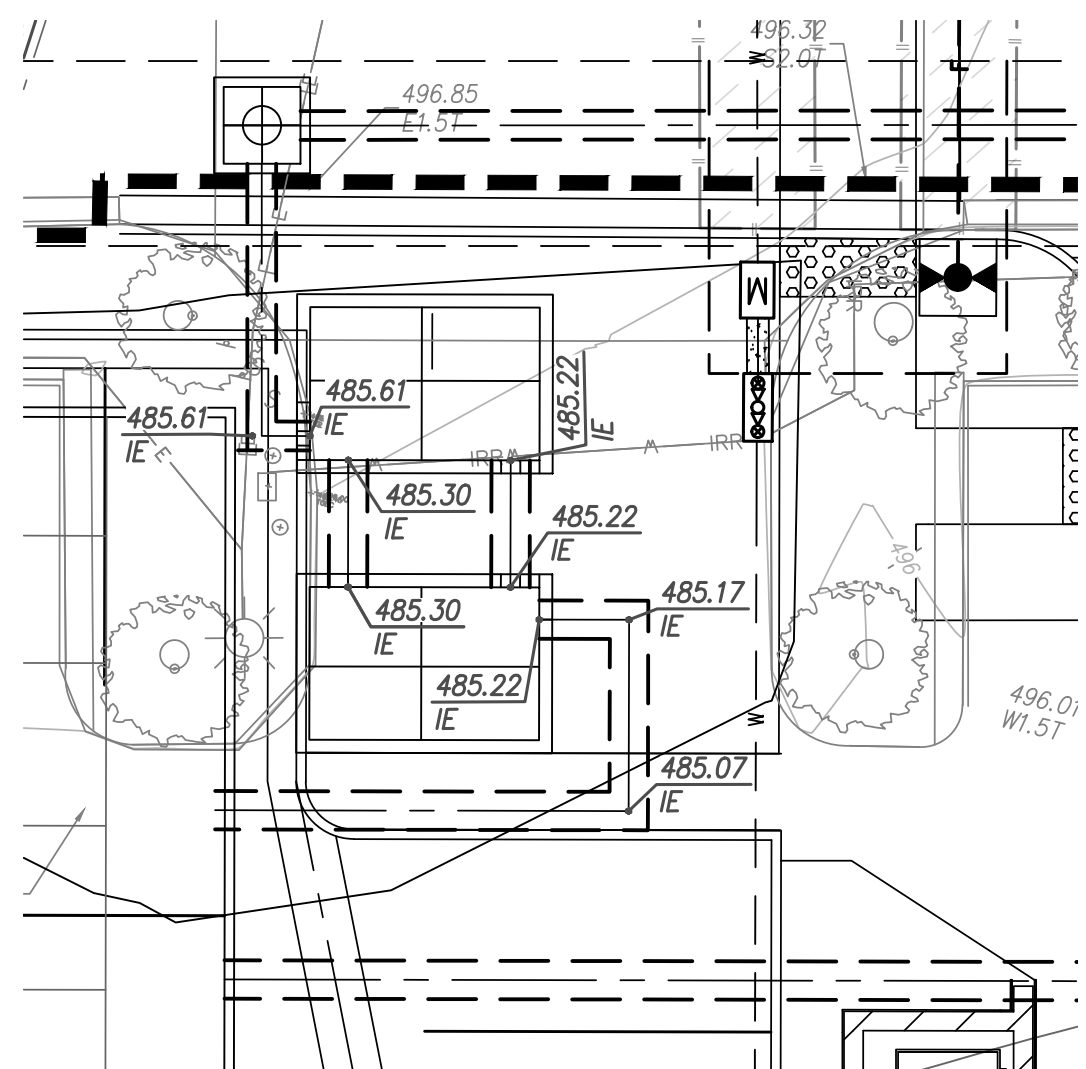
SD4 STORM DRAIN CURB INLET (PVT)

SD7 MODULAR WETLAND SYSTEM MWS-L8-12-6-9"-C (PVT.) SEE CITY OF C.V. DWG NO XXXXX

SD8 MODULAR WETLAND SYSTEM MWS-L-8-12-10"-2"-C-HC (PVT.) SEE CITY OF C.V. DWG NO XXXXX

SD9 MODULAR WETLAND SYSTEM MWS-L-8-12-5"-0"-V-UG-HC (PVT.) SEE CITY OF C.V. DWG NO XXXXX

SD10 EX. STORM DRAIN CLEANOUT PLER CITY DWG. NO. 99-743-D



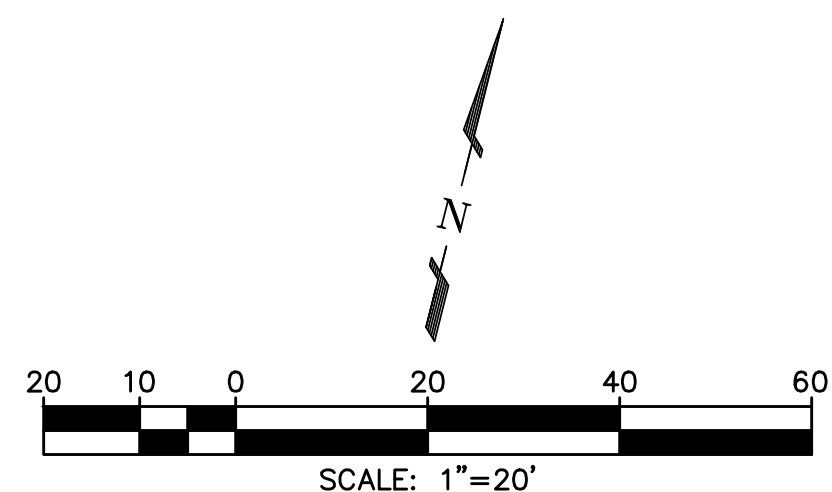
DETAIL "A"  
SCALE 1"=10'

**GRADING, STORM DRAIN AND IMPROVEMENTS NOTE:**

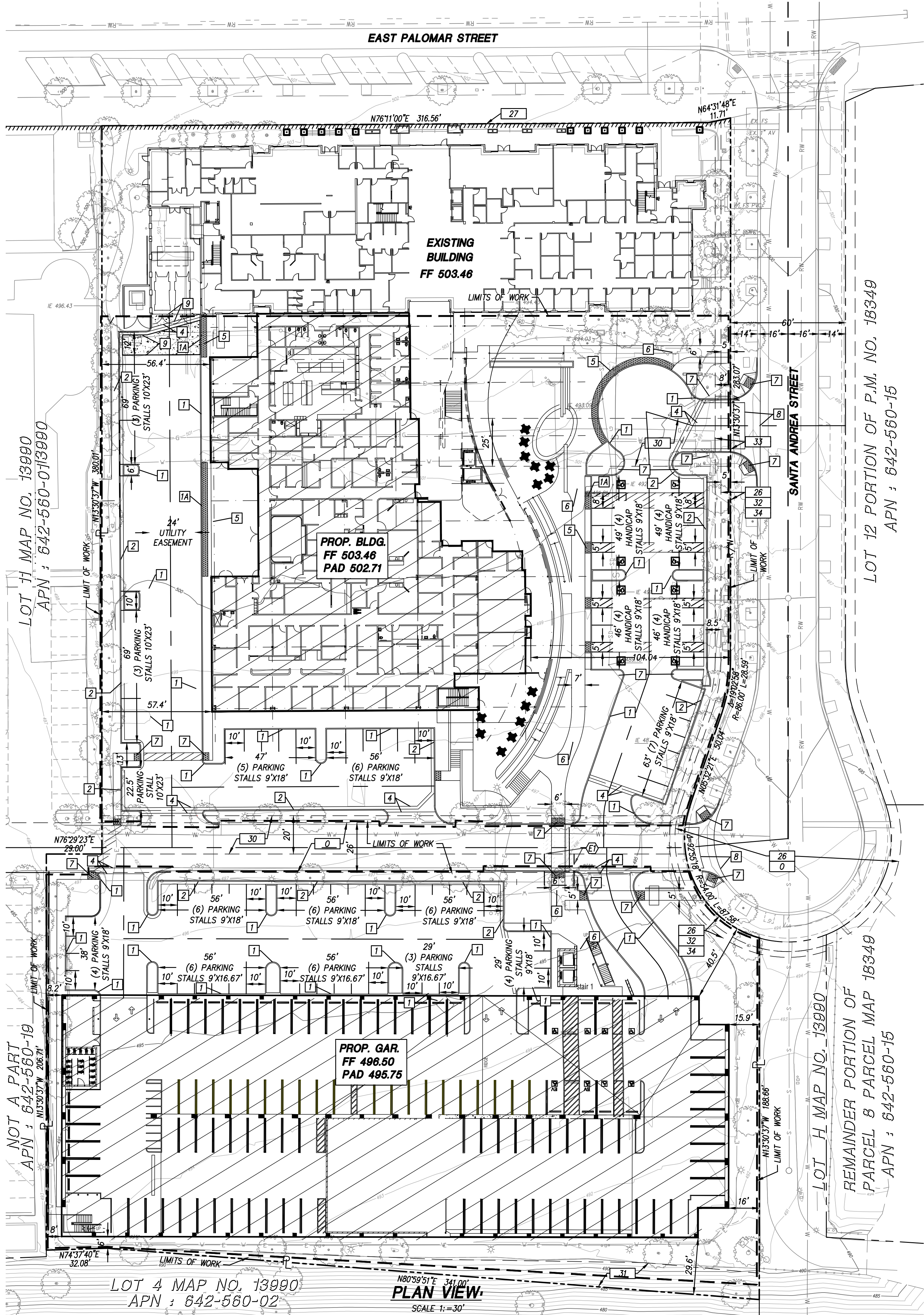
1. FOR ROUGH GRADING AND PRIVATE STORM DRAIN SEE CITY DWG NO. XXXXX  
2. FOR STREET IMPROVEMENTS PLANS SEE DWG. NO. XXXXXX

"DIG ALERT NOTICE"

