

OTAY RANCH VILLAGE 8 EAST

Sectional Planning Area Plan

April 2024

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Adopted on December 2, 2014
By Resolution No. 2014-235

Amended February 18, 2020
By Resolution No. 2020-036

Amended XX
By Resolution No. _____



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I. Introduction



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I. INTRODUCTION

A. BACKGROUND

The Otay Ranch General Development Plan (“GDP”) was adopted by the Chula Vista City Council and the San Diego County Board of Supervisors on October 28, 1993, following an extensive planning process spanning over five years. The plan governs the 23,000-acre Otay Ranch properties. The Otay Ranch GDP is based upon, and directly implements the City of Chula Vista General Plan. The Otay Ranch GDP includes plans for urban villages, a resort community, the Eastern Urban Center, industrial areas, rural estate planning areas, an 11,375-acre open space preserve and a university. The Otay Ranch open space system, consisting of 13,000+ acres, facilitates completion of the Chula Vista Greenbelt Trail System and the Chula Vista Multi-Species Habitat Conservation Plan (“MSCP”) Subarea Plan.

Since its original adoption in 1993, the GDP has been amended several times to address village-specific planning issues. In 2005, the Chula Vista City Council adopted an update to the Chula Vista General Plan (“CVGP”); however, the Council deferred their land use decision on the southern portions of the Otay Valley Parcel, including Village 8 East. The CVGP was amended in 2013 to implement land use changes in Village 8 West and Village 9 and again in 2014 to address Village 3 North and a Portion of Village 4, Village 8 East and Village 10.

In addition, the Chula Vista Council entered into a Land Offer Agreement (“LOA”) with the prior Village 8 East Applicant in 2008. The LOA was subsequently amended in 2010 and again in 2014. The LOA established a framework for planning the southern portion of the Otay Valley Parcel, including the creation of a future University and Regional Technology Park. The Chula Vista City Council approved the Village 8 East SPA Plan on December 2, 2014, by Resolution No. 2014-235, consistent with the provisions in the approved LOA.

The Chula Vista City Council subsequently approved an amendment to the Village 8 East Sectional Planning Area (“SPA”) Plan and Tentative Map No. 13-03 on February 18, 2020, by Resolutions Nos. 2020-036 and 2020-037 respectively, which permitted the transfer of 284 multi-family units from Village 8 East to Village 8 West, reducing the total number of units authorized in Village 8 East to 3,276.

On _____, the Chula Vista City Council approved an amendment to the Village 8 East SPA Plan and approved Tentative Map No. 22-0005 by Resolutions No. _____ and _____ respectively. This amendment addressed changes to the residential product mix, minor changes to the alignment of internal streets and accommodated the SR-125 Interchange Design. The Community Purpose Facility (“CPF”), Neighborhood Park (P-1) and School (S-1) site configurations have also been revised. The overall units authorized in Village 8 East remain at 3,276.

This Village Eight East SPA Plan fully supersedes and replaces any and all earlier versions or iterations of the Village 8 East SPA Plan adopted and approved by the City on December 2, 2014, February 18, 2020, or at any other time.

B. SCOPE AND PURPOSE

The Otay Ranch GDP permits urban levels of development implemented through the Otay Ranch “village” planning concept. The village concept was developed with input from the City of Chula Vista (“City”), County of San Diego (“County”) and the Metropolitan Transit System (“MTS”). These agencies also participated in planning for subsequent “village” SPA Plans in Otay Ranch.

In general, the concept provides for urban villages that are approximately one square mile, with distinct features that are defined by an open space system and major arterial streets. The village planning concept is intended to promote pedestrian-oriented development and reduce reliance on automobiles. The concept provides for essential facilities and services: elementary schools, shops, civic facilities, childcare centers, and parks to be located in a village core. The highest density residential uses are located in the core and densities decrease toward the village perimeter. Otay Ranch villages that are served by regional transit are intended to have the highest residential densities and commercial uses to enhance transit ridership.

The SPA Plan is the implementation tool of the Otay Ranch GDP. It establishes design criteria for the villages and defines the type and maximum amount of development permitted. It also establishes the City’s standards for each development including open space provisions and major improvements to be constructed by the developer.

This SPA Plan for Village 8 East refines and implements the land use goals, objectives and policies of the Otay Ranch GDP and CVGP. This project includes Otay Ranch GDP and CVGP amendments necessary to implement the proposed vision for Village 8 East. The most recent SPA amendments modified the residential housing type mix to eliminate traditional single-family homes from Village 8 East and introduced new, innovative attached and detached residential products to address current and anticipated market conditions. Additional changes incorporated enhanced multi-modal transportation features, accommodated the modified SR-125 – Main Street/La Media Parkway Interchange design and incorporated design elements to complement and connect Village 8 East to Village 8 West. The CPF, Neighborhood Park (P-1) and School (S-1) site configurations have also been revised.

This SPA Plan defines the development parameters for Village 8 East, including the land uses, design criteria, multi-modal transportation patterns, open space and recreation concepts, and infrastructure requirements. Additionally, the character and form of the developments will be implemented through a series of guidelines

and development standards prescribed in Planned Community District Regulations, Village Design Plan and other supporting documents.

The objectives of the SPA Plan are to:

- Establish an urban pedestrian-oriented village with a village core designed to reduce reliance on the automobile and promote multi-modal transportation, including walking and the use of neighborhood electric vehicles (“NEV”), bicycles, local buses and regional transit.
- Promote synergistic uses between Village 8 East and Village 8 West, to create a cohesive community while balancing activities, services and facilities with employment, housing, transit and commercial opportunities.
- Implement the goals, objectives and policies of the Chula Vista General Plan, the Otay Ranch General Development Plan, the MSCP Subarea Plan, the Otay Ranch Phase 1 and Phase 2 Resource Management Plan, the Otay Ranch Facility Implementation Plan, the Otay Ranch Village Phasing Plan and the Otay Ranch Service/Revenue Plan.
- Ensure public facilities are provided in a timely manner and financed by the parties creating the demand for, and benefiting from, the improvements.
- Foster development patterns which promote orderly growth and prevent urban sprawl.
- Develop, maintain and enhance a sense of community identity which complements the Village 8 West Town Center and surrounding land uses.
- Accentuate the relationship of the land use plan with its natural setting and the physical character of the region and promote effective management of natural resources by concentrating development into less sensitive areas while preserving large contiguous open space areas with sensitive resources.
- Add to the creation of a unique image and identity which differentiates Otay Ranch from other communities.
- Wisely manage limited natural resources.
- Establish a land use and infrastructure plan that assures the viability of the SPA Plan Area in consideration of existing and anticipated economic conditions.
- Establish multi-use trail linkages to the Chula Vista Greenbelt, consistent with the Greenbelt Master Plan.

- Implement the Otay Valley Regional Park Concept Plan within the SPA boundary through the planning and provision of portions of the City's Greenbelt trail network and active recreation area.
- Include the Otay Ranch Community Park South within the Village 8 East SPA Plan with amenities consistent with the Chula Vista Park and Recreation Master Plan ("PRMP") such as soccer/multi-purpose fields, open green areas, lighted ball fields, lighted sports courts, picnic shelters, play areas, a community center building, lighted parking areas, and restroom and maintenance buildings and an Otay Valley Regional Park ("OVRP") trail staging area.
- Provide a variety of housing options, including affordable housing, for City residents and future Otay Ranch residents.

This SPA Plan land use policy and supporting PC District Regulations supplement other City regulations. The PC District Regulations function as the zoning ordinance for Village 8 East. Wherever in conflict with other City land use policy documents for Village 8 East, this SPA Plan shall apply. Where a topic is not addressed by this Village 8 East SPA Plan, appropriate City regulations shall apply.

C. DOCUMENT ORGANIZATION

This SPA Plan is divided into several components: the SPA Plan; PC District Regulations; Village Design Plan; Public Facilities Finance Plans; Affordable Housing Program; Air Quality Improvement Plan; Water Conservation Plan; Non-Renewable Energy Conservation Plan; Parks, Recreation, Open Space and Trails Plan; Community Purpose Facility Master Plan, Agriculture Plan, Preserve Edge Plan, Fire Protection Plan and supporting Technical Studies and Plans. The purposes of these documents are as follows:

1. SPA Plan

The purpose of the SPA Plan is to define, in more detail than the City's General Plan and Otay Ranch GDP, the development parameters for Village 8 East, including the land uses, design criteria, circulation pattern, open space and recreation concept and infrastructure requirements to support the community.

2. Planned Community ("PC") District Regulations

The PC District Regulations are the zoning regulations for Village 8 East. These Regulations implement the goals and policies of the CVGP, Otay Ranch GDP, and the SPA Plan by establishing land use districts and standards to classify, regulate, restrict and separate the uses of land, buildings and structures, and regulate and limit the type, height and bulk of buildings and structures in each land use district. These standards are established to protect the public health, safety and general welfare of the citizens of Chula Vista; to safeguard and enhance the appearance and quality of development and to provide the social, physical and economic

advantages resulting from comprehensive and orderly planned use of land resources. The regulations provide the basis by which the City will review and evaluate the preliminary and final drawings for subsequent development applications and provide guidance at the Design Review level. See PC District Regulations, Chapter 10. Implementation and Administration.

In the event of conflict, these PC District Regulations supersede other City zoning regulations. The PC District Regulations are adopted by Ordinance pursuant to Title 19.12.020 of the Chula Vista Municipal Code.

3. Village Design Plan (“VDP”)

This document guides the site, building and landscape design within the village to ensure the quality of the adopted urban design and architectural concepts established for the overall Otay Ranch community are maintained. The Village Design Plan identifies a “main street” theme for the Village Core and expresses that identity through streetscape and landscape design, pedestrian orientation, signage programs and lighting guidelines. The Village Design Plan, as well as the SPA and Tentative Map, provide for an internal trail network and connectivity to the adjacent trail network (i.e. Chula Vista Greenbelt Trail and Regional Trail). The VDP also identifies the village core design concept that will implement Otay Ranch’s planned pedestrian and multi-modal orientation.

In addition to the VDP, and as required by the Otay Ranch GDP (Page II-63), a subsequent Master Precise Plan will be prepared for the Village Core. The Master Precise Plan serves as a link between the approved SPA/Village Design Plan and future development in the Village Core.

4. Public Facilities Finance Plans

Preparation of a Public Facilities Finance Plan (“PFFP”) is required by Chula Vista Municipal Code Chapter 19.92. The purpose of the PFFP is to establish compliance mechanisms and standards to ensure public facilities, infrastructure and services will exist, or concurrently be provided, to meet the demands of infrastructure and climate protection generated by new development. The PFFP contains a fiscal analysis identifying capital budget impacts on the City as well as maintenance and operation costs for each phase of development.

The PFFP components include an analysis of infrastructure facilities such as drainage, traffic, water and sewer, and the provision of community services and facilities including fire protection and emergency services, law enforcement, libraries, schools and parks. The analysis and provisions of the PFFP fulfill the GDP requirements for SPA-level Master Facility Plans for most facilities associated with the development of the villages. Where additional project-specific study and planning is needed, separate technical studies and plans for the villages

have been prepared and included as a component of the SPA Plan or the Project Environmental Impact Report (“EIR”).

5. Affordable Housing Program

The City of Chula Vista General Plan Balanced Communities Affordable Housing Policy requires residential development with fifty (50) or more dwelling units to provide a minimum of 10% of the total dwelling units for affordable housing. Of these affordable housing units, one-half (5% of the total project) are to be designated available to low-income households and the remaining five percent (5%) to moderate income households. To guarantee the provision of Affordable Housing opportunities, the City requires a specific Affordable Housing Program (“AHP”) be prepared by the Developer. The Affordable Housing Program is implemented through an Affordable Housing Agreement between the City and the Developer.

The AHP delineates how, when and where affordable housing units will be provided, intended subsidies, income and/or rent restrictions and methods to verify compliance.

6. Air Quality Improvement Plan (“AQIP”)

Preparation of a project specific AQIP is required to accompany SPA Plans, pursuant to CVMC 19.92.030. The AQIP addresses compliance with the air quality standards and policies of the San Diego County Air Pollution Control District (“APCD”).

7. Water Conservation Plan (“WCP”)

Preparation of a project specific WCP is required to accompany SPA Plans, pursuant to CVMC 19.92.030. The WCP prepared for the project addresses the long term need to conserve water, short term emergency measures and establishes standards for water conservation.

8. Energy Conservation Plan

The Otay Ranch GDP requires all SPA Plans to include a Non-Renewable Energy Conservation Plan. The Energy Conservation Plan identifies measures to reduce the use of non-renewable energy resources through, but not limited to, transportation; building design and use; lighting; recycling and alternative energy sources.

9. Park, Recreation, Open Space and Trails Plan

The Otay Ranch GDP requires all SPA Plans to include a Parks, Recreation, Open Space and Trails Plan. This Plan identifies locations, conceptual designs, ownership, maintenance and phasing of park, recreation and trails facilities within the SPA Plan Area. The Plan also establishes linkages to the Chula Vista Greenbelt

Trail and Regional Trail. The Park, Recreation, Open Space and Trails Plan is provided as Section V of the Village 8 East SPA Plan.

10. Community Purpose Facility Master Plan

The City of Chula Vista Municipal Code requires the preparation of a Community Purpose Facility Master Plan as a component of a SPA Plan. This Plan identifies the location of sites, acreages and facilities in the village. The Community Purpose Facility Master Plan is provided as Chapter VI of the Village 8 East SPA Plan.

11. Agriculture Plan

The 1993 Otay Ranch Program EIR requires the preparation of an Agriculture Plan concurrent with the approval of any SPA Plan affecting onsite agricultural resources. This Plan describes the type of agriculture activities allowed as an interim use, including buffering guidelines designed to prevent potential land use interface impacts related to noise, odors, dust, insects, rodents and chemicals which may accompany agricultural activities and operations.