**SECTION 4216/4217 OF THE GOVERNMENT CODE REQUIRES THAT DIG ALERT IDENTIFICATION NUMBER BE ISSUED BEFORE A "PERMIT TO EXCAVATE" WILL BE VALID. FOR YOUR DIG ALERT I.D. NUMBER, CALL UNDERGROUND SERVICE ALERT TOLL FREE 1-800-422-4133 AT LEAST TWO WORKING DAYS BEFORE YOU DIG.**







EX. EASEMENTS

- EXISTING PRIVATE UTILITY AND ACCESS EASEMENT TO BE RESERVED FOR THE BENEFIT OF ALL ADJACENT AND ABUTTING PROPERTY TO SAID EASEMENT INCLUDING LOTS 5, 7-11 AND NOT A PART PARCEL LYING SOUTHERLY AND ADJACENT TO SAID LOTS 7-11. SHOWN AND DEDICATED ON THE MAP FILED OR RECORDED JUNE 27, 2000 AS OF MAP NO. 13990.
- EXISTING EASEMENT FOR LANSCAPE BUTTER, PRIVATE UTILITY , GENERAL UTILITY, ACCESS AND INCENTAL PURPOSES PER DEDICATED MAP NO. 13990, RECORDED JUNE 27, 2000 OF OFFICIAL RECORD.
- ABUTTER'S RIGHT OF INGRESS AND EGRESS TO OR FROM EAST PALOMAR STREET HAVE BEEN DEDICATED OR RELINQUISHED ON THE MAP OF MAP NO. 13990 OF TRACT MAPS RECORDED JUNE 27, 2000.
- EXISTING EASEMENT IN FAVOR OF OTAY WATER DISTRICT FOR UNDERGROUND WATER PIPELINES AND LATERALS, MAIN SEWER LINES, SEWER TRUNK LINES, COLLECTION LINES AND LATERALS, SEWER MANHOLES AND OTHER UNDERGROUND AND SURFACE STRUCTURES APPURTENANT TO SAID WATER AND SEWER LINES, INCLUDING BUT NOT LIMITED TO POWER LINES FOR TRANSMISSION AND COMMUNICATION PURPOSES, PUMPS, REGULATORS, VALVES AND ACCESS ROADS AND INCIDENTAL PURPOSES, RECORDED AUGUST 07, 2000 AS INSTRUMENT NO. 2000-0415948 OF OFFICIAL RECORDS.
- EXISTING EASEMENT IN FAVOR OF OTAY PROJECT L.P., A CALIFORNIA LIMITED PARTERSHIP FOR LANDSCAPE MAINTENANCE, ACCESS AND INCIDENTAL PURPOSES, RECORDED SEPTEMBER 20, 2000 AS INSTRUMENT NO. 2000-0503692 OF OFFICIAL RECORDS.
- EXISTING EASEMENT IN FAVOR OF SAN DIEGO GAS AND ELECTRIC FOR THE UNDERGROUND ELECTRIC FACILITIES, AND APPURTENANCES FOR THE TRANSMISSION AND DISTRIBUTION OF ELECTRICITY, UNDERGROUND COMMUNICATION FACILITIES, AND APPURTENANCES, TOGETHER WITH THE RIGHT OF INGRESS THERETO AND EGRESS AND INCIDENTAL PURPOSES, RECORDED NOVEMBER 15, 2000 AS INSTRUMENT NO. 2000-0621791 OF OFFICIAL RECORDS.
- EXISTING EASEMENT FOR THE RIGHTS OF INGRESS AND EGRESS, PRIVATE LIGHTING, MAINTENANCE AND ACCESS AND INCEDENTAL PURPOSES, RECORDED OCTOBER 23, 2001 AS INSTRUMENT IN FAVOR OF OTAY RANCH ONE COMMUNITY ASSOCIATION, A CALIFORNIA NON PROFIT CORPORATION.
- EXISTING EASEMENT FOR THE RIGHTS OF INGRESS AND EGRESS, FOR THE CONSTRUCTION AND MAINTENANCE OF LANDSCAPING, LIGHTING AND ACCESS AND INCEDENTAL PURPOSES, RECORDED OCTOBER 23, 2001 AS INSTRUMENT IN FAVOR OF OTAY RANCH ONE COMMUNITY ASSOCIATION, A CALIFORNIA NON PROFIT CORPORATION.

PROP. EASEMENTS

- PROP. 15.5 WIDE WATER EASEMENT PER DOC. NO. XXXXXX. DATED XX/XX/XXXX.

LEGEND

PROPERTY BOUNDARY

DIAGONAL STRIPE (NO PARKING) PER SDRSD M-27A

6" CURB (PVT) PER SDRSD G-1

6" CURB AND GUTTER (PVT) PER SDRSD G-2

PROP 4" PARKING STALL STRIPING (PVT)  
(19-LF MIN. UNLESS OTHERWISE NOTED)

PLANTED AREA (PVT) PER LANDSCAPE PLAN

RETAINING WALL PER QTY DWG NO. XXXXXX

PAVEMENT SECTIONS

WALKWAYS

ENHANCED WALKWAYS. SEE LANDSCAPE PLANS FOR DETAILS. WALKWAYS SHALL BE 4" PCC REINFORCED RECOMMENDATION OF SOILS ENGINEER

PARKING STALLS

PARKING (PVT) PER LANDSCAPE PLAN

FIRE TRUCK ACCESS/DRIVE AISLE

FIRE ACCESS PAVEMENT SECTION PER SOILS ENGINEER RECOMMENDATION (4" AC OVER 11" CL. II AGGREGATE BASE)

PROP. SURFACE IMPROVEMENTS

- PROP. 6 " CURB (PVT.)
- PROP. 0" CURB (PVT.)
- PROP. 6" CURB AND GUTTER (PVT.)
- PROP. 3" RIBBON GUTTER (PVT.)
- PROP. TRUNCATED DOMES (PVT) PER CVSD GSI-08
- PROP SIDEWALK/WALKWAY (PVT.) PER LANDSCAPE PLAN
- PROP. CURB RAMP WITH TRUNCATED DOME (PVT.) PER CVSD GSI-08
- PROP. 8" CROSS GUTTER PER CVSD GSI-02
- CONCRETE PAVEMENT
- INCREASE THE TURN BAY STORAGE FOR THE LEFT TURN TO 250' (CONSISTENT WITH CVSD RWY-04)

"DIG ALERT NOTICE"

SECTION 4216/4217 OF THE GOVERNMENT CODE REQUIRES THAT DIG ALERT IDENTIFICATION NUMBER BE ISSUED BEFORE A "PERMIT TO EXCAVATE" WILL BE VALID. FOR YOUR DIG ALERT I.D. NUMBER, CALL UNDERGROUND SERVICE ALERT TOLL FREE 1-800-422-4133 AT LEAST TWO WORKING DAYS BEFORE YOU DIG.

hanna gabriel wells

1955 bacon street  
san diego, ca 92107  
t: 619.523.8485  
f: 619.523.8487  
www.architects-hgw.com



revision schedule

no.	date	description
-----	------	-------------



KETTLER LEWECK

ENGINEERING  
1620 FIFTH AVENUE, SUITE 675  
SAN DIEGO, CA 92101  
t: 619 269-3444 | f: 619 269-3459  
www.kettlerleweck.com

project

SHARP OTAY RANCH MOB

1400 E. PALOMAR STREET  
CHULA VISTA, CA 91913

date

2022.06.27

hgw project number

21.45

agency project number

ENVIRONMENTAL: IS21-0005  
DESIGN REVIEW: DR21-0029  
CONDITION USE: CUP21-0019

sheet description

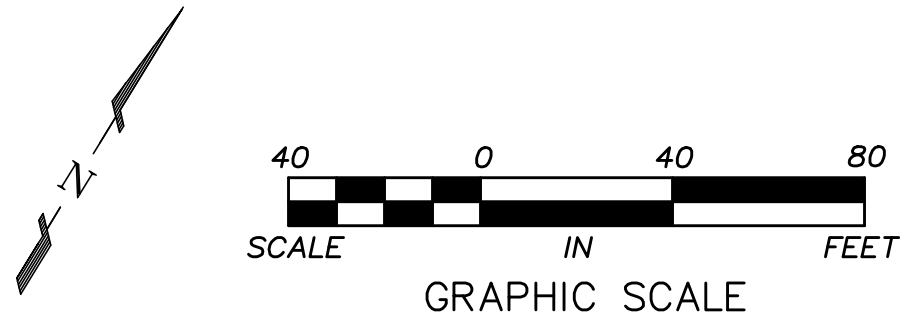
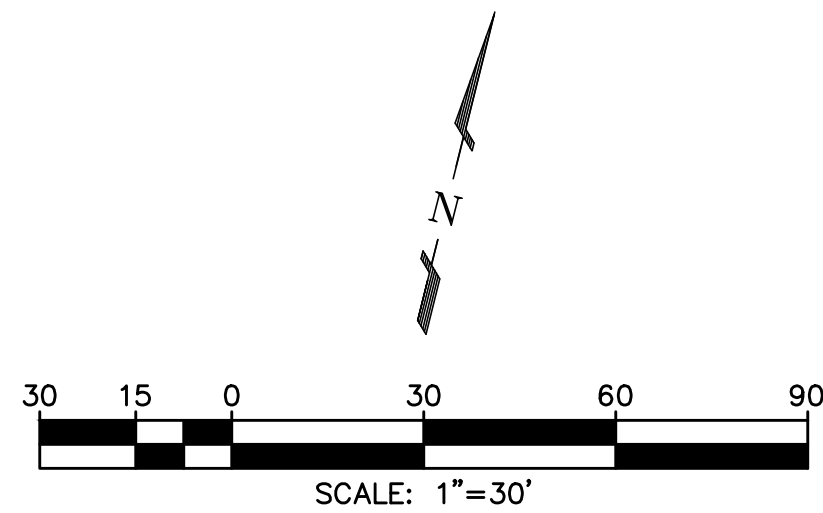
HORIZONTAL CONTROL/SURFACE  
IMPROVEMENTS PLAN