12. Preserve Edge Plan

In accordance with the Otay Ranch Resource Management Plan (“RMP”), a Preserve Edge Plan must be prepared for all SPA Plans that contain areas adjacent to the Otay Ranch Preserve. The purpose of the Preserve Edge Plan is to identify allowable uses within appropriate land use designations for areas adjacent to the Preserve.

13. Fire Protection Plan

In accordance with the requirements of the City of Chula Vista Fire Department, Chapter 49 of the 2022 California Fire Code, and the City of Chula Vista Fire Code, a Fire Protection Plan must be provided for all new development in the Wildland Urban Interface (“WUI”). The Fire Protection Plan identifies the wildfire risk associated with the proposed development in the WUI area and provides measures to minimize and mitigate potential for loss. A Fire Protection Plan and an Addendum (2023) addressing Village 8 East has been prepared.

14. Technical Studies and Plans

The Otay Ranch GDP identified Project-wide Implementation Tasks including preparation of an Overall Design Plan, Master Facility Plans and the Resource Management Plan (Phase 2) for Otay Ranch. These project-wide implementation tasks have been completed and serve as the basis for subsequent SPA planning. The GDP also identified SPA Implementation Tasks that included preparation of SPA Plans, PFFPs, Regional Facilities Reports, Master Facilities Plans, and others. The full list of GDP and SPA Implementation tasks are located in Part III, Implementation, of the 1993 GDP (pages 63-68). During the preparation of SPA One, a number of Master Facility Plans were prepared to address the provision of

certain facilities on a Ranch-wide basis. For this reason, subsequent SPA Plans are required only to prepare Plans and Technical Studies specific to their development. The plans for the villages are listed and described above.

Technical studies for the SPA Plan Area have been prepared for the Project EIR, the PFFP or as part of this SPA Plan. These plans and studies, in conjunction with mitigation measures identified by the EIR, fulfill the Otay Ranch GDP requirements for individual Village SPA Plan implementation. The technical studies and plans include:

- Biological Technical Report for Otay Ranch University Villages, Prepared by Dudek & Associates, May 2014.
- University Villages Traffic Impact Analysis – Otay Ranch Villages 3 North and a Portion of Village 4, 8 East and 10, prepared by Chen and Ryan Associates, July 2014.
- Archaeological Evaluation of Cultural Resources at the Otay Ranch Villages 3 North and a Portion of 4, 8 East and 10, prepared by Brian Smith and Associates, March 2014.
- Paleontological Resource and Monitoring Assessment for Villages 3 North and a Portion of 4, 8 East and 10, prepared by Brian Smith and Associates, March 2014.
- Air Quality and Global Climate Change Technical Report for the Otay Ranch University Villages Project, prepared by Dudek & Associates, May 2014.
- Noise Assessment Technical Report for the Otay Ranch University Villages Project, prepared by Dudek & Associates, May 2014.
- Phase I Environmental Site Assessment for Village 3 North and a Portion of Village 4, 8 East and 10 Coast2Coast Environmental, November 11, 2011.
- Master Drainage Study for Otay Ranch Village 8 East, prepared by Hunsaker & Associates, June 2014.
- Master Water Quality Technical Report for Otay Ranch Village 8 East, prepared by Hunsaker and Associates, June 2014.
- Overview of Sewer Service for Otay Ranch Villages 3 North and a Portion of Village 4, 8 East, and 10, prepared by Wilson Engineering, May 2014.
- Overview of Water Service for Otay Ranch Villages 3 North and a Portion of Village 4, 8 East, and 10, prepared by Wilson Engineering, May 2014.

- Geotechnical Investigation for Otay Ranch Village 8 East, prepared by GEOCON, Inc., November 21, 2012.
- Air Toxics Health Risk Assessment for Otay Ranch Village 8 East, prepared by Scientific Resources Associates, April 2013
- Fire Protection Plan University Villages – Village 8 East, prepared by Dudek July 2014.

In addition to the above-listed technical reports and studies, the following analyses were completed to support the Addendum to the 2014 EIR and analyze the proposed revisions to the Chula Vista General Plan, Otay Ranch GDP, this SPA Plan and the Otay Ranch Village 8 East Tentative Map:

- Otay Ranch Village 8 East – Air Quality and Greenhouse Gas Update, prepared by Dudek, 2024.
- Otay Ranch Village 8 East Development Health Risk Screening Letter – City of Chula Vista, prepared by Ldn Consulting, Inc., 2023.
- Otay Ranch Village 8 East Addendum – Review of Biological Resources, prepared by Dudek, 2024.
- Updated Geotechnical Report, Otay Ranch Village 8 East, Chula Vista, California, 2023.
- TM Drainage Study for Otay Ranch-Village 8 East, prepared by Hunsaker & Associates, 2023.
- Priority Development Project (“PDP”) Storm Water Quality Management Plan (“SWQMP”) for Otay Ranch Village 8 East Tentative Map, prepared by Hunsaker & Associates, 2023.
- Otay Ranch Village 8 East Project – Noise Update Analysis, Prepared by Dudek, 2023.
- Otay Ranch Village 8 East CEQA Transportation Analysis & Local Mobility Analysis Memorandum, prepared by Chen-Ryan, 2023.
- Otay Ranch 8 East SPA Amendment Water Evaluation, prepared by Dexter Wilson Engineering, Inc., 2023.
- Otay Ranch 8 East SPA Amendment Sewer Evaluation, prepared by Dexter Wilson Engineering, Inc., 2023.
- Otay Ranch Village 8 East Archeological and Paleontological Update, prepared by Dudek, 2024.
- Village 8 East Fiscal Impact Analysis Summary Report, DPFG/RH Consulting Group, LLC, 2023.

D. LEGAL SIGNIFICANCE AND CEQA

The project is subject to the requirements of the California Environmental Quality Act (“CEQA”). A January 2024 Addendum to the Otay Ranch University Villages Project Comprehensive Sectional Planning Area Plan Amendment Final Environmental Impact Report (“FEIR”) (EIR 13-01; SCH No. 2013071077; approved December 2014 with addendums adopted in December 2016 and June 2021) has been prepared for this SPA Plan amendment and related actions. All mitigation measures and monitoring activities in the Otay Ranch University Villages Project Comprehensive Sectional Planning Area Plan Amendment FEIR (EIR 13-01; SCH No. 2013071077; approved December 2014 with addendums adopted in December 2016 and June 2021) and the related Mitigation Monitoring and Reporting Program that are applicable to this Village Eight East Sectional Planning Area shall be fully implemented and enforced. All future discretionary permits will need to be consistent with this SPA Plan.

E. RELATED DOCUMENTS

The Chula Vista General Plan and Otay Ranch General Development Plan establish the broad policy level standards and requirements for planning Village 8 East. The Otay Ranch GDP also authorizes the level of development intended within the SPA Plan Area and establishes the PC Zoning implementation process. All of the other documents that are components of the SPA Plan package (Village Design Plans, Public Facility Finance Plans, etc.) are prepared concurrently and based on this SPA Plan.

Concurrent with the SPA level documents, subdivision maps and improvement plans will be prepared which will provide the detailed information necessary to construct the project described by the SPA level documents. These plans, the construction process and ultimate uses/activities within the SPA must comply with the applicable provisions of this SPA Plan and related documents, including:

- City of Chula Vista General Plan;
- Otay Ranch General Development Plan;
- Otay Ranch Resource Management Plan (Phase 1 and 2);
- Multi-Species Conservation Plan Subarea Plan;
- City of Chula Vista Parks and Recreation Master Plan;
- City of Chula Vista Greenbelt Master Plan;
- Otay Valley Regional Park Concept Plan;
- Otay Valley Regional Park Design Standards & Guidelines;
- Otay Valley Regional Park Trail Guidelines; and,

- Land Offer Agreement (2014)
- Chula Vista Fire Facility Master Plan (2014)

F. LAND OFFER AGREEMENT

This SPA Plan is internally consistent with the applicable provisions of the Land Offer Agreement, dated June 17, 2014 between the City of Chula Vista and SSBT LCRE V, LLC.

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II. Development Concept



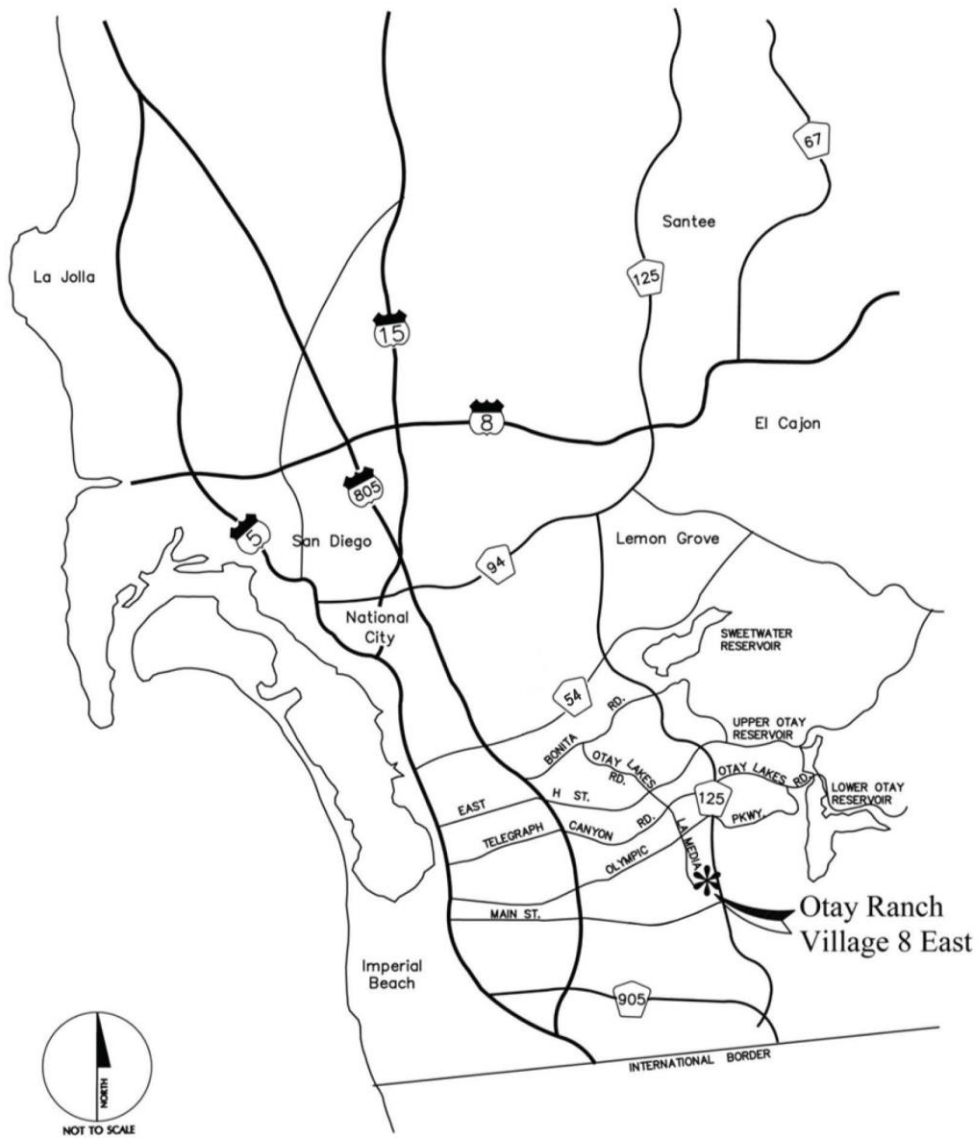
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II. DEVELOPMENT CONCEPT

A. LOCATION AND REGIONAL SETTING

The SPA Plan Area is located at the southern edge of the Otay Valley Parcel of Otay Ranch, just north of the Otay River Valley. **Exhibit 1: Regional Location Map** illustrates the regional location of the SPA Plan Area; **Exhibit 2: Vicinity Map** illustrates the location of Village 8 East within the Otay Valley Parcel of Otay Ranch.

Village 8 East is located south of Main Street, west of SR-125 and north of the Otay River Valley. Existing development in the vicinity of Village 8 East includes Otay Ranch Village 7 and Olympian High School to the north and Village 8 West to the west. Future Otay Ranch Village 9 is located to the east.

**Exhibit 1: Regional Location Map**

B. DESIGN INFLUENCE

The Chula Vista General Plan and the Otay Ranch planning documents (Otay Ranch General Development Plan, Overall Design Plan, and other SPA plans for Otay Ranch) describe the general design characteristics of Otay Ranch villages. The design of Village 8 East is based on those guiding documents, the unique on-site characteristics including the landform and aesthetics, existing and planned circulation patterns, and land use relationships between Village 8 East and surrounding development, especially Village 8 West and Village 9. The urban village concept described in the Otay Ranch GDP provides additional focus for the village. While general design influences are described below, design features and development requirements are addressed in the PC District Regulations and Village Design Plan.

1. Site Characteristics and Visual Context

The Village 8 East landform consists of large mesas sloping into the Otay River Valley. One prominent drainage tributary to the Otay River extends north from the river valley into the SPA Plan Area. The Otay River Valley, part of the Otay Ranch Preserve and Otay Valley Regional Park, is located south of Village 8 East and provides view opportunities. While situated above the bottom of the river valley, Village 8 East is visible to users of the Otay Valley Regional Park and Chula Vista Greenbelt trail systems. Further, Village 8 East is visible from the SR-125 tollway, which is generally below the SPA Plan Area.