sheet number

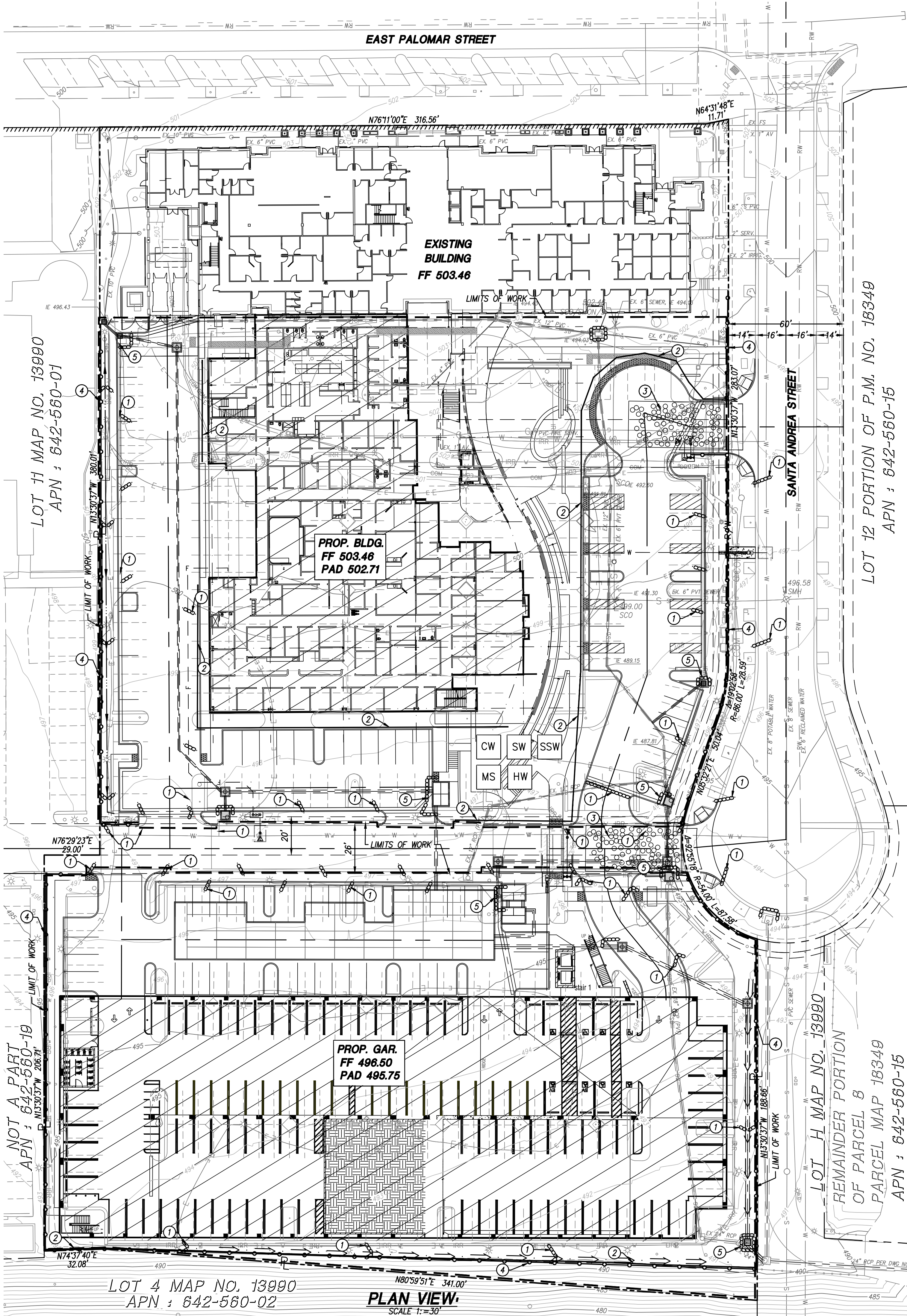
C4.0

project phase

CITY OF CHULA VISTA







### STORMWATER POLLUTION CONTROL BMP NOTES RELATIVE TO CONSTRUCTION ACTIVITIES

**CONCRETE WASHOUT**  
CONTRACTOR SHALL ESTABLISH AND USE AN ADEQUATELY SIZED CONCRETE WASHOUT AREA TO CONTAIN WASHOUT WASTES ON SITE. IT IS ILLEGAL TO WASH CONCRETE, SLURRY, MORTAR, STUCCO, PLASTER AND THE LIKE INTO THE STORMWATER CONVEYANCE SYSTEM OR ANY RECEIVING WATER. CONTRACTOR SHALL POST A SIGN DESIGNATING THE WASHOUT LOCATION. CONCRETE WASHOUT LOCATION TO BE PLACED IN AN AREA NOT DESIGNATED FOR FUTURE PLANTING/LANDSCAPING AREA.

**CONSTRUCTION SITE ACCESS**  
A STABILIZED CONSTRUCTION SITE ACCESS SHALL BE PROVIDED FOR VEHICLES EGRESS AND INGRESS TO PREVENT TRACKING DIRT OFF SITE. THIS SHALL INCLUDE USING MATERIAL SUCH AS 3" CRUSHED ROCK AND/OR CORRUGATED STEEL PANELS/PLATES.

**CONSTRUCTION VEHICLES**  
A SPECIFIC AREA AWAY FROM GUTTERS AND STORM DRAIN SHALL BE DESIGNATED FOR CONSTRUCTION VEHICLES PARKING, VEHICLE REFUELING, AND ROUTINE EQUIPMENT MAINTENANCE. ALL MAJOR REPAIRS SHALL BE MADE OFF-SITE.

**EROSION CONTROL**  
EROSION CONTROL MUST BE PROVIDED FOR ALL EROSION SURFACES. SLOPED SURFACES ESPECIALLY SHALL BE PROTECTED AGAINST EROSION BY INSTALLING EROSION RESISTANT SURFACES SUCH AS EROSION CONTROL MATS, ADEQUATE GROUND COVER VEGETATION, AND BONDED FIBER MATRIX.

NO EXCAVATION AND GRADING ACTIVITIES ARE ALLOWED DURING WET WEATHER.

DIVERSION DIKES SHALL BE CONSTRUCTED TO CHANNEL RUNOFF AROUND THE CONSTRUCTION SITE. CONTRACTOR SHALL PROTECT CHANNELS AGAINST EROSION USING PERMANENT AND TEMPORARY EROSION CONTROL MEASURES.

REMOVE EXISTING VEGETATION ONLY WHEN ABSOLUTELY NECESSARY. LARGE PROJECTS SHALL BE CONDUCTED IN PHASES TO AVOID UNNECESSARY REMOVAL OF THE NATURAL GROUND COVER. DO NOT REMOVE TREES OR SHRUBS UNNECESSARILY; THEY HELP DECREASE EROSION.

TEMPORARY VEGETATION MUST BE PLANTED ON SLOPES OR WHERE CONSTRUCTION IS NOT IMMEDIATELY PLANNED FOR EROSION CONTROL PURPOSES. EROSION SHALL BE PREVENTED BY PLANTING FAST-GROWING ANNUAL AND PERENNIAL GRASSES TO SHIELD AND BIND THE SOIL.

PLANT PERMANENT VEGETATION AS SOON AS POSSIBLE, ONCE EXCAVATION AND GRADING ACTIVITIES ARE COMPLETE.

WATER USAGE FOR DUST CONTROL SHALL BE MINIMIZED.

**ON-SITE CONSTRUCTION MATERIAL STORAGE**  
STORED MATERIALS SHALL BE CONTAINED IN A SECURE PLACE TO PREVENT SEEPAGE AND SPILLAGE. CONTRACTOR SHALL STORE THESE PRODUCTS WHERE THEY WILL STAY DRY OUT OF THE RAIN. CONTRACTOR SHALL PROVIDE SECONDARY CONTAINMENT FOR ALL FUEL STORED ON-SITE. ELIMINATE OR REDUCE POLLUTION OF STORMWATER FROM STOCKPILES KEPT ON-SITE. STOCKPILES MAY INCLUDE SOIL, PAVING MATERIALS, ASPHALT CONCRETE, AGGREGATE BASE, ETC. STOCKPILES SHALL BE LOCATED AWAY FROM CONCENTRATED STORMWATER STORMWATER FLOWS AND STORM DRAIN INLETS. STOCKPILES SHALL BE COVERED OR PROTECTED WITH SOIL STABILIZATION MEASURES AND PROVIDED WITH A TEMPORARY SEDIMENT BARRIER AROUND THE PERIMETER AT ALL TIMES.

**TRAINING**  
CONTRACTORS' EMPLOYEES WHO PERFORM CONSTRUCTION IN THE CITY OF CHULA VISTA SHALL BE TRAINED TO BE FAMILIAR WITH THE CITY OF CHULA VISTA STORMWATER POLLUTION CONTROL REQUIREMENTS. THESE BMP NOTES SHALL BE AVAILABLE TO EVERYONE WORKING ON SITE. THE PROPERTY OWNER(S) AND THE PRIME CONTRACTOR MUST INFORM SUBCONTRACTORS ABOUT STORMWATER REQUIREMENTS AND THEIR OWN RESPONSIBILITIES.

**WASTE MANAGEMENT**  
CONTRACTOR SHALL BE RESPONSIBLE FOR PROPERLY DISPOSING OF ALL WASTE AND UNUSED CONSTRUCTION MATERIALS. DUMPING OF UNUSED OR WASTE PRODUCTS ON THE GROUND, WHERE WATER CAN CARRY THEM INTO THE CONVEYANCE SYSTEM IS STRICTLY PROHIBITED.

NO SEEPAGE FROM ANY DUMPSTER SHALL BE DISCHARGED INTO STORMWATER. BERMS/DIKES SHALL BE PLACED AROUND ALL DUMPSTERS TO DIVERT THE NATURAL STORM RUNOFF. DUMPSTERS SHALL BE CHECKED FREQUENTLY FOR LEAKS. DUMPSTER LIDS SHALL REMAIN CLOSED AT ALL TIMES. DUMPSTERS WITHOUT LIDS SHALL BE PLACED WITHIN STRUCTURES WITH IMPERVIOUS ROOFING OR COVERED WITH TARPS IN ORDER TO AVOID RAIN CONTACT WITH ANY TRASH MATERIAL.