2. Circulation

The northern edge of Village 8 East is generally defined by the extension of Main Street, identified by the Otay Ranch GDP as a 6-Lane Prime Arterial. La Media Parkway, a planned 4-Lane Major Road is the extension of existing La Media Parkway connecting the Village 8 West Town Center to Village 9, is planned to bisect the southern third of Village 8 East in an east/west direction. These Circulation Element roads establish connection points which Village 8 East must accommodate and thereby set general elevations and corresponding grades. Access to SR-125 from Village 8 East will be via the parallel street system interchange design consisting of a couplet/parallel street system interchange with ramps at Main Street and La Media Parkway acting as a single freeway access system via connected on-way frontage roads in Village 8 East and Village 9.

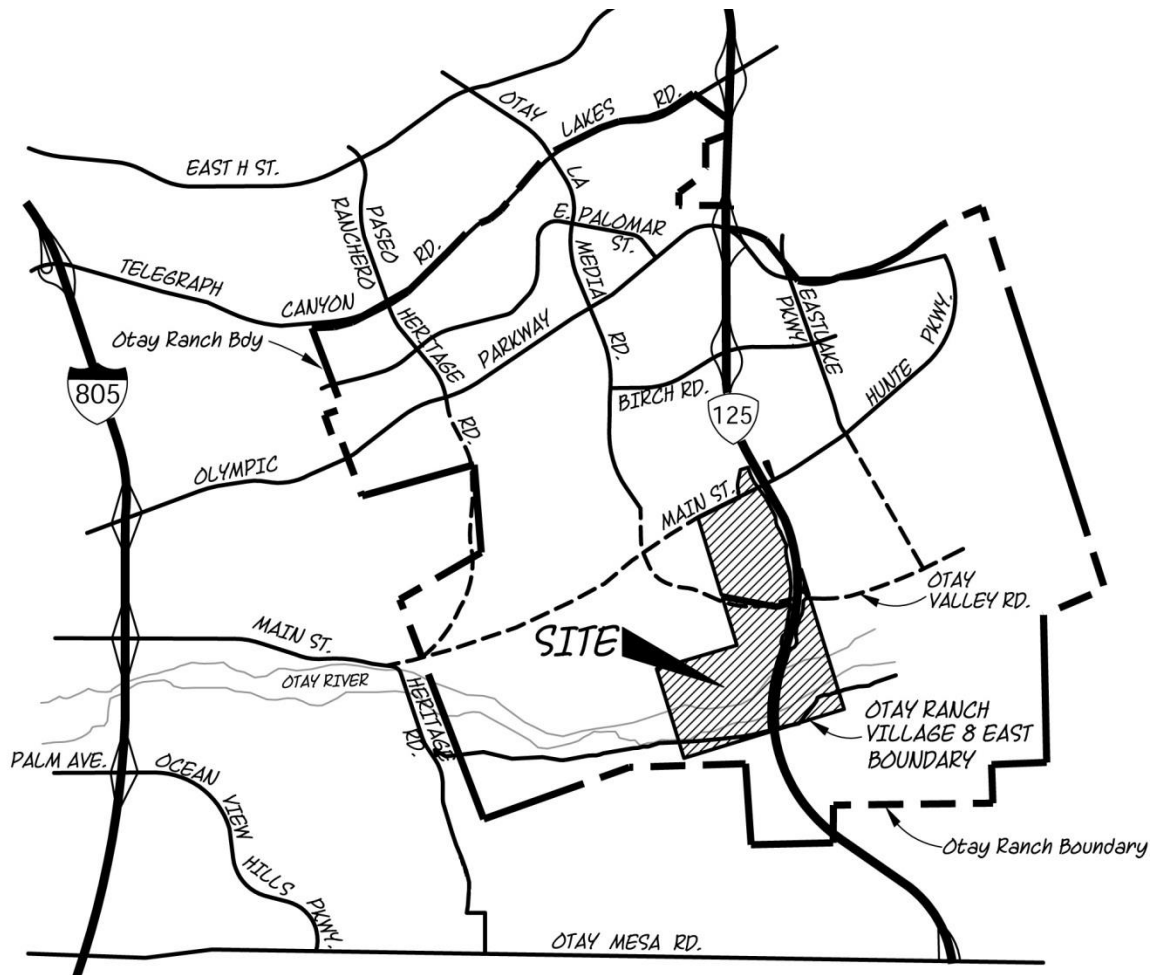


Exhibit 2: Vicinity Map

3. Surrounding Land Uses

The SPA Plan Area is located at the southern limit of the Otay Valley Parcel. The village planning concept provides for compatible land uses between adjoining villages. Immediately surrounding the SPA Plan Area are existing and planned development areas and dedicated Preserve open space. Existing surrounding development includes Otay Ranch Village 7 and Olympian High School, located north of Village 8 East and SR-125 immediately east of the village.

The Village 8 West SPA Plan Area, which includes the Village 8 West Town Center and is planned for up to 2,334 residential units and up to 300,000 square feet of commercial/retail, is immediately west of the project site. Village 8 East is planned as a complimentary village to Village 8 West by providing additional density in support of the Village 8 West Town Center. The two villages are connected by a series of trails including the Village Pathway through the village core, Regional Trails along Main Street and La Media Parkway and the Chula Vista Greenbelt Trail located within the Otay River Valley.

Future Village 9, planned for 3,959 residential units and up to 1.5 million square feet of commercial and retail uses is located east of Village 8 East. Village 8 East is connected to Village 9 by a future multi-modal bridge spanning SR-125 and the Regional Trails along Main Street and La Media Parkway.

These villages/planning areas are expected to be built out by 2030, subject to market conditions. The existing and planned communities and land uses surrounding the SPA Plan Area are depicted on **Exhibit 3: Aerial Context Map**. Section II.D – Land Use Pattern provides additional context for how planned development in Villages 8 West and 9 influenced the design of Village 8 East.

C. SITE UTILIZATION

The Village 8 East land uses are presented in **Exhibit 4: Village 8 East Site Utilization Plan**, **Table 1: Site Utilization Summary** and **Exhibit 5: Village 8 East Zoning District Map**, as contemplated by the Otay Ranch GDP for this village. The Site Utilization Plan and Summary and Zoning District Map work together and assign a general utilization for each development parcel within this SPA Plan. Uses include an elementary school, a variety of parks, a Community Purpose Facility site, open space areas, multi-family residential units and Village Core areas. In addition to defining each parcel, the Site Utilization Summary assigns a permitted density range and an estimated number of dwelling units. Commercial square footage is generally planned within parcels designated Village Core (“VC”), with final square footage allocations to be determined during the Design Review process. Dwelling unit intensity assigned to each parcel is an estimate of the development potential and is not a guaranty that the identified number of units or maximum intensity will be achieved for each parcel. Dwelling

units and commercial square footage may be reallocated between parcels pursuant to PC District Regulations, Chapter 10. Implementation and Administration.

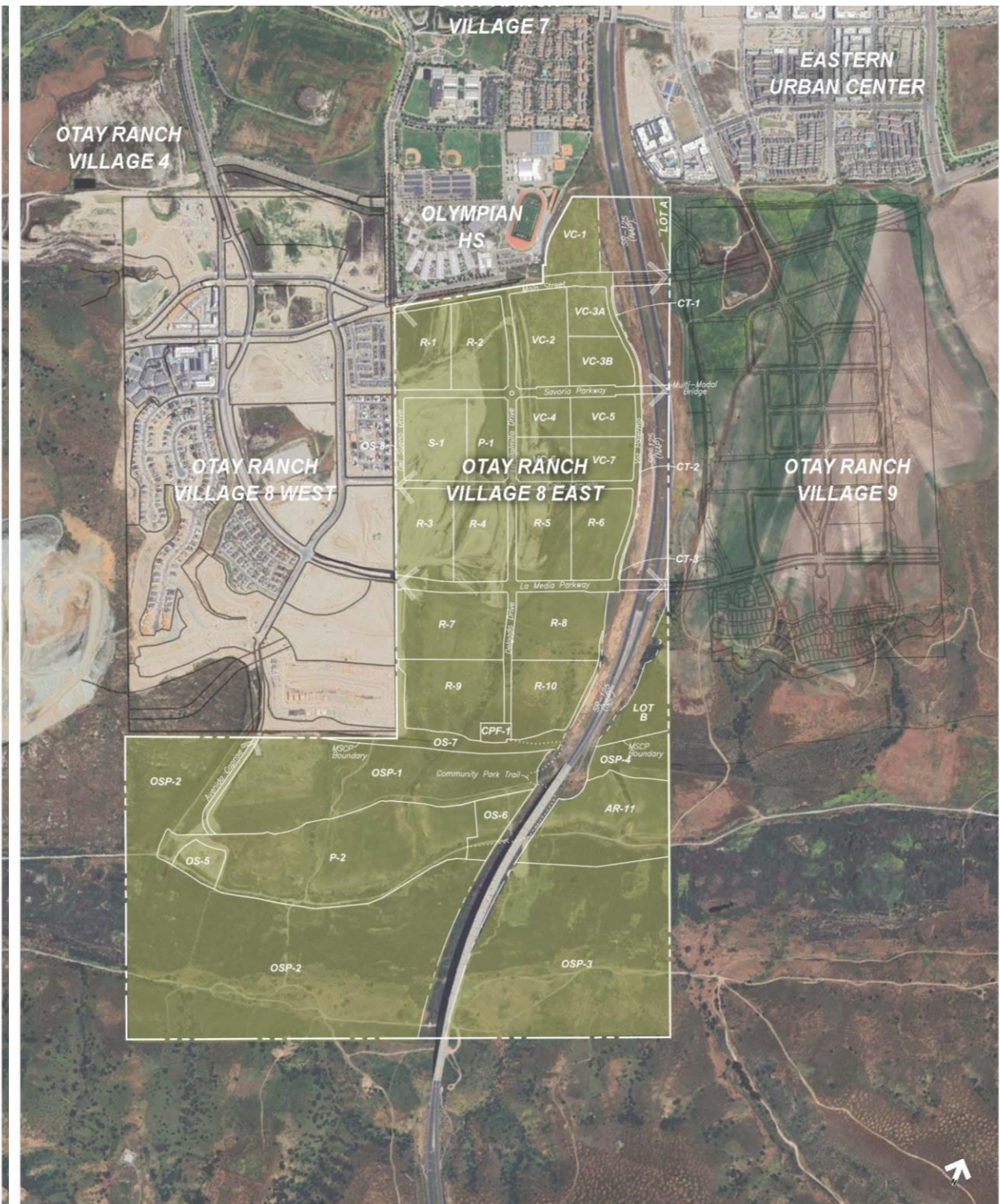
D. COMMUNITY STRUCTURE

Village 8 East is designed as an urban village with a pedestrian oriented and multi-modal transportation focus. The design is consistent with the goals of the Otay Ranch GDP which guide the creation of distinct, residential communities that include a village core with a strong connection to surrounding villages. The Village 8 East design is intended to provide balanced and diverse land uses, environmentally sensitive development and multi-modal transportation opportunities while creating a “sense of place” for village residents. The village is comprised of a Village Core with a mix of public land uses, commercial and higher density residential development designed with a focus on creating multi-modal transportation opportunities, including pedestrian, bicycle, NEV and transit.

A “main street” village identity is created along the Village Core Savoria Parkway frontage. As described in greater detail in the Village Design Plan, the main street theme is created through the use of special paving, enhanced landscaping and architectural treatment. Allowed land uses within the Village Core include residential and commercial uses which may be mixed on a single parcel or presented as a single use on a parcel within the Village Core. The final design will be determined during Design Review.

The Village Core includes seven parcels designated VC that may include approximately 1,348 multi-family (attached or detached) residential units and 20,000 square feet of commercial uses. A neighborhood park and an elementary school site are also within the Village Core. The community is designed to attract village residents to the core for social, education, neighborhood shopping and recreation and community activities. With its proximity to the Village 8 West Town Center, Village 8 East is part of a larger community that meets the commercial/retail, employment and housing needs of the Otay Ranch Planning Area. A variety of neighborhoods, featuring a range of housing types and designs are planned with up to 1,664 multi-family homes surrounding the village core connected by a circulation network that emphasizes pedestrian comfort and safety.

The hierarchical pedestrian circulation system includes the Chula Vista Regional Trail, Chula Vista Greenbelt Trail, Village Pathway, Promenade Trails and the Neighborhood and Edge Trail linkages. Village 8 East includes an approximately $\frac{3}{4}$ mile segment of the Chula Vista Greenbelt Trail. This segment will be implemented according to the Greenbelt Master Plan and OVRP Design Standards and Guidelines. Two pedestrian connections from Village 8 East to the Chula Vista Greenbelt/OVRP trail are provided along the Community Park Entry Drive (Avenida Caprise) and the Community Park Trail. Pedestrian access is provided between the Community Park and the Greenbelt/OVRP trail along the park’s southern edge.



Source: June 2023 Google Maps

Exhibit 3: Aerial Context Map

The land use pattern establishes key connections to Main Street and La Media Parkway via a north/south internal street (La Palmita Drive) linking land uses in the Village Core and the surrounding neighborhoods. The extension of Main Street generally forms the northern boundary of the village and provides primary access to Village 8 East via La Palmita Drive. La Media Parkway provides secondary access to Village 8 East from Village 8 West and will cross SR-125 in the future to connect with the future Village 9.

Though Village 8 East is bifurcated by La Media Parkway, a 4-Lane Major Road, a Village Pathway will connect the southern neighborhoods to the village core along La Palmita Road and Delgado Drive. In addition, pedestrian connections are planned to the City's Greenbelt trail system and the Community Park within the Otay Valley Regional Park to the south, the Village 8 West Town Center and Village 9. Access to the regional transportation network includes a potential Bus Rapid Transit stop along Main Street in Village 8 West and local bus service on Main Street. Neighborhood electric vehicles are permitted on the off-street, two-way Regional Trail facility along the south side of La Media Parkway, on low-speed internal streets and the planned Multi-Modal Bridge spanning SR-125. Bicycle circulation is accommodated along Main Street and La Media Parkway, as well as the internal street network and the Multi-Modal Bridge.

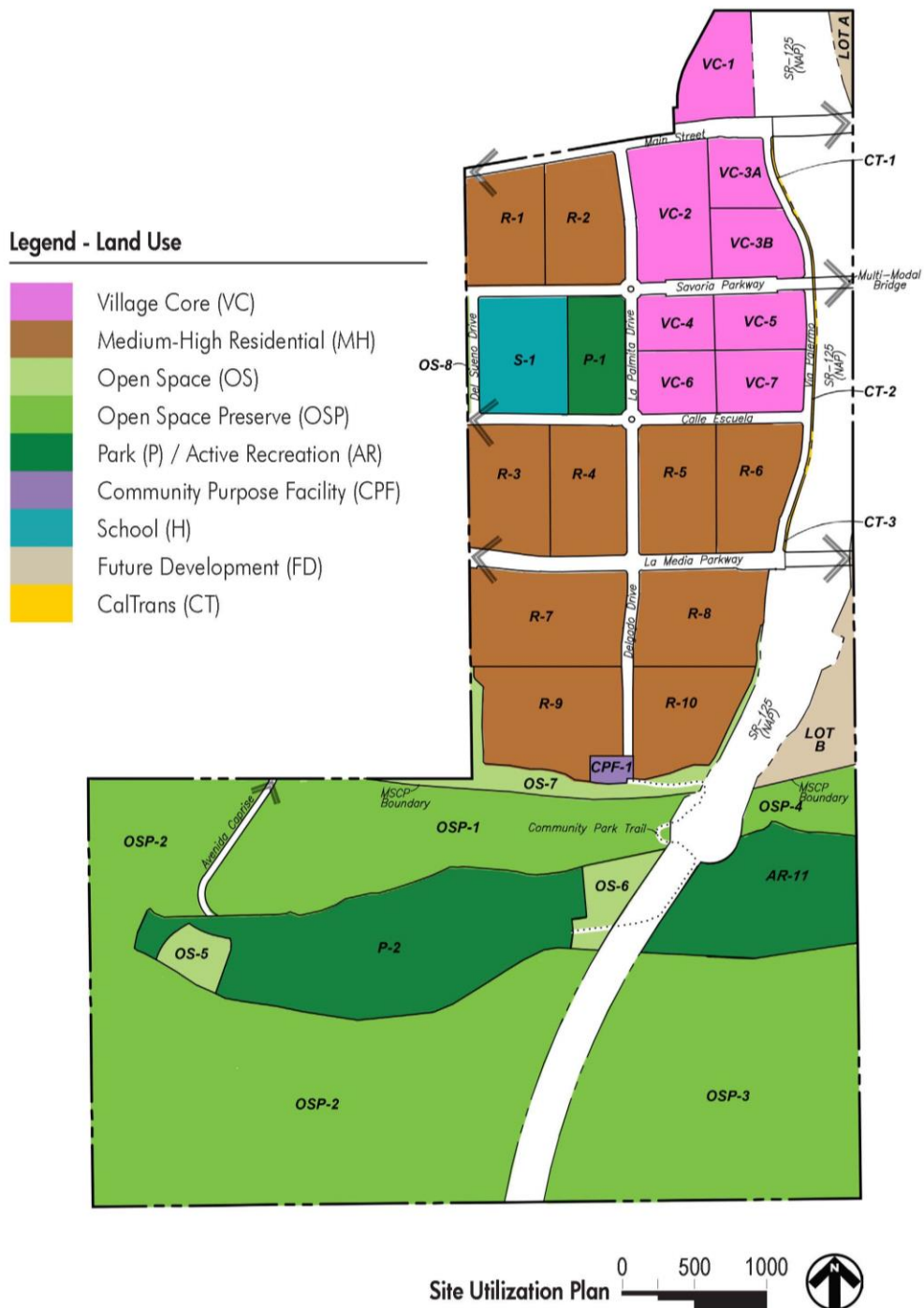
**Exhibit 4: Village 8 East Site Utilization Plan**

Table 1: Village 8 East Site Utilization Summary

Parcel	Permitted Density Range	Estimated Units ¹	Gross Acres ²	Estimated Density ³
Medium High Multi-Family Residential				
R-1	11-18 du/ac	154	9.9	15.6
R-2	11-18 du/ac	163	10.7	15.2
R-3	11-18 du/ac	162	11.4	14.2
R-4	11-18 du/ac	147	10.9	13.5
R-5	11-18 du/ac	155	11.0	14.1
R-6	11-18 du/ac	143	10.3	13.9
R-7	11-18 du/ac	226	15.8	14.3
R-8	11-18 du/ac	176	14.0	12.6
R-9	11-18 du/ac	196	15.4	12.7
R-10	11-18 du/ac	142	11.5	12.3
Total MH		1,664	120.9	13.8
Village Core⁴				
VC-1	18-45 du/ac.	275	7.6	36.2
VC-2	18-45 du/ac.	430	11.3	38.1
VC-3A	18-45 du/ac.	161	5.5	29.3
VC-3B ⁵	18-45 du/ac.	0	5.6	0.0
VC-4	18-45 du/ac.	192	4.5	42.7
VC-5 ⁵	18-45 du/ac.	0	5.7	0.0
VC-6	18-45 du/ac.	142	5.3	26.8
VC-7	18-45 du/ac.	148	6.0	24.7
Total VC		1,348	51.5	26.2
Subtotal Residential		3,012	172.4	
Other				
Community Purpose Facility⁶				
CPF-1			1.2	
Subtotal CPF			1.2	
Parks				
P-1 ⁷			7.3	
P-2			43.3	
AR-11			22.6	
Total Parks			73.2	
School				
S-1 ^{7 8}		264	11.3	

Table 1: Site Utilization Summary (continued)

Parcel	Permitted Density Range	Estimated Units ¹	Gross Acres ²	Estimated Density ³
Open Space				
MSCP Preserve OS (Lots 1-4)			253.6	
Manufactured/Basin OS (Lots 5-8) ⁹			16.4	
Total Open Space			270.0	
Circulation				
Internal			22.5	
External			9.2	
Total Circulation			31.7	
CALTRANS LOTS (to be dedicated)				
CT-1			1.7	
CT-2			0.1	
CT-3			1.9	
Total CALTRANS Lots			3.7	
Future Development				
Lot A			1.0	
Lot B			8.4	
Total Future Development			9.4	
Subtotal Other			400.5	
OVERALL SPA TOTAL¹⁰		3,276	572.9	

Notes:

¹ Estimated Units are provided for planning purposes only, do not represent the final unit allocation for each parcel and shall not be used to limit or restrict the final units allocated to any parcel.; The final unit allocation must remain consistent with the permitted density range applicable to the parcel. The final unit allocation shall be determined during Design Review and shall be documented in the Unit Tracking Table (Village 8 East SPA Plan, Attachment 1). Revisions to the Site Utilization Table shall not be required based on changes to the Estimated Units presented herein.

² Final acreage information to be determined during final engineering. Acreage may vary due to rounding. Residential and Village Core gross acreage includes approximately 15.3 of perimeter open space areas. Open space easements shall be recorded over perimeter open space slopes that are to be maintained by the Master HOA or a Sub-Association, as determined during final design.

³ Estimated Density calculated based on gross parcel acreage. Final density to be determined during Design Review.

Notes:

⁴ 20,000 square feet of non-residential uses are authorized within Village 8 East. Commercial SF may be developed within a single parcel designated VC or distributed among any parcel designated VC (VC-1 through VC-7). The final distribution of non-residential SF to be determined during Design Review. The “Permitted Density Range” is not applicable to VC parcels with no residential units.

⁵ VC-3B and VC-5 are anticipated to be developed with non-residential uses only, consistent with the Village Core zoning district. The “Permitted Density Range” is not applicable to VC parcels with no residential units.

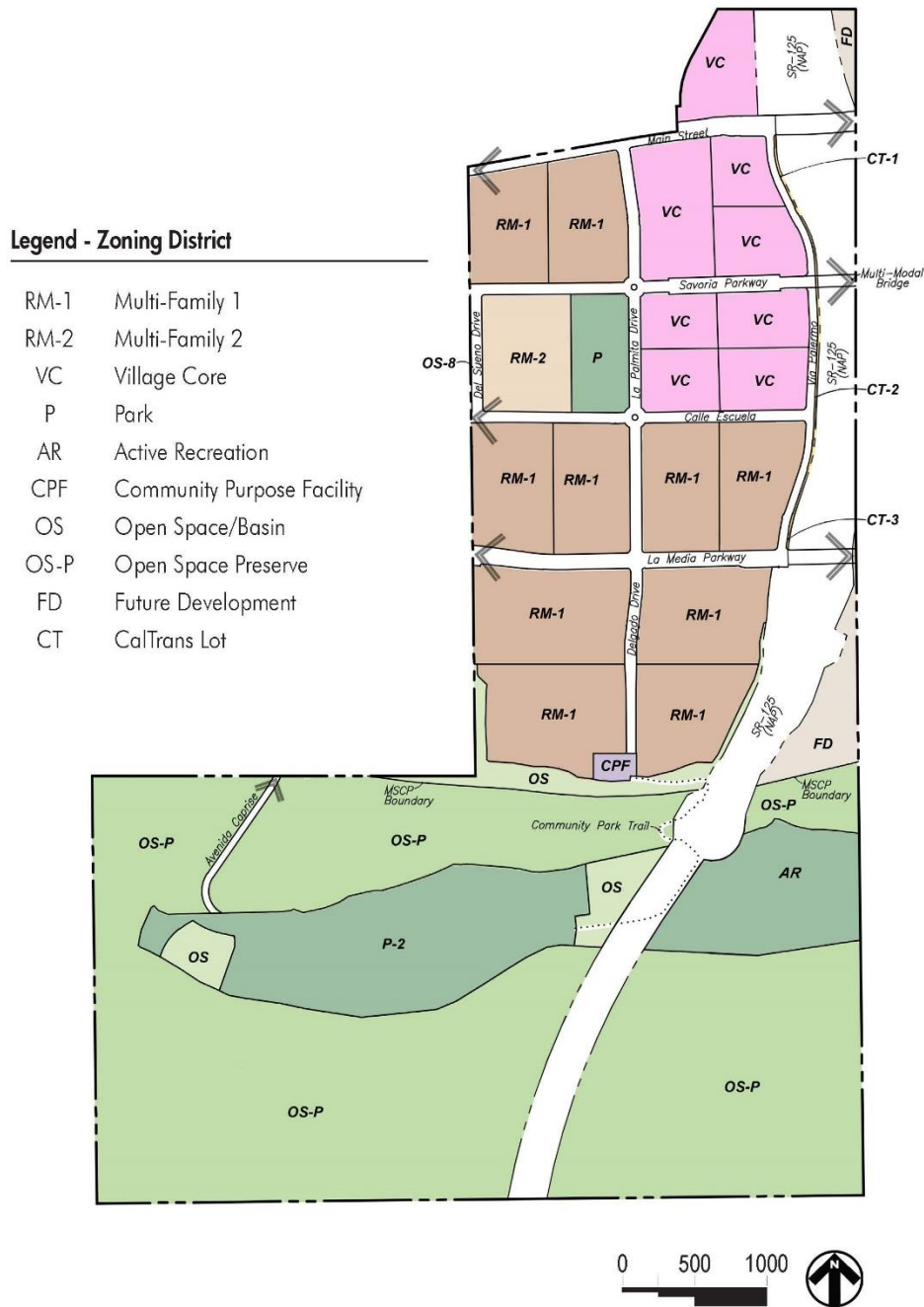
⁶ Per the Land Offer Agreement (7/8/2014), the Village 8 East SPA Plan shall designate 4.0 acres of CPF land. The Applicant is proposing to meet a portion of the Village 8 East CPF obligation by designating the 1.2-acre CPF-1 site as a private recreation facility. The remaining 2.8 acre CPF obligation shall be addressed in a separate agreement between the Applicant and the City of Chula Vista.

⁷ Both the Village 8 East SPA Plan and Tentative Map include the “Proposed” and “Alternative” configuration and acreage for the S-1 School Site and P-1 Neighborhood Park. Either the Proposed or Alternative may be implemented without the need for an amendment to the SPA Plan or TM. If the proposed configuration is implemented, the S-1 site would be 10.0 acre (net) and the P-1 park site would be 6.5 acre (net); however, if the alternative configuration is implemented, the S-1 site would be 12.0 acres (net) and the P-1 park site would be 4.6 acres (net). The final neighborhood park acreage shall be addressed in a separate agreement between the Applicant and the City of Chula Vista.

⁸ The S-1 school site has an underlying residential land use designation of High Residential. If the site is not developed as a school site, then it shall be developed as residential; however, if the site is developed as an elementary school, then the 264 units may be reallocated to another Village 8 East parcel or transferred to another village, as permitted in the Village 8 East PC District Regulations, Chapter 10, Implementation and Administration.

⁹ A portion of the Edge Trail and associated overlook features (approximately 1.76 acres) are included within the 8.2-acre OS-7 parcel. The Edge Trail area shall be secured with a public access easement and the 1.76 acres shall satisfy a portion of the Village 8 East park obligation. The 1.76-acre Edge Trail area is not counted toward meeting the Village 8 East open space requirement.

¹⁰ Village 8 East acreage adjusted from approved 2014 development area to reflect changes in SR-125 ROW and to facilitate the future SR-125 ROW Decertification process.



Note: The Village 8 East Zoning District Map is provided for reference only. See Village 8 East Planned Community District Regulations for additional information.