MANY CONSTRUCTION MATERIALS, INCLUDING SOLVENTS, WATER-BASED PAINTS, VEHICLE FLUIDS, BROKEN ASPHALT AND CONCRETE, WOOD, AND CLEARED VEGETATION CAN BE RECYCLED. NON-RECYCLABLE MATERIALS MUST BE TAKEN TO AN APPROPRIATE LANDFILL OR DISPOSED OF AS HAZARDOUS WASTE. FOR INFORMATION ON DISPOSAL OF HAZARDOUS MATERIAL, CALL THE HAZARDOUS WASTE HOTLINE TOLL FREE AT (800) 714-1195. FOR INFORMATION ON LANDFILLS AND TO ORDER DUMPSTERS CALL EDCO AT (760) 436-4151.

POLLUTANTS SHALL BE KEPT OFF EXPOSED SURFACES. PLACE TRASH CANS AND RECYCLING RECEPTACLES AROUND THE SITE.

PORTABLE TOILETS MUST BE IN GOOD WORKING ORDER AND CHECKED FREQUENTLY FOR LEAKS. CONTRACTOR SHALL PROVIDE SECONDARY CONTAINMENT AND LOCATE PORTABLE TOILETS AWAY FROM STORMDRAIN INLETS ON PERVIOUS SURFACES.

ALL CONSTRUCTION DEBRIS SHALL BE KEPT AWAY FROM THE STREET, GUTTER, AND STORMDRAIN. CONTRACTOR MUST ROUTINELY CHECK AND CLEAN UP MATERIAL THAT MAY HAVE TRAVELED AWAY FROM CONSTRUCTION SITE.

### STORMWATER POLLUTION CONTROL POST CONSTRUCTION BMP NOTES

1. FOR STORM WATER POLLUTION CONTROL PURPOSES, ALL RUNOFF FROM ALL IMPERVIOUS SURFACES INCLUDING ROOF DRAINS SHALL DISCHARGE ONTO GRASS AND LANDSCAPE AREAS PRIOR TO COLLECTION AND DISCHARGE ONTO THE STREET AND/OR INTO THE PUBLIC STORM DRAIN SYSTEM.
2. GRASS AND LANDSCAPE AREAS DESIGNATED FOR STORM WATER POLLUTION CONTROL SHALL NOT BE MODIFIED WITHOUT APPROVAL OF THE DSA INSPECTOR.
3. ALL IMPERVIOUS AREAS WITHIN THE SITE SHALL DRAIN TO APPROVED BMP/IMP FACILITIES AND/OR TO TURF OR LANDSCAPED AREAS WITH ADEQUATE GROUNDCOVER PRIOR TO DISCHARGE FROM THE SITE. ALL IMPERVIOUS AREAS MUST SLOPE TOWARD THE APPROVED BMP/IMP FACILITY AND/OR THE TURF/LANDSCAPED AREAS.
4. NO DRAINS SHALL BE INSTALLED IN HARDSCAPE, DRIVEWAYS, OR ANY OTHER IMPERVIOUS AREA UNLESS THE FLOW FROM THE DRAIN DISCHARGES TO AN ADEQUATE IMP/BMP.
5. DRIVEWAYS SHALL HAVE A MINIMUM 2% CROSS SLOPE TOWARD THE IMP/BMP AREA OR HAVE ANOTHER APPROVED DRAINAGE SYSTEM THAT IS DESIGNED TO COLLECT RUNOFF AND DISCHARGE IT TO AN ADEQUATE IMP/BMP.
6. ALL STORMWATER IMP/BMP FACILITIES SHOWN HEREON SHALL NOT BE MODIFIED OR ALTERED WITHOUT APPROVAL OF THE DSA INSPECTOR.
7. THE INSTALLATION OF ADDITIONAL IMPERVIOUS SURFACES NOT SHOWN ON THIS PLAN MAY REQUIRE THAT THIS PLAN BE REVISED OR THAT A SEPARATE ENGINEERING PERMIT BE OBTAINED.
8. ALL EXISTING AND PROPOSED TRASH ENCLOSURES SHALL BE FITTED TO COMPLY WITH STORM WATER BEST MANAGEMENT PRACTICE REQUIREMENTS. THE TRASH ENCLOSURES SHALL HAVE AN IMPERVIOUS, NON-COMBUSTIBLE ROOF THAT WILL NOT ALLOW RAIN WATER TO ENTER THE ENCLOSURE. THE ENCLOSURE SHALL BE LOCKABLE AND LOCKED WHEN NOT IN USE. A BERM SHALL BE INSTALLED AT ALL OPENINGS TO HOLD IN ANY LIQUIDS THAT ESCAPE FROM THE DUMPSTER AND TO PREVENT ANY FLOW OF STORM WATER THROUGH THE TRASH ENCLOSURE AREA. THE BERM CAN BE CONSTRUCTED WIDE AND FLAT TO ALLOW ROLLING OF THE DUMPSTER IN AND OUT. THE ENCLOSURE SHALL BE SELF CONTAINED OR MAY HAVE A DRAIN THAT DISCHARGES THROUGH AN ADEQUATELY SIZED OIL/ GREASE SEPARATOR AND IS THEN FILTERED THROUGH A CITY-APPROVED HYDROCARBON FILTER AND DISCHARGED INTO THE PUBLIC SANITARY SEWER SYSTEM, NOT TO PLANTERS OR THE STORM DRAIN SYSTEM. A SEPARATE BUILDING PERMIT MAY BE REQUIRED FOR THIS STRUCTURE.

### LEGEND

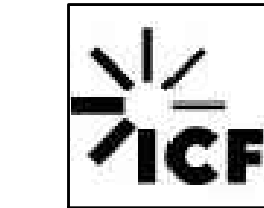
ITEM	SYMBOL
PROJECT BOUNDARY AND OR RIGHT OF WAY	.....
EXISTING RIGHT-OF-WAY	.....
DRAINAGE FLOW	.....
STABILIZED CONSTRUCTION ENTRANCE	.....
TEMPORARY SILT FENCE	.....
TEMPORARY FIBER FOLL	.....
TEMPORARY INLET PROTECTION	.....
TEMPORARY GRAVEL BAGS	.....
CONCRETE WASTE STORAGE (CW)	CW
SOLID WASTE STORAGE (SW)	SW
SANITARY SEWER WASTE STORAGE (SSW)	SSW
MATERIAL STORAGE (MS)	MS
HAZARDOUS WASTE (SSW)	HW

### PROP CONSTRUCTION NOTES (PVT. EROSION CONTROL)

- ① INSTALL GRAVEL BAGS (SEE DETAIL IN SHEET C5.1)
- ② INSTALL FIBER ROLL (SEE DETAIL IN SHEET C5.1)
- ③ CONSTRUCTION STABILIZATION ENTRANCE/EXIT (SEE DETAIL IN SHEET C5.1)
- ④ INSTALL SILT FENCE (SEE DETAIL IN SHEET C5.1)
- ⑤ INSTALL INLET PROTECTION (SEE DETAIL IN SHEET C5.1)

### ARCHITECTS

hanna gabriel wells



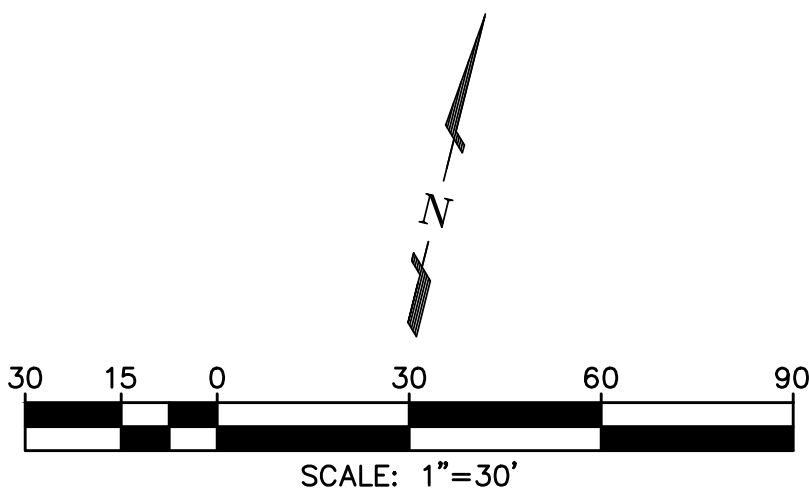
no.	date	description
-----	------	-------------



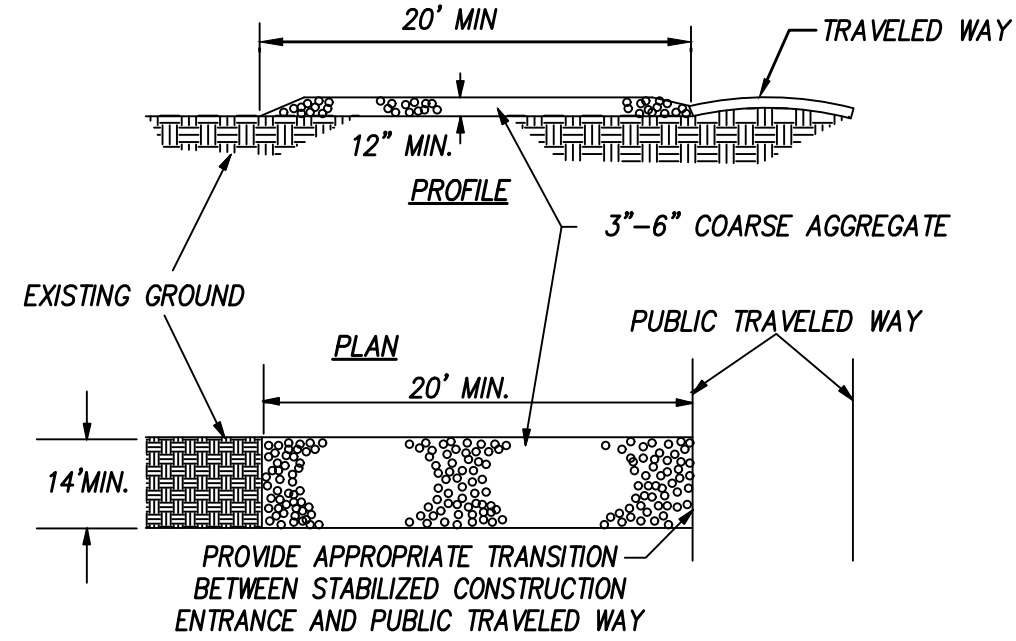
KETTLER LEWECK

ENGINEERING  
1620 FIFTH AVENUE, SUITE 675  
SAN DIEGO, CA 92101  
t: 619 269-3444 | f: 619 269-3459  
www.kettlerleweck.com