Exhibit 5: Village 8 East Zoning District Map

D. MAPPING REFINEMENTS AND DENSITY TRANSFERS

The SPA Plan provides guidance for future development at the subdivision and improvement plan levels and is the basic reference for determining permitted land uses, densities, total units and required public facilities. The SPA Plan is not intended to be used in a manner that predetermines the development solution for each and every parcel. It is intended to reflect the City's intent for determining the intensity, design and desired character for the property.

The development parcels and interior circulation indicated on the Site Utilization Plan is conceptual. Minor modifications to these configurations may occur as a part of the tentative tract map, final map and final engineering approval process. Modifications to the SPA Plan exhibits and text to reflect adjustments based on an approved tentative tract map or final map, may be accomplished without a formal SPA amendment, through the substantial conformance procedure established in the PC District Regulations.

Further, the SPA Plan is not a guarantee that a certain dwelling unit yield will be achieved on each parcel; however, the maximum density as specified for individual parcels shall not be exceeded. Actual dwelling unit yields for projects will be determined by field conditions and a number of external factors that influence the design and density of individual projects. Dwelling unit reallocations between parcels may be permitted so long as the total dwelling units authorized for Village 8 East (3,276) is not exceeded and the transfer and receiving parcels remain consistent with the density range of the land use designation/zoning district applied to each parcel per the Village 8 East Site Utilization Plan and Village 8 East Zoning District Map. Said transfer shall be documented in the Unit Tracking Matrix as part of Design Review.

Minor changes to the parcel boundary shown on the Village 8 East Zoning District Map resulting from the approval of a tentative or final map shall be subject to approval of the Director of Development Services, or their designee (See Chapter 10. Implementation & Administration, Otay Ranch Village 8 East, Planned Community District Regulations.)

E. DENSITY TRANSFERS BETWEEN VILLAGES

Villages 3 North and a Portion of Village 4 (Village 3 North), 8 East and 10 were concurrently planned and processed as three separate SPA Plans. Pursuant to the Land Offer Agreement between the City of Chula Vista and SSBT LCRE V, LLC (Applicant) dated July 8, 2014, 6,897 units are allocated amongst the three SPA Plan Areas. Because these villages would be built out over approximately 15 years, it was impossible to determine the market demand in each village throughout build-out. Therefore, to accommodate future fluctuations in market demand, the Land Offer Agreement permits density transfers between villages of up to 15% of the

total units authorized for each village. The criteria below must be met for the density transfer to be approved without a SPA Plan Amendment.

Pursuant to the Land Offer Agreement, the Applicant may transfer, at its discretion, up to fifteen percent (15%) of the units allocated to a village within the Project to another village within the same Project. The Director of Development Services may administratively approve, in his or her discretion, any transfer of units more than fifteen percent (15%) or any transfer of units to another village within Otay Ranch but not within the Project, if all of the following requirements are satisfied:

- The transfer of units between villages is consistent with the village design policies and the Entitlements for the village into which the units are being transferred;
- The total number of units for the Project is not exceeded;
- Public facilities and infrastructure including schools and parks are provided based on the final number of units within each village or Planning Area;
- The planned identity of the villages are preserved including the creation of pedestrian friendly and transit-oriented development;
- Preserve conveyance obligations will continue to be based on the final map development area; and
- The Applicant provides proof to the City of Chula Vista that all affected property owners (owners of any parcel subject to the proposed transfer) consent to the Density Transfer.

F. SECONDARY DESIGNATION FOR ELEMENTARY SCHOOL SITE

The elementary school site has been designated on the Village 8 East Site Utilization Plan for planning purposes; however, if a school district determines that the school site will not be used for school purposes, the underlying High Residential (RM-2) zoning will be implemented with densities of 18-27 dwelling units per acre.

Table 1: Village 8 East Site Utilization Summary allocates 264 multi-family units to the S-1 school site.

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III. Circulation



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III. CIRCULATION PLAN – A MULTI-MODAL APPROACH

A. INTRODUCTION

The Village 8 East Circulation Plan provides a multi-modal system that extends existing transportation routes and constructs planned facilities. The Circulation Plan incorporates vehicular and non-vehicular modes of transportation with public transportation as required by the Otay Ranch GDP. The Chula Vista General Plan Land Use and Transportation Element encourages, “a sustainable circulation/mobility system that provides transportation choices and is well-integrated with the City’s land uses.” In addition, the CVGP includes policies which emphasize improved linkages between land development and pedestrian networks, including:

- Promote and encourage development with a mix of commercial and residential organized around compact, walkable, neighborhoods and districts that are close to a wide variety of employment, goods and services, so as to reduce reliance on the automobile.
- Encourage inviting, well-planned, pedestrian-friendly street environments in all new development with good site design, adequate walkway widths and amenities.
- Encourage and promote pedestrian-friendly elements for transit including enhancements to roadways, interchanges and bridge crossings.
- Promote the use of non-polluting and renewable alternatives for mobility through a system of NEV, bicycle and pedestrian paths and trails that are safe, attractive and convenient forms of transportation.
- Support healthy lifestyles among residents through increasing opportunities for regular physical activity by encouraging the development of a network of pedestrian walkways in all neighborhoods.

The Village 8 East Circulation Plan establishes a network that provides access to the community as established by the Otay Ranch GDP and in accordance with the CVGP. The Circulation Plan arranges roads into a hierarchy, organized by function, to facilitate access within and around the village. Streets within the SPA Plan Area are designed as “complete” streets defined as roadways that are “...designed and operated to enable safe access for all users. Pedestrians, bicyclists, motorists and transit riders of all ages and abilities much be able to safely move along and across a complete street. (Complete Street Coalition).” These facilities are designed to create an integrated system of roads, bike lanes, NEV, trails and pedestrian walkways.

Concurrent with the replanning effort in Village 8 East, CALTRANS initiated a

Project Study Report-Project Development Support (“PSR-PDS”) to evaluate alternatives that provide new local street connections, increase capacity, improve mobility, and relieve congestion on State Route 125 (SR-125) between the Otay River and Birch Road. The PSR-PDS includes four preliminary designs for the SR-125 interchanges at Main Street and La Media Parkway. The Village 8 East land use plan reflects Alternative B. The Village 8 East SPA and Tentative Map reflect the ultimate SR-125 ROW and design for Alternative B described below.

Alternative B: Couplet/Parallel Street System Interchange Alternative B consists of a couplet/parallel street system interchange with ramps at Main Street and La Media Parkway acting as a single freeway access point via connected one-way frontage roads (Type L-5 per Caltrans Highway Design Manual (“HDM”) Section 502.2(C)). For this alternative, vehicles traveling northbound on SR-125 would exit at La Media Parkway and enter SR-125 at Main Street. Similarly, southbound vehicles would exit SR-125 at Main Street and enter SR-125 at La Media Parkway. The on/off ramps at La Media Parkway and Main Street will be connected by two-lane, one-way frontage roads. This alternative will include three new overcrossings of SR-125 at Main Street, La Media Parkway and a new Multi-Modal Bridge (17-foot wide).

The Village 8 East plan also connects to local and regional trails systems that provide access between village cores, neighborhood parks, community parks, elementary schools, open space areas including the Chula Vista Greenbelt Trail and Regional Trail systems, and residential areas. Street classifications within the village are consistent with the Chula Vista 2002 Street Otay Ranch Design Standards and have been refined to reflect the specific opportunities and constraints of the SPA Plan Area. Specific street design standards are established at the Tentative Map level and conceptually presented in this SPA Plan.

The SPA Plan Public Facilities Finance Plan (“PFFP”) establishes a circulation phasing plan which identifies the timing of specific improvements necessary to serve the project. The PFFP also describes the obligations for the construction, or contributions toward construction, for specific street segments which provide access to the village.

The following sections describe the regional circulation network, project circulation network, street standards, phasing of street improvements, transit planning and bicycle and pedestrian trails for the SPA Plan Area.

B. REGIONAL CIRCULATION NETWORK

Regional access to Village 8 East is provided by State Route 125, which is located adjacent to the project site. The vehicular circulation network is conceptually shown in **Exhibit 6: Vehicular Circulation Plan**. SR-125 couplet interchange planned between Main Street and La Media Parkway will provide access from Village 8 East to SR-125. See **Exhibit 7: SR-125 Couplet Interchange Concept**

Plan for additional information. I-805 located approximately 4 miles west of Village 8 East, provides additional north-south access as does I-5, approximately 7 miles west of the SPA Plan area. State Route 54 and SR-905 provide regional east-west circulation approximately 7 miles north and south of the project site, respectively.

Main Street, a 6-lane Prime Arterial, provides east-west access to the SPA Plan Area and connects to SR-125 just east of Village 8 East. North-south access is provided via La Media Parkway, a 4-lane Major Road that provides secondary access through the SPA Plan Area.

The Otay Ranch GDP provides for the expansion of the regional transit system into Otay Ranch. An east-west Rapid Bus service line is planned along Main Street. A north-south Bus Rapid Transit (BRT) route is planned through the Eastern Urban Center, connecting to Village 9 adjacent to Village 8 East. Local bus service is anticipated along Main Street.

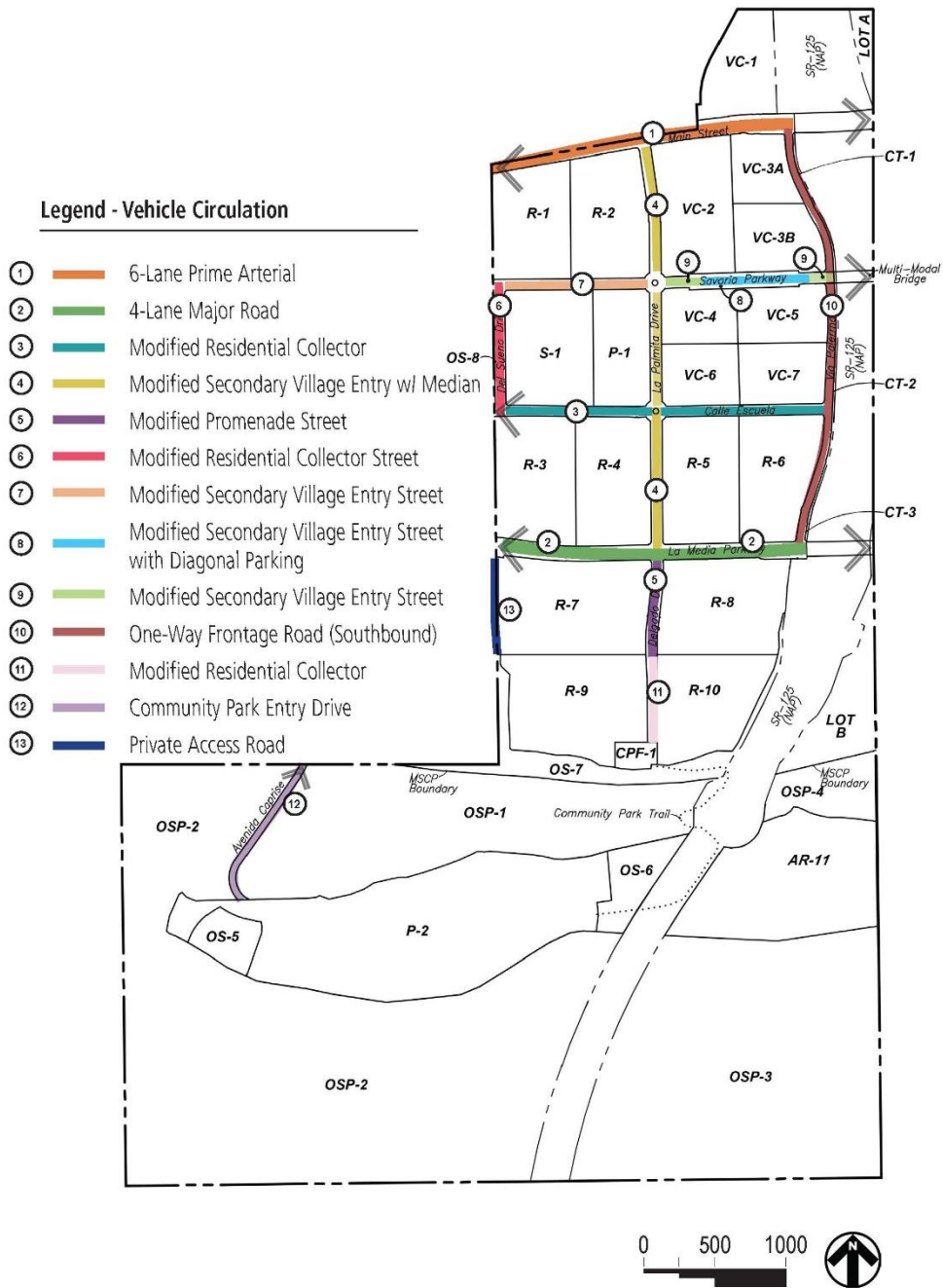
C. VEHICULAR CIRCULATION NETWORK

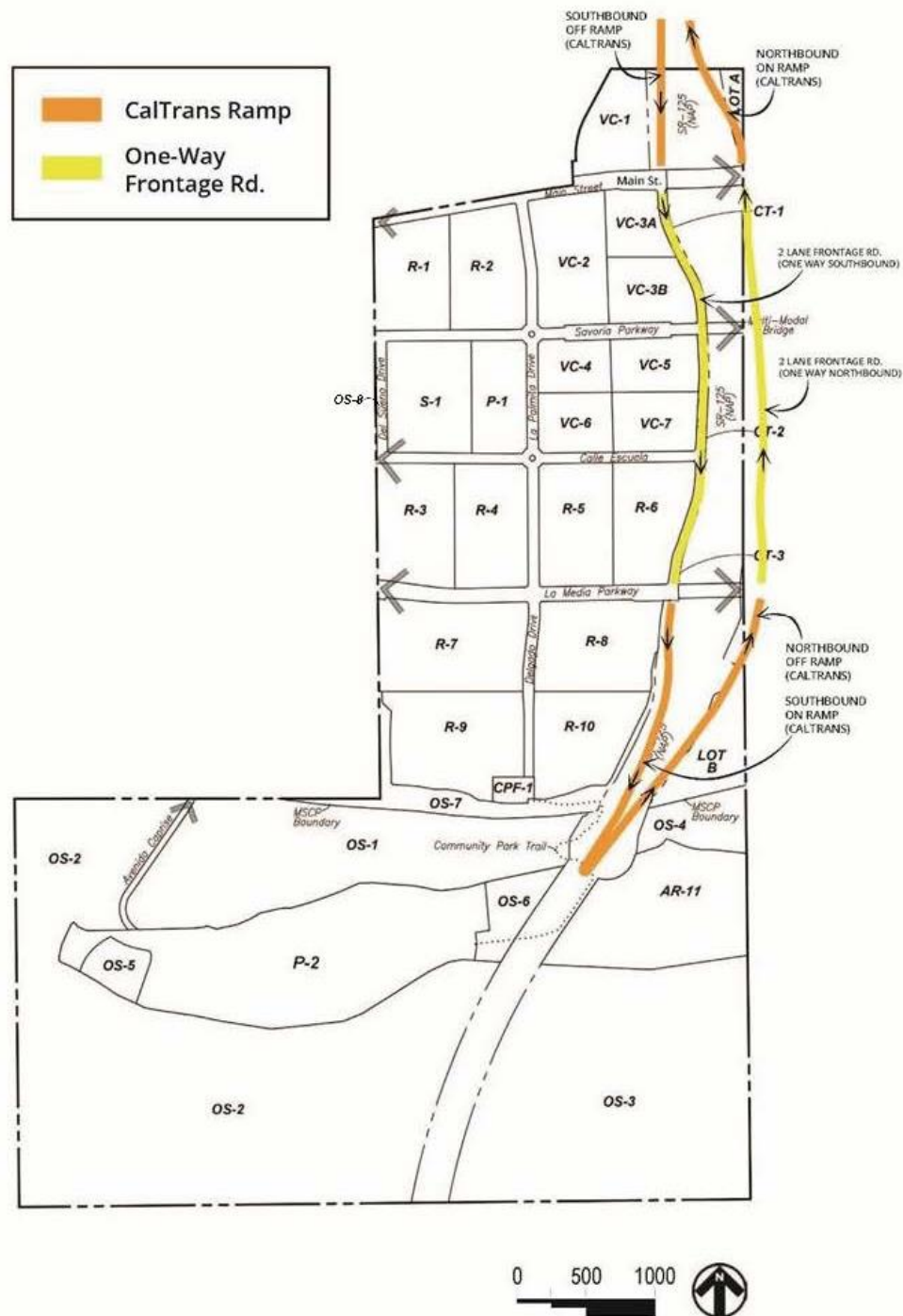
The primary entry from the north into Village 8 East will be from Main Street at La Palmita Drive. La Media Parkway, a 4-Lane Major Road provides additional access from the west and east. These entries will be signalized and allow full turning movements.

The internal circulation concept provides adequate vehicular access through the village, with alternate routes to disperse traffic. The internal circulation streets are specifically designed to enhance the Village 8 East village core and surrounding neighborhoods. Traffic calming features, such as narrowed streets, roundabouts, medians, curb-side parking and diagonal parking are located in the internal circulation network at appropriate locations. The final traffic calming measure locations to be determined during final engineering.

The circulation plan encourages pedestrian activity, bicycle access and NEV routes. Pedestrians are accommodated on all streets which are designed with landscaped parkways along sidewalks, Promenade Trails, Village Pathways or Regional Trails to create a fully connected pedestrian network. Main Street and La Media Parkway include an off-street 5-foot-wide bike lane adjacent to the Chula Vista Regional Trail. Private street configurations to be determined during Design Review and refined during final engineering.

The phasing of development concurrent with the provision of adequate road capacity and access improvements is fully described in the PFFP. These improvements have been phased and designed to maintain an adequate level of service in the circulation system serving the SPA Plan Area and on internal roadways throughout build-out.

**Exhibit 6: Vehicular Circulation Plan**



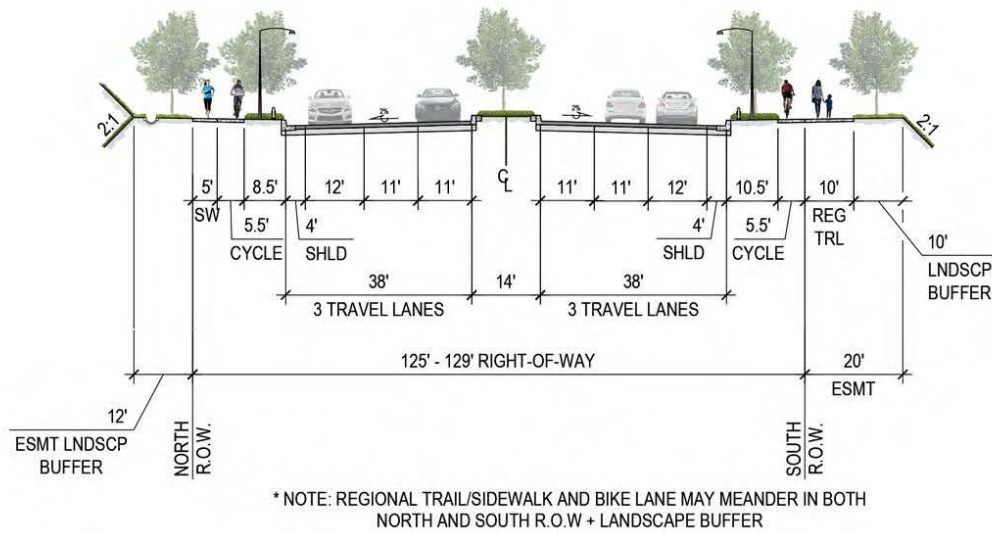
Note: The Applicant is coordinating with CALTRANS and the City of Chula Vista on the SR-125 Couplet Interchange Design. This concept plan is provided for reference only and is subject to final design and approval by CALTRANS.

Exhibit 7: SR-125 Couplet Interchange Concept Plan

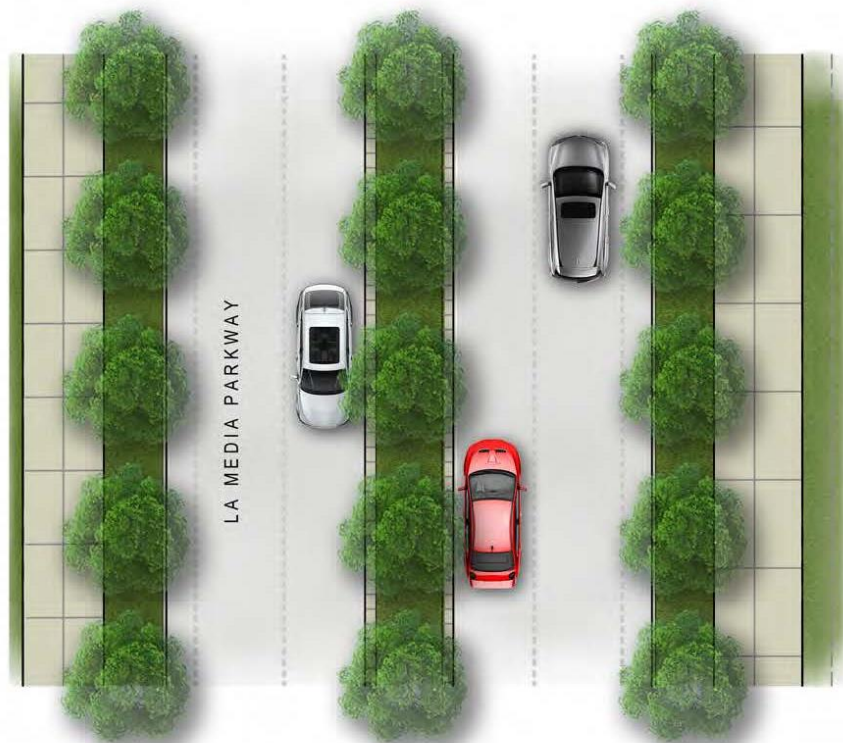
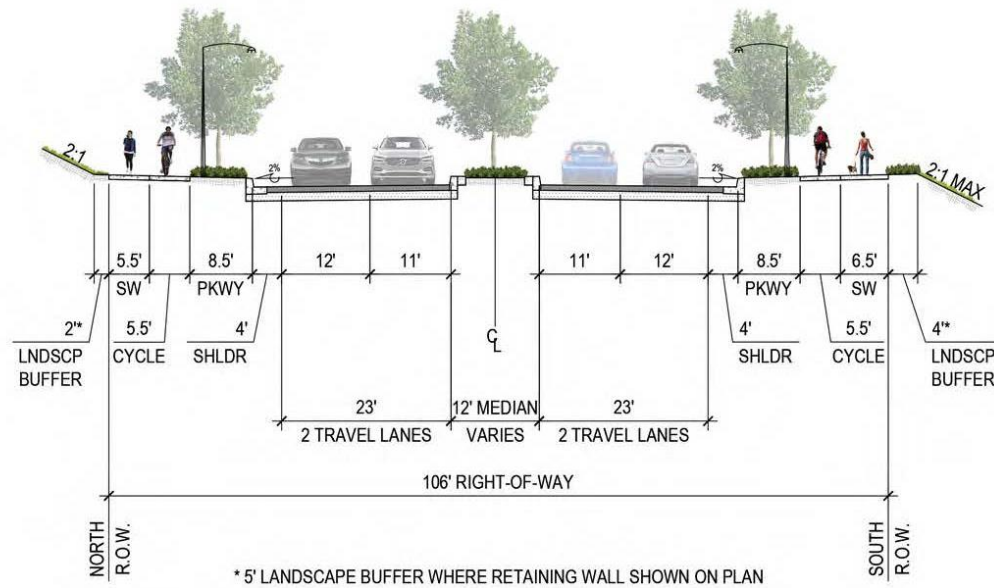
D. STREET STANDARDS

Street standards for the arterial roads were established in the Mobility Chapter of the Otay Ranch GDP and previous project development approvals. Internal streets, based on the City of Chula Vista Design and Construction Standard Drawings (2017), will be constructed to meet City engineering standards and conform to the policies of the Otay Ranch GDP. The Mobility chapter of the Otay Ranch GDP also allows modifications to standard street designs specific to each village. Final improvement designs will be determined as part of the subdivision approval process.

The Otay Ranch GDP describes automobile-oriented improvements as only one component of an integrated mobility system, which includes bicycles, pedestrian trails and public transit systems. For this reason, all circulation streets in and around the SPA Plan Area have been designed to minimize steep gradients where possible, and all circulation street right-of-way designs provide sidewalks or trails appropriate to the street classification.

**Exhibit 8: Six Lane Prime Arterial**

Main Street (TM Street Section 1)

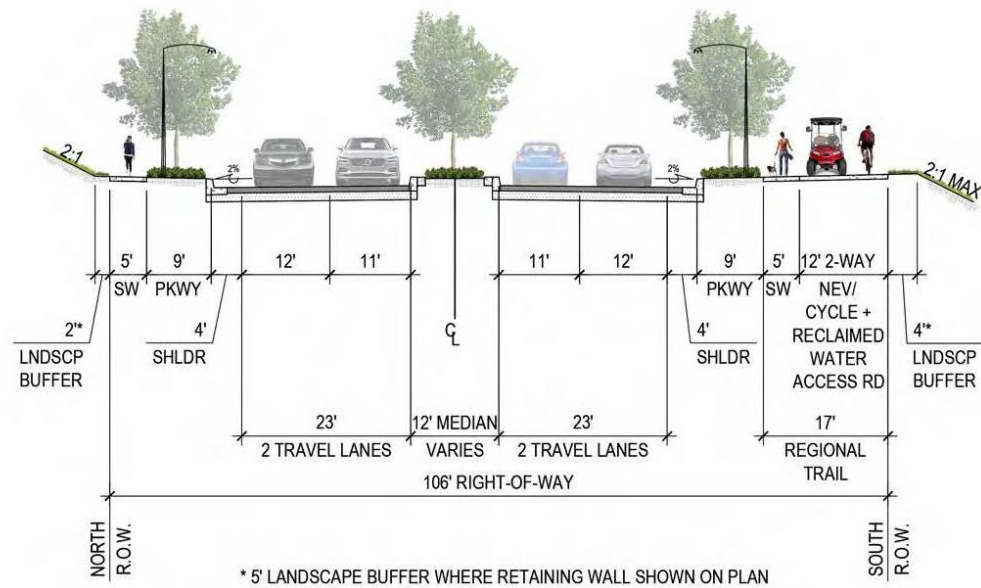


Westerly project boundary to La Palmita Drive / Delgado Drive

Exhibit 9: 4- Lane Major Road

Not to Scale

La Media Parkway (TM Street Section 2A)