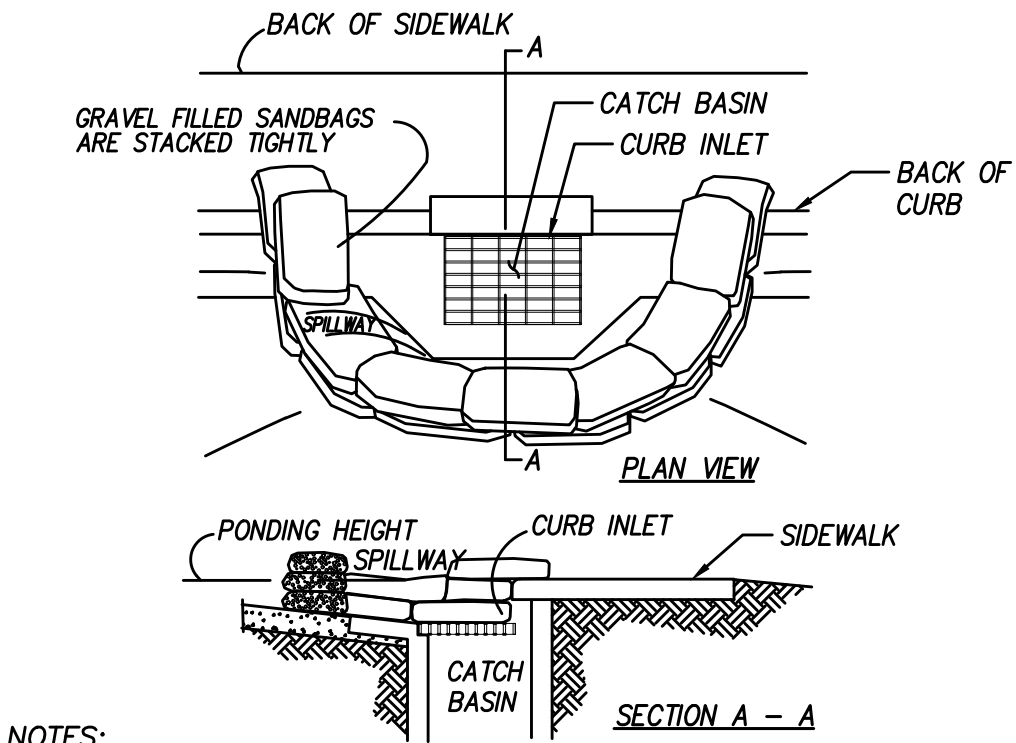
project	SHARP OTAY RANCH MOB
date	2022.06.27
hgw project number	21.45
agency project number	ENVIRONMENTAL: IS21-0005 DESIGN REVIEW: DR21-0029 CONDITION USE: CUP21-0019
sheet description	EROSION CONTROL PLAN
sheet number	C5.0
project phase	CITY OF CHULA VISTA