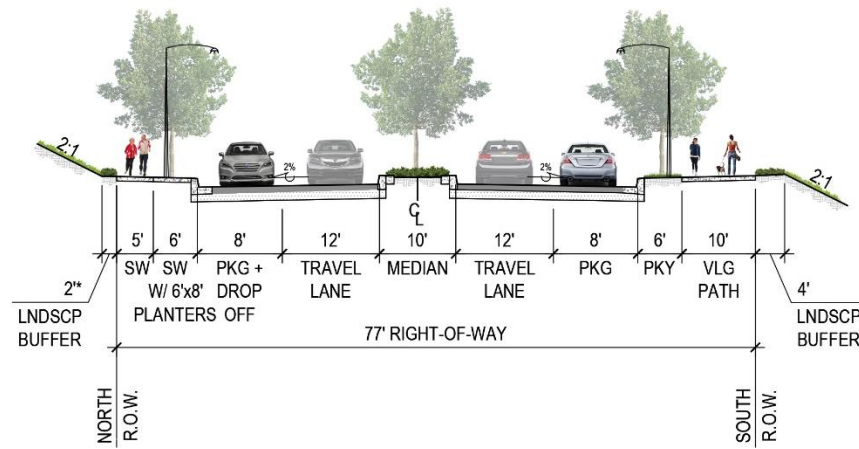


La Palmita Drive / Delgado Drive to easterly project boundary

Exhibit 10: 4- Lane Major Road (continued)

Not to Scale

La Media Parkway (TM Street Section 2B)



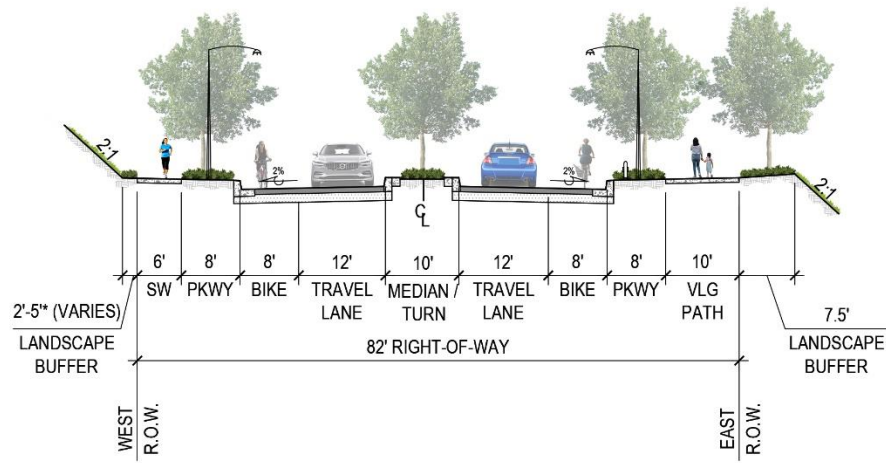
*5' MIN. LANDSCAPE BUFFER WHERE RETAINING WALL SHOWN ON PLAN



Exhibit 11: Modified Residential Collector

Not to Scale

Calle Escuela (TM Street Section 3)



*LANDSCAPE BUFFER VARIES DEPENDING ON SLOPE CONDITION

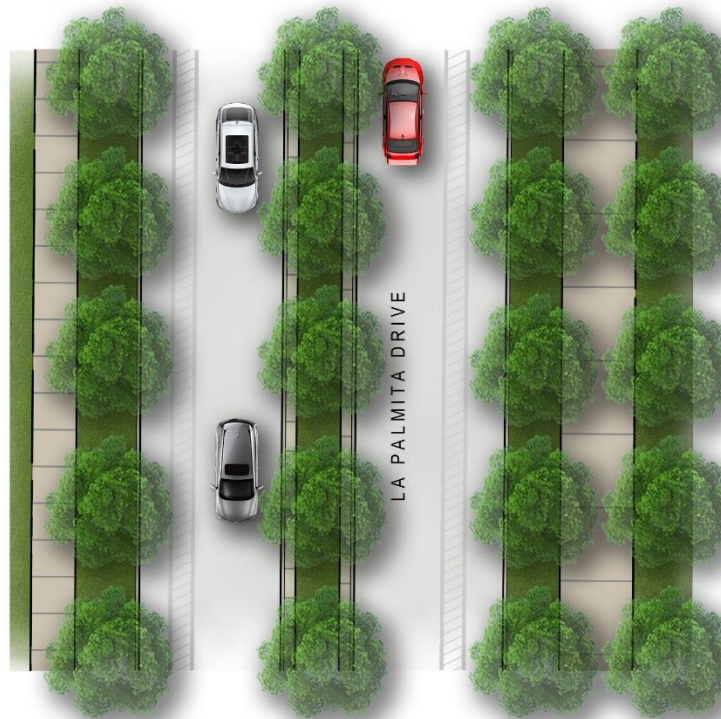
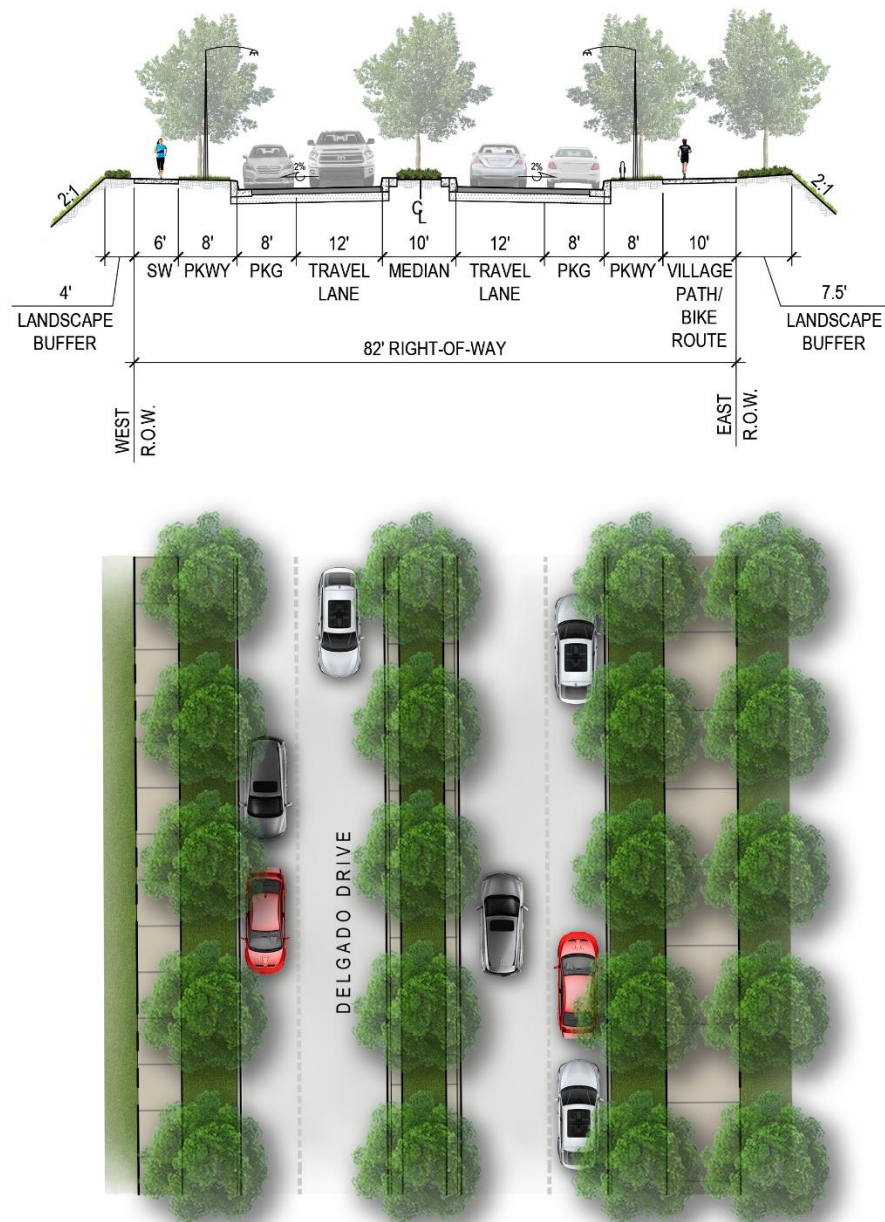


Exhibit 12: Modified Secondary Village Entry with Median

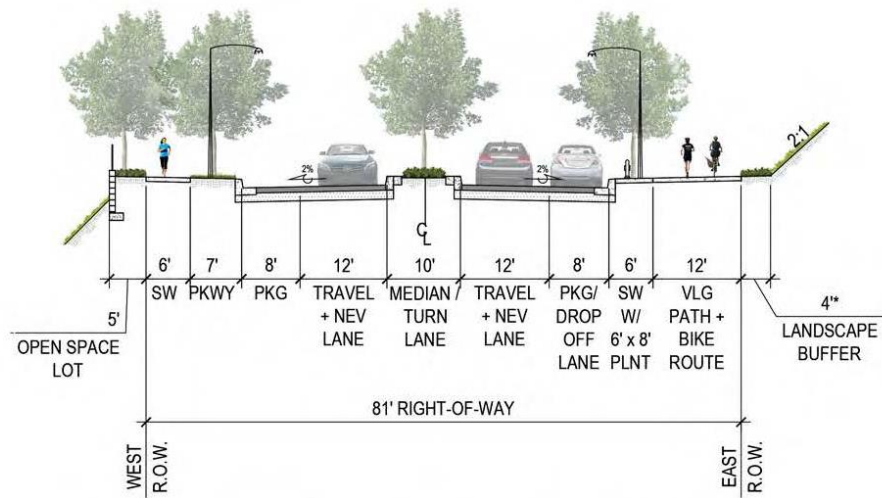
Not to Scale

La Palmita Drive (TM Street Section 4)

**Exhibit 13: Modified Promenade Street**

Not to Scale

Delgado Drive (TM Street Section 5)



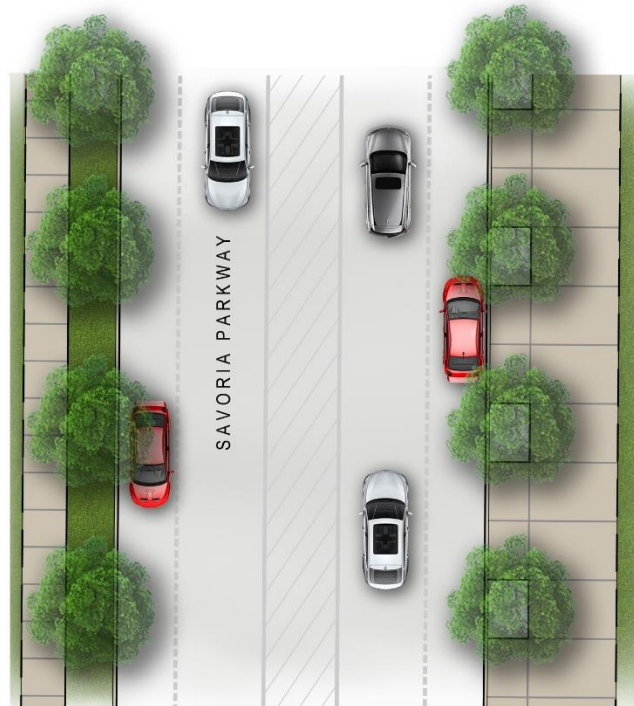
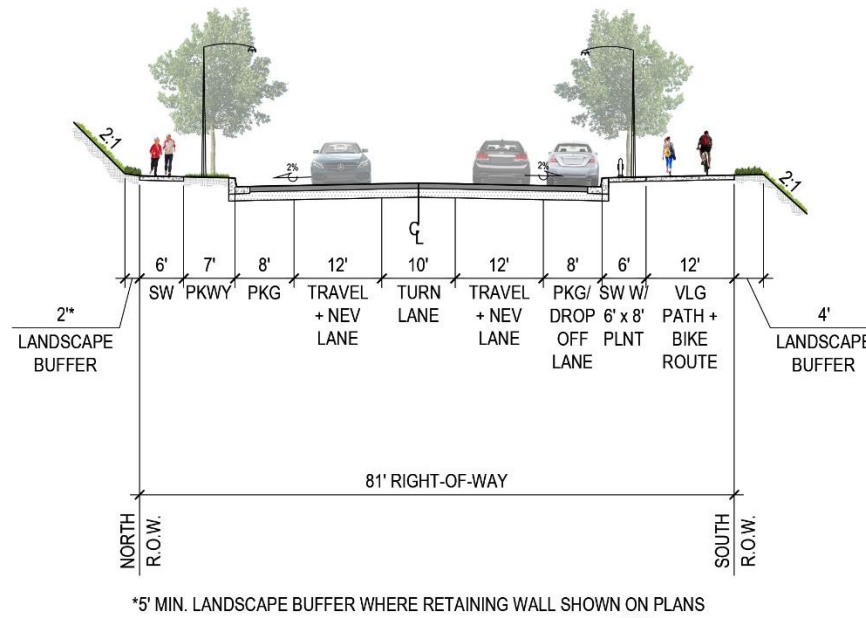
*5' MIN. LANDSCAPE BUFFER WHERE RETAINING WALL SHOWN ON PLANS