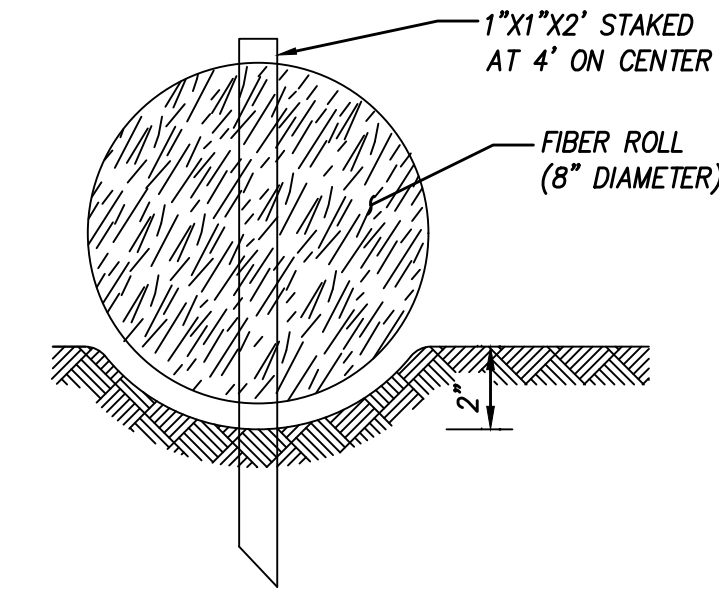




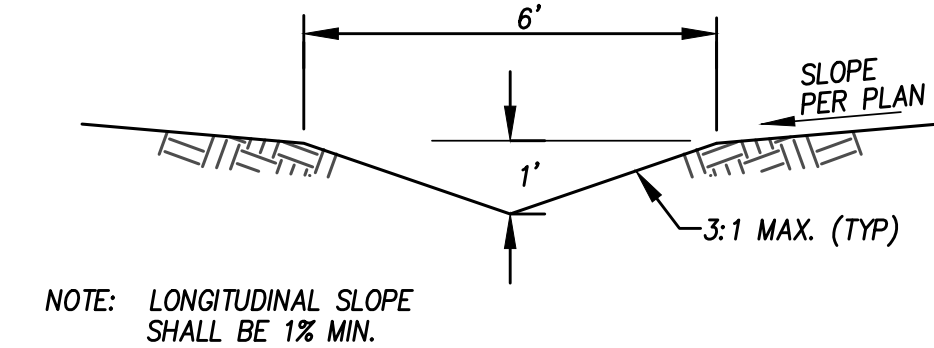
STABILIZED CONSTRUCTION ENTRANCE  
NTS



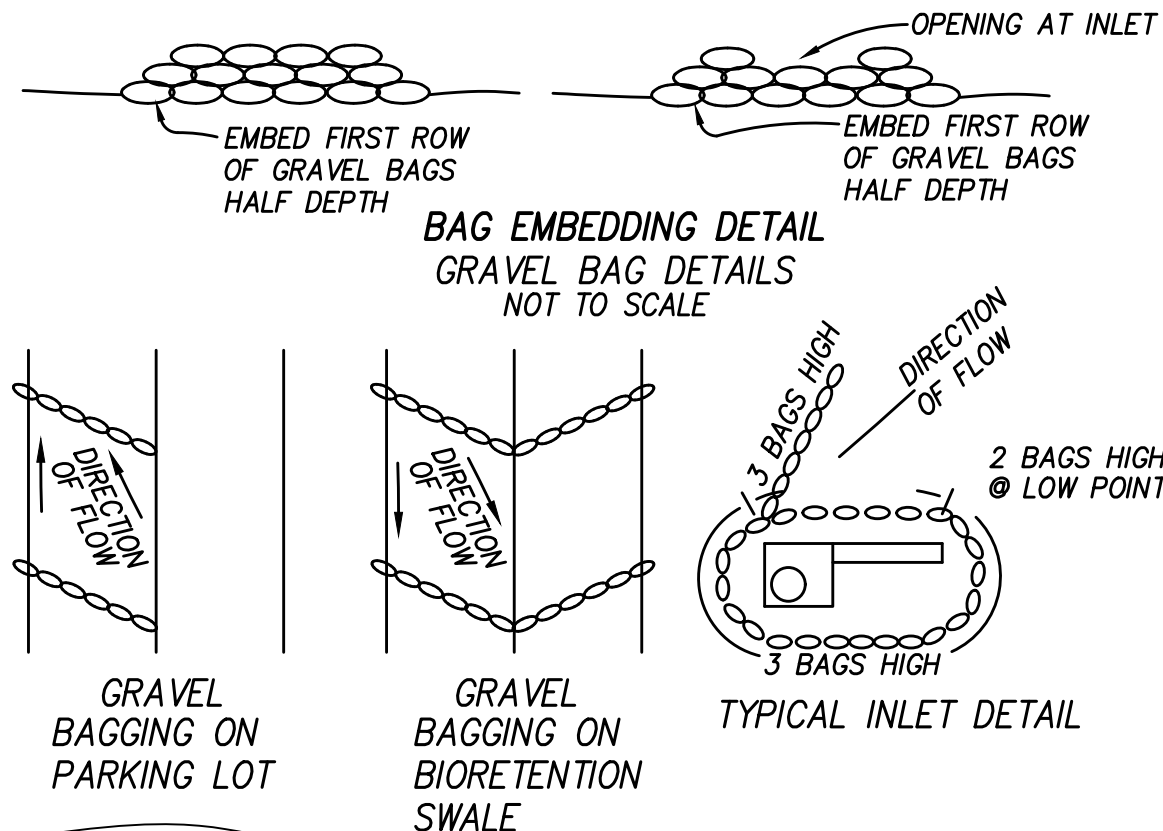
GRAVEL BAG INLET PROTECTION  
NTS



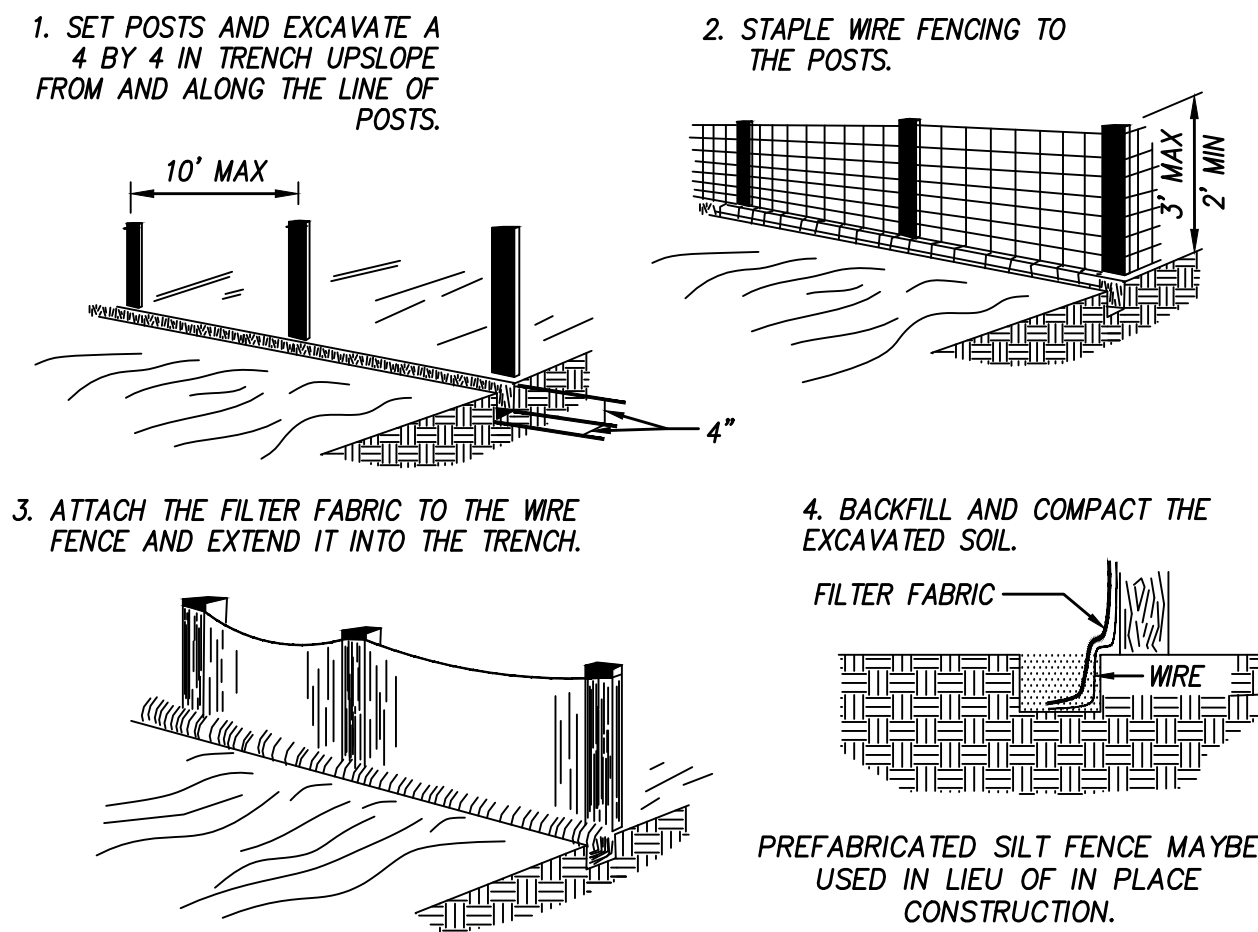
FIBER ROLL  
NTS



EARTHEN SWALE DETAIL (PVT)  
NTS



GRAVEL BAGS  
NTS



SILT FENCE  
NTS

## HYDROSEED APPLICATION PROCEDURES:

- SEED MIXES SHALL BE SPECIFIED BY THE PURE LIVE SEED OF EACH SPECIES.
- FIBER MULCH SHALL BE APPLIED AT A MINIMUM RATE OF 2,000 POUNDS PER ACRE EXCEPT WHEN USED IN CONJUNCTION WITH STRAW MULCH, WHEN IT SHALL BE APPLIED AT A MINIMUM RATE OF 400 POUNDS PER ACRE.
- A WETTING AGENT CONSISTING OF 95 PERCENT ALKYL POLYETHYLENE GLYCOL ETHER SHALL BE APPLIED AS PER MANUFACTURERS' RECOMMENDATIONS.
- EQUIPMENT USED FOR THE APPLICATION OF SLURRY SHALL HAVE A BUILT-IN AGITATION SYSTEM TO SUSPEND AND HOMOGENEOUSLY MIX THE SLURRY. THE SLURRY MIX SHALL BE DYED GREEN. THE EQUIPMENT MUST HAVE A PUMP CAPABLE OF APPLYING SLURRY UNIFORMLY.
- GRADED, DISTURBED, OR ERODED AREAS TO BE TREATED WITH A NON-IRRIGATED HYDROSEED MIX SHALL RECEIVE AN INTERIM BINDER/TACKIFIER AS NEEDED BETWEEN APRIL 2 AND AUGUST 31 FOR DUST-EROSION CONTROL WITH SUBSEQUENT APPLICATION OF HYDROSEED MIX DURING THE RAINY SEASON BETWEEN OCTOBER 1 AND APRIL 1.

## NON-IRRIGATED HYDROSEED MIX:

### COASTAL SAGE SCRUB WITH BASIC NATIVE EROSION CONTROL

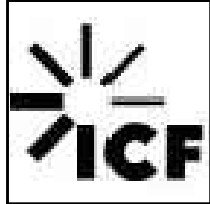
SPECIES	COMMON NAME	BULK #\$/ACRE	MIN % PLS*
ACMISPON AMERICANUS	PURSHING LOTUS	1.00	74
ACMISPON GLABER	DEERWEED	3.00	81
ARTEMISIA CALIFORNICA	CALIFORNIA SAGEBRUSH	1.00	18
CAMISSONIOPSIS CHEIRANTHIFOLIA	BEACH EVENING PRIMROSE	0.50	86
COLLINSIA HETEROPHYLLA	CHINESE HOUSES	1.00	83
ENCELIA CALIFORNICA	BUSH SUNFLOWER	2.00	21
ERIOGONUM FASCICULATUM	CALIFORNIA BUCKWHEAT	4.00	10
ESCHSCHOLZIA CALIFORNICA	CALIFORNIA POPPY	1.00	83
FESTUCA MICROSTACHYS	SMALL FESCUE	10.00	90
ISOCOMA MENZIESII	COAST GOLDENBUSH	1.00	10
LASTHENIA CALIFORNICA	DWARF GOLDFIELDS	0.50	68
LUPINUS SUCCULENTUS	ARROYO LUPINE	1.00	83
MIMULUS AURANTIACUS PUNICEUS	MISSION RED MONKEYFLOWER	1.00	3
SALVIA APIANA	WHITE SAGE	1.00	35
SALVIA MELLIFERA	BLACK SAGE	1.00	60
SISYRINCHIUM BELLUM	BLUE-EYED GRASS	1.00	78
STIPA PULCHRA	PURPLE NEEDLE GRASS	3.00	73
BROMUS CARINATUS 'CUCAMONGA'		15.00	
TRIFOLIUM CILIOLATUM		4.00	

\*NOTE: PLS LBS/ACRE = LBS/ACRE. PLS LBS/ACRE IS THE MOST ACCURATE WAY TO SPECIFY SEEDS AND TAKES INTO ACCOUNT BOTH PURITY AND GERMINATION. PLS % = % PURITY X % GERMINATION.

FOR APPLICATION PROCEDURES SEE NOTE RIGHT.

AT THE COMPLETION OF THE WORK SHOWN, THE FOLLOWING PLAN SHALL BE FOLLOWED TO ENSURE WATER QUALITY CONTROL IS MAINTAINED FOR THE LIFE OF THE PROJECT:

- STABILIZATION: ALL PLANTED SLOPES AND OTHER VEGETATED AREAS SHALL BE INSPECTED PRIOR TO OCTOBER 1 OF EACH YEAR AND AFTER MAJOR RAINFALL EVENTS (MORE THAN 1/2 INCH) AND REPAIRED AND REPLANTED AS NEEDED UNTIL A NOTICE OF TERMINATION (NOT) IS FILED.
- STRUCTURAL PRACTICES: DESILTING BASINS, DIVERSION DITCHES, DOWNDRAINS, INLETS, OUTLET, PROTECTION MEASURES, AND OTHER PERMANENT WATER QUALITY AND SEGMENT AND EROSION CONTROLS SHALL BE INSPECTED PRIOR TO OCTOBER 1ST OF EACH YEAR AND AFTER MAJOR RAINFALL EVENTS (MORE THAN 1/2 INCH). REPAIRS AND REPLACEMENTS SHALL BE MADE AS NEEDED AND RECORDED IN THE MAINTENANCE LOG IN PERPETUITY.



revision schedule

no.	date	description
-----	------	-------------



KETTLER LEWECK

ENGINEERING  
1620 FIFTH AVENUE, SUITE 675  
SAN DIEGO, CA 92101  
t: 619 269-3444 | f: 619 269-3459  
www.kettlerleweck.com

project

SHARP OTAY RANCH MOB

1400 E. PALOMAR STREET  
CHULA VISTA, CA 91913

date

2022.06.27

hgw project number

21.45

agency project number

ENVIRONMENTAL: IS21-0005  
DESIGN REVIEW: DR21-0029  
CONDITION USE: CUP21-0019

sheet description

EROSION CONTROL  
DETAILS PLAN

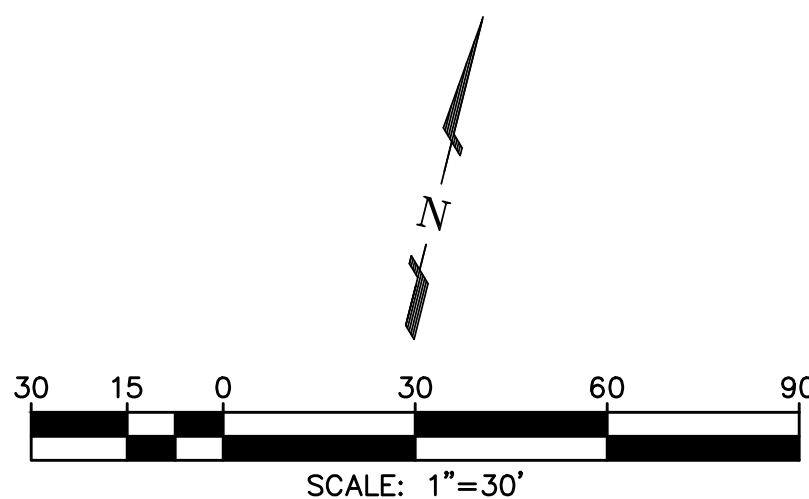
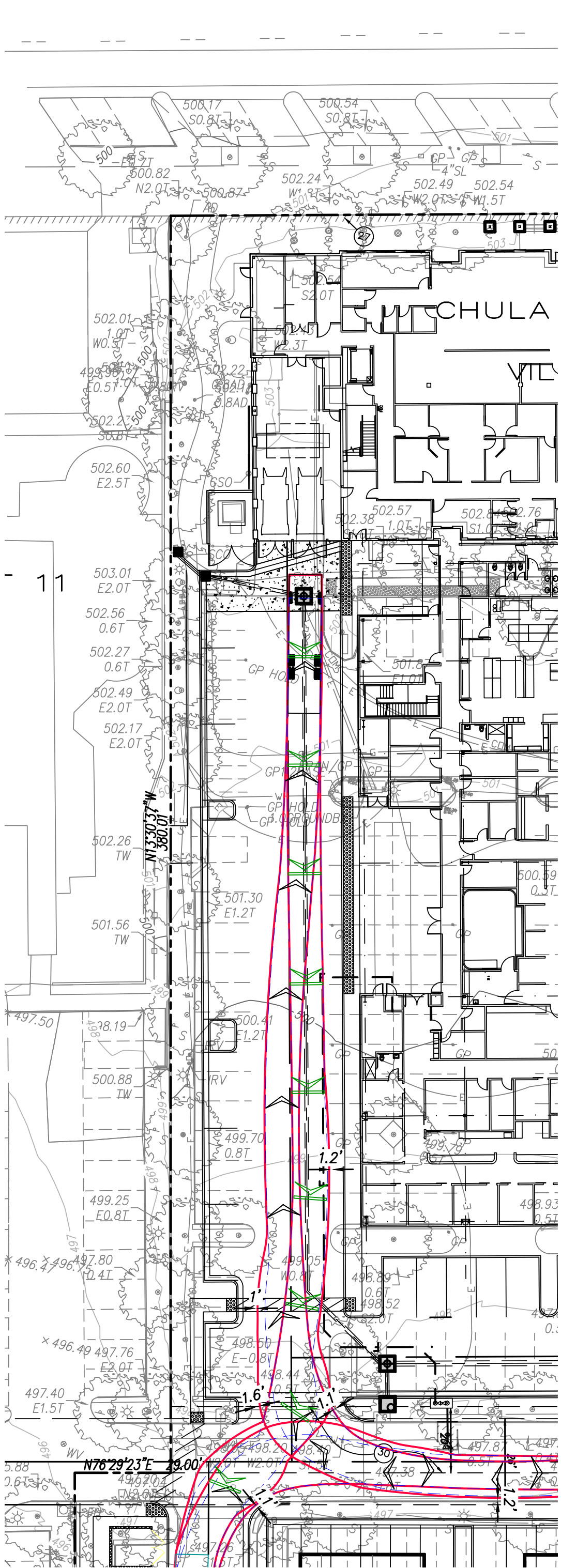
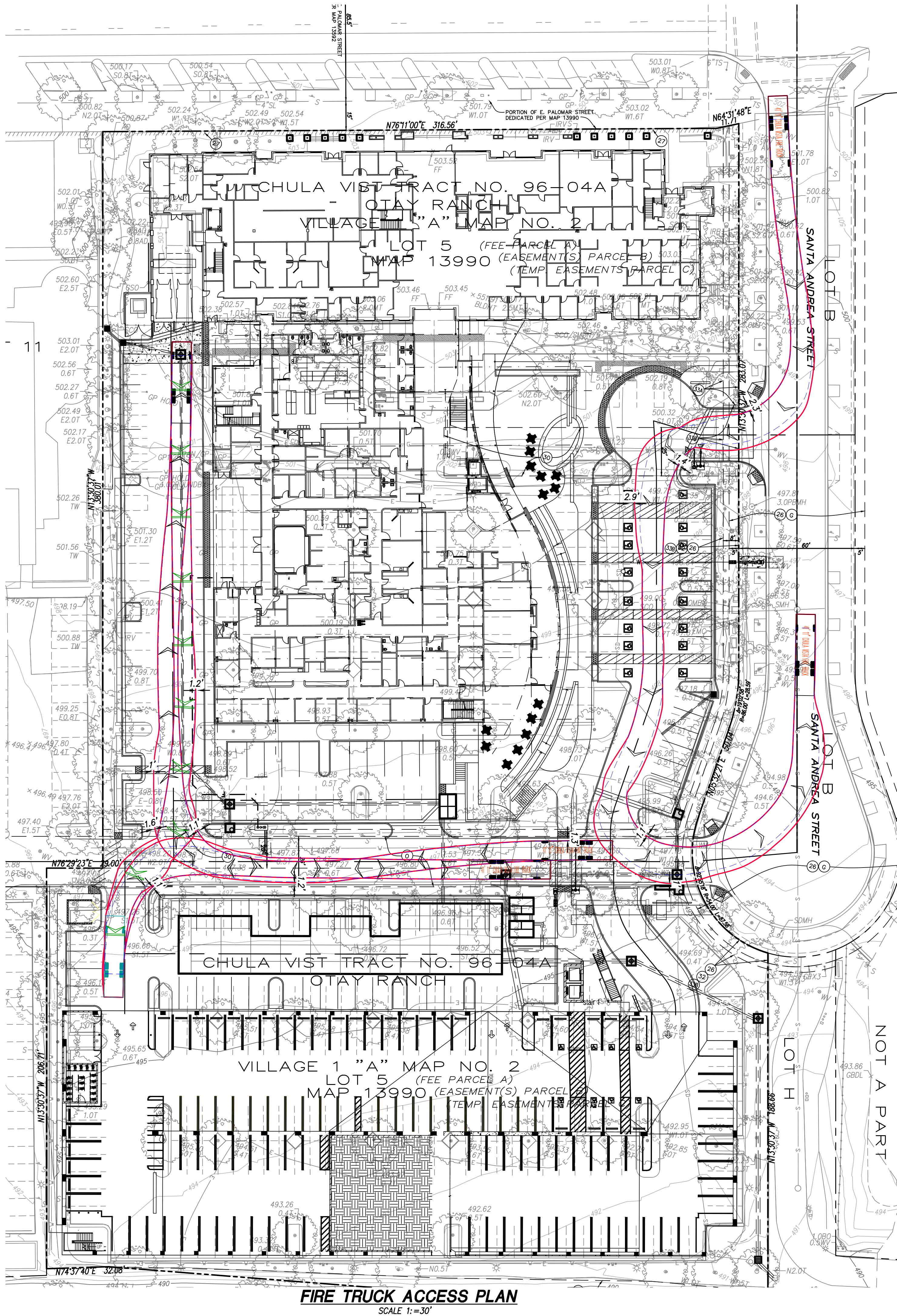
sheet number

C5.1

project phase

CITY OF CHULA VISTA



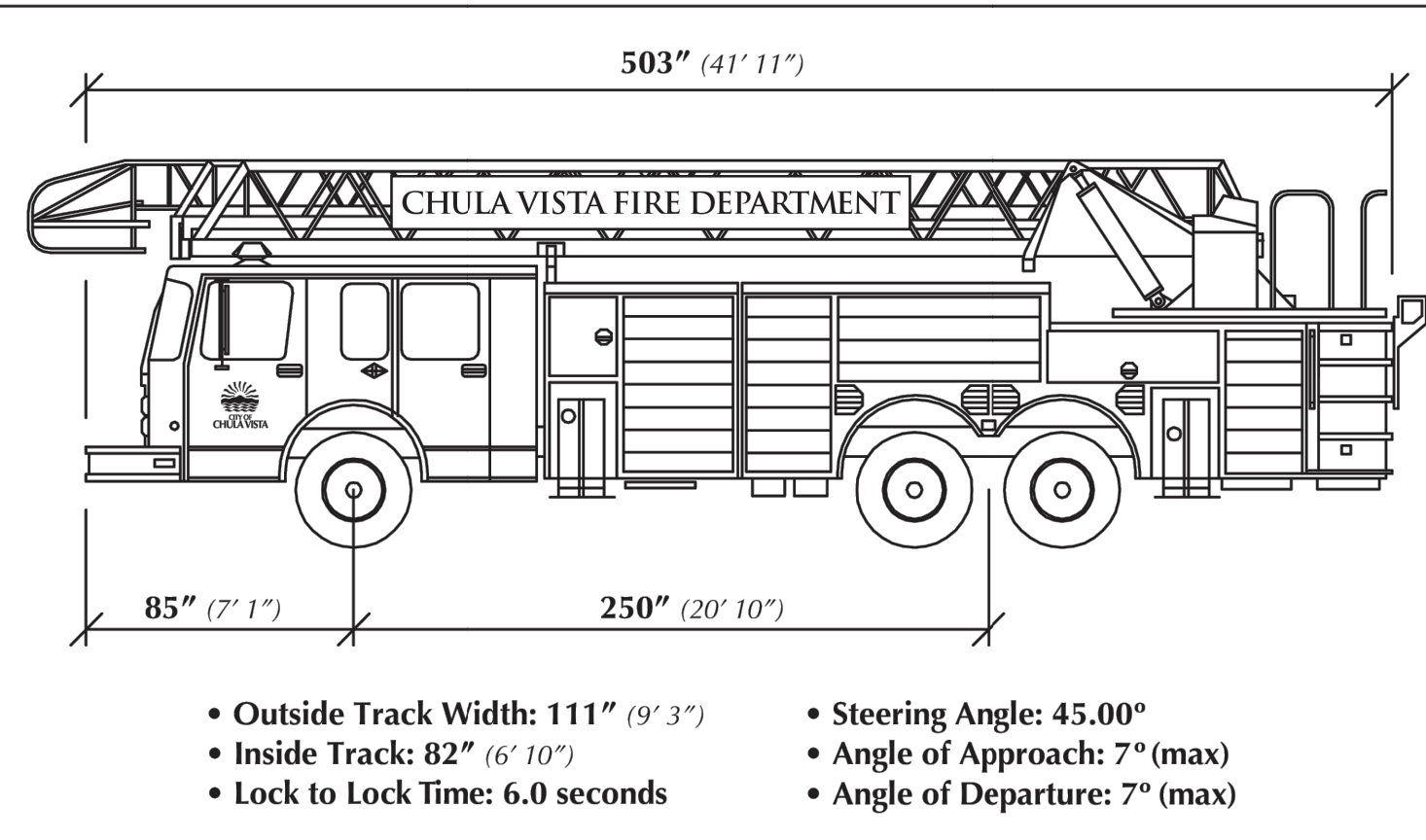


CHULA VISTA FIRE DEPARTMENT

FIRE PREVENTION DIVISION

## AUTO TURN DATA: Ladder Truck

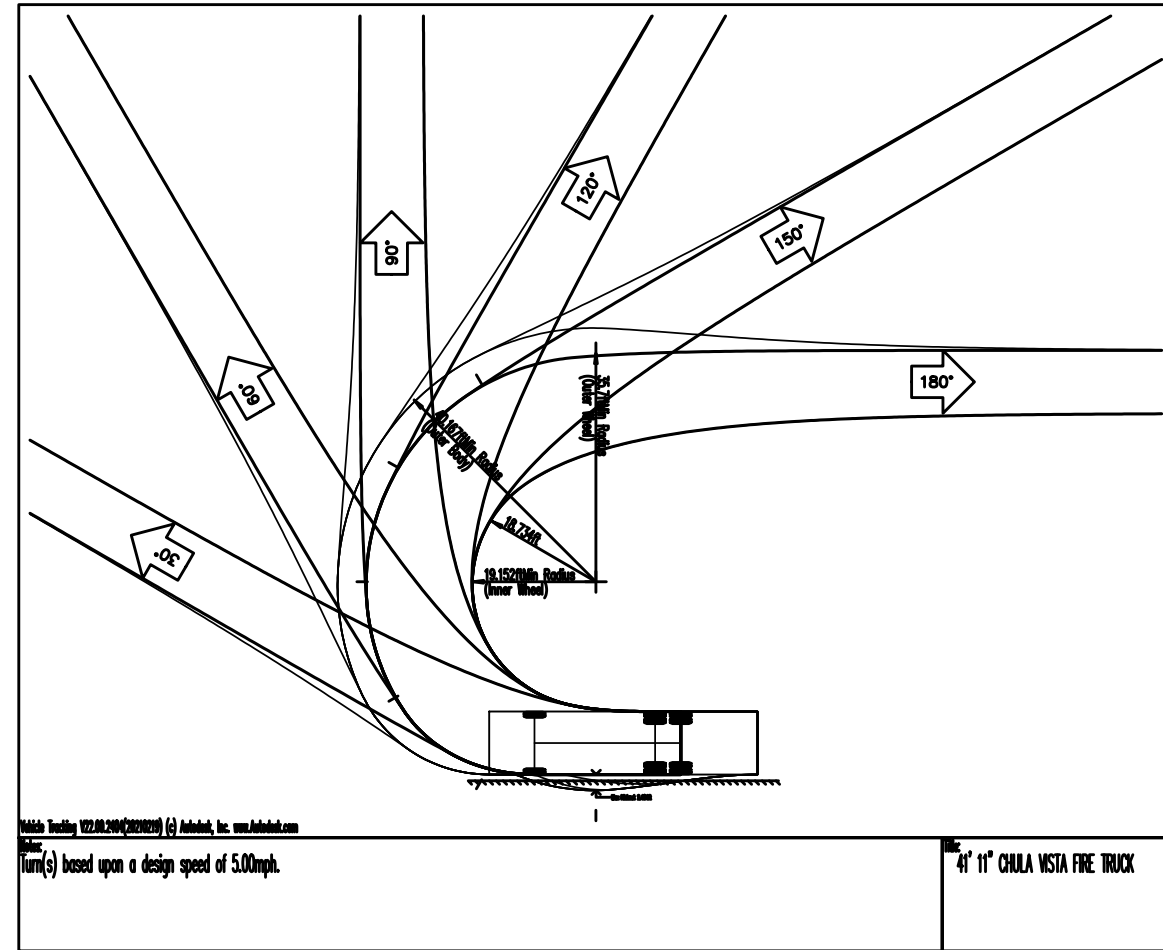
This design apparatus, along with data points, shall be used as the basis for roadway and parking lot geometrics.



### Notes:

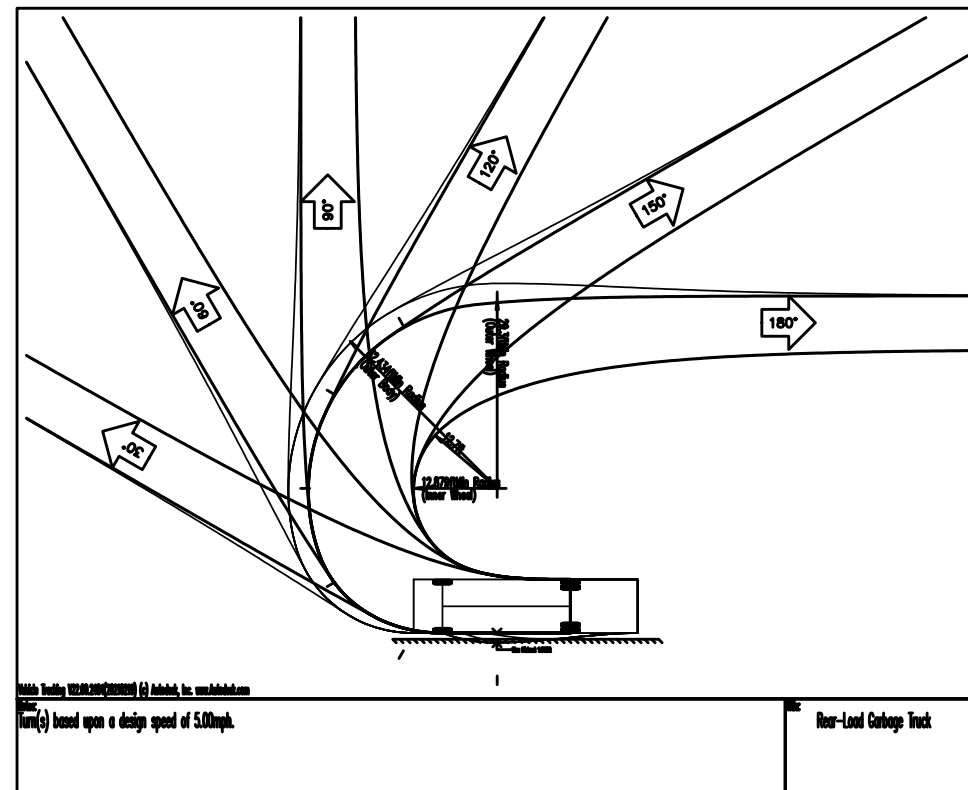
1. A Chula Vista Fire Department Maneuverability Analysis shall be performed by a licensed professional engineer to verify the turning capabilities of this design apparatus. Travel paths should begin outside the site illustrating the turn onto all entry roads/drives, maneuvering around the site, and completed with an illustration demonstrating exiting from the site.
2. Paths must illustrate the full vehicle sweep path (including wheel tracks and wall-to-wall vehicle overhang sweep) and must indicate a clear, unobstructed travel around the site without impact/collisions to buildings, curbs, landscaping, parking spaces, vehicles, etc. Wheel tracks shall not come within 1 foot of curbs. Apparatus bumper overhang shall not extend over curbs and the like.
3. Design speed (no less than 5mph); if speed varies indicate points of change by notes/labels.
4. The Chula Vista Fire Department Maneuverability Analysis shall be used to create an exhibit, which shall be submitted for review and approval.
5. Maneuverability Analysis shall also be designed to and confirm that any angle of approach/departure does not exceed 7°.
6. This detail shall be reproduced on the submitted exhibit.

CHULA VISTA FIRE DEPARTMENT • Fire Prevention Division • 276 Fourth Avenue, Building C • Chula Vista, CA 91910  
(619) 691-5029 • fax (619) 691-5204 • www.chulavistaca.gov/goto/FirePrevention



## FIRE TRUCK DETAILS

NTS



## WASTE/RECYCLING TRUCK DETAILS

NTS

ARCHITECTS

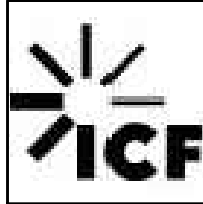
harma gabriel wells

Rev. 2021

1955 bacon street  
san diego, ca 92107  
619.523.8485  
619.523.8487  
www.architects-hgw.com

SHARP Rees-Stealy  
Medical Centers

DPR  
CONSTRUCTION



revision schedule

no.	date	description
-----	------	-------------



KETTLER LEWECK

ENGINEERING  
1620 FIFTH AVENUE, SUITE 675  
SAN DIEGO, CA 92101  
t: 619 269-3444 | f: 619 269-3459  
www.kettlerleweck.com

project

SHARP OTAY RANCH MOB

1400 E. PALOMAR STREET  
CHULA VISTA, CA 91913

date

2022.06.27

hgw project number

21.45

agency project number

ENVIRONMENTAL: IS21-0005  
DESIGN REVIEW: DR21-0029  
CONDITION USE: CUP21-0019

sheet description

**FIRE AND WASTE/RECYCLING  
TRUCK ACCESS PLAN**

sheet number

**C6.0**

project phase

CITY OF CHULA VISTA