Exhibit 14: Modified Residential Collector

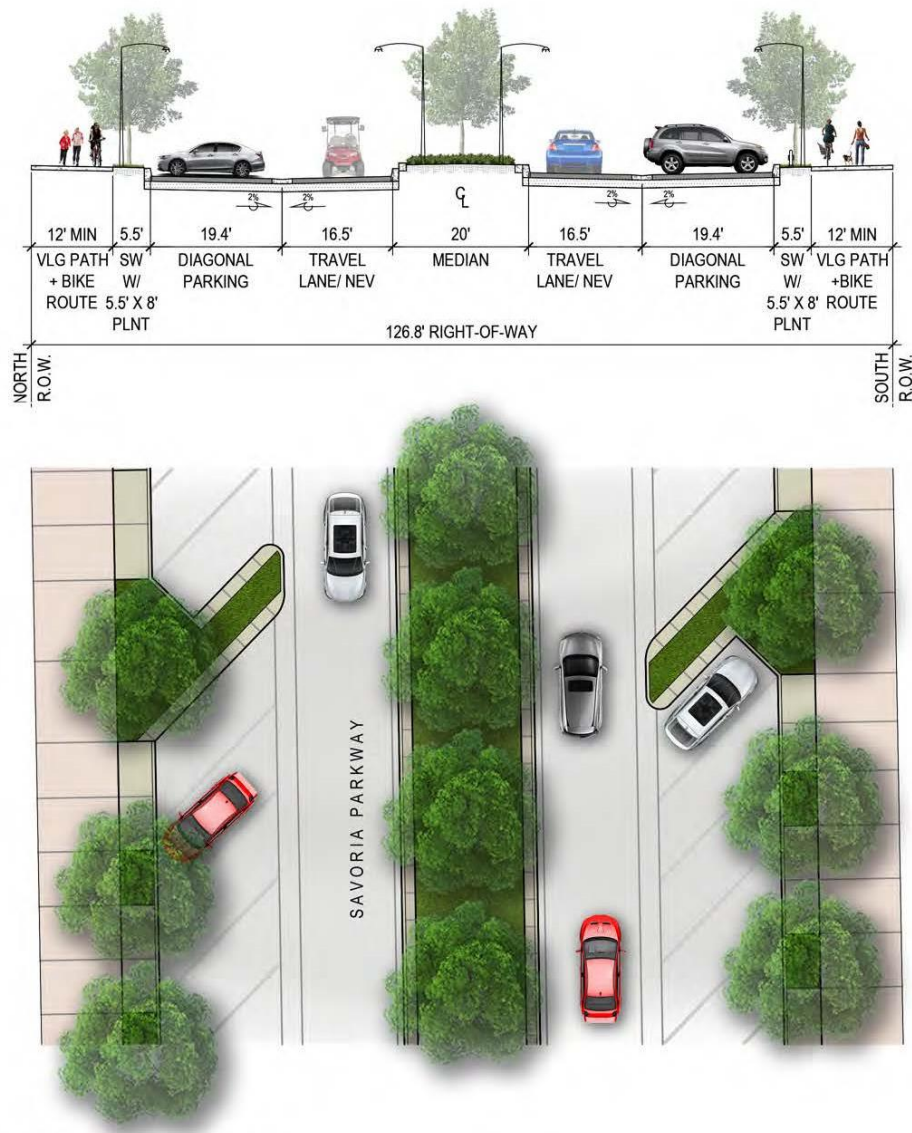
Not to Scale

Del Sueño Drive (TM Street Section 6)

**Exhibit 15: Modified Secondary Village Entry Street**

Not to Scale

Portion of Savoria Parkway at School/Park (TM Street Section 7)

**Exhibit 16: Modified Secondary Village Entry Street with Diagonal Parking**

Not to Scale

Portion of Savoria Parkway at Village Core (TM Street Section 8)

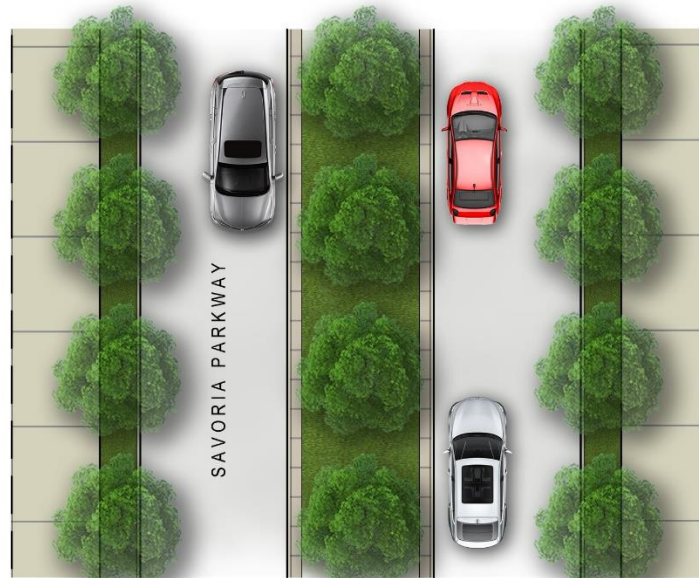
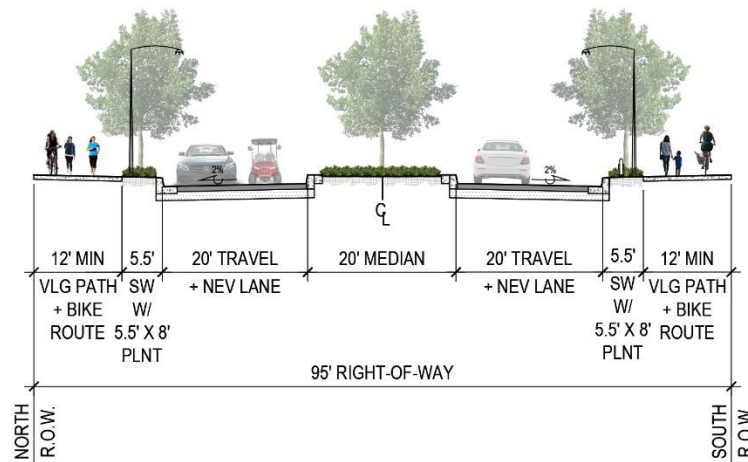
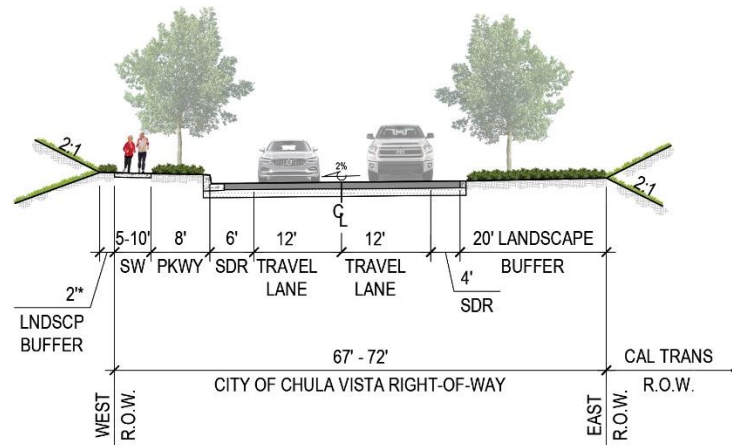


Exhibit 17: Modified Secondary Village Entry Street

Not to Scale

Portion of Savoria Parkway at Village Core (TM Street Section 9)



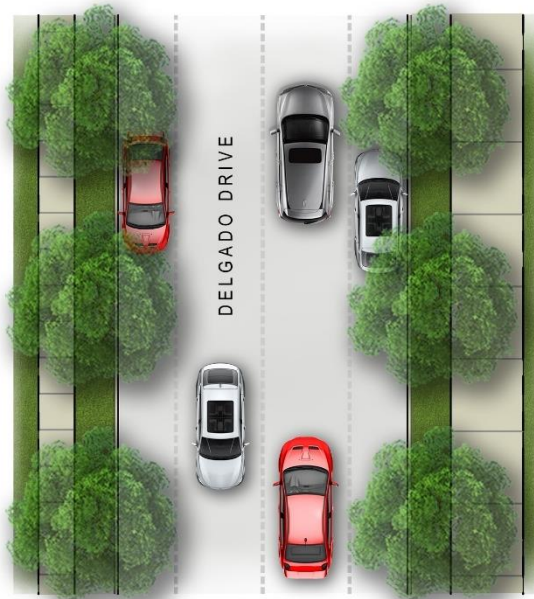
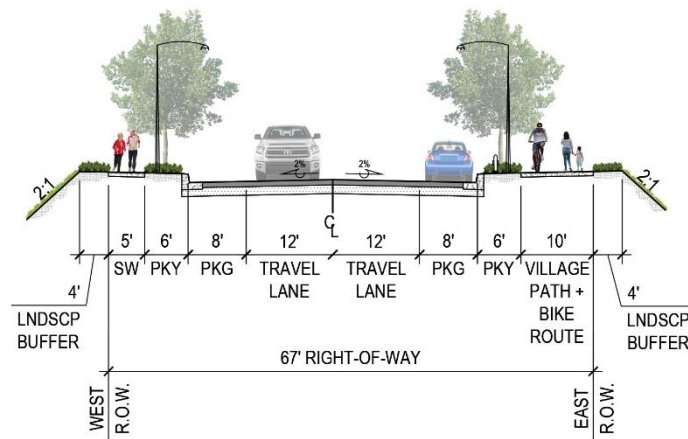
*5' MIN. LANDSCAPE BUFFER WHERE DOWN SLOPE OR RETAINING WALL SHOWN ON PLANS



Exhibit 18: One Way Frontage Road (Southbound)

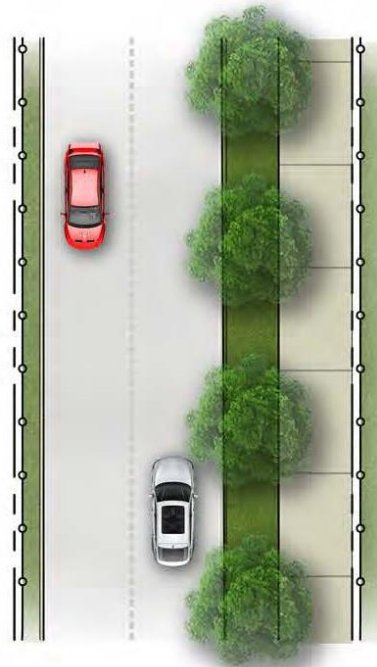
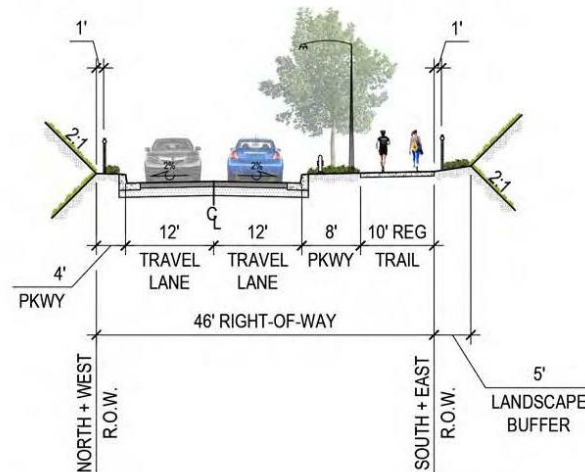
Not to Scale

Via Palermo (TM Street Section 10)

**Exhibit 19: Modified Residential Collector**

Not to Scale

Portion of Delgado Drive (Parcel R-7 to CPF-1) (TM Street Section 11)

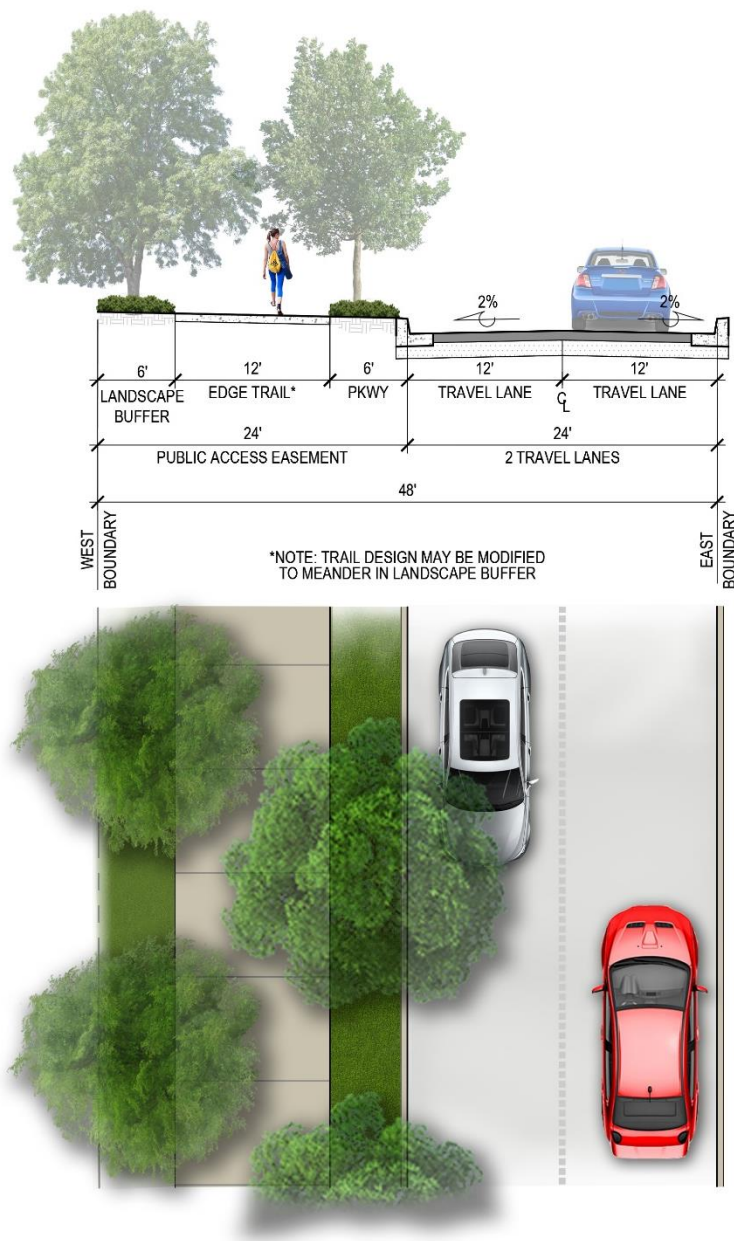


Note: The Community Park Entry Drive (Avenida Caprise) was included in the adopted Village 8 West SPA and Tentative Map as an off-site improvement. This illustrative representation is consistent with the Village 8 West approved design and is provided for reference only.

Exhibit 20: Community Park Entry Drive

Not to Scale

Village 8 West Avenida Caprise (TM Street Section 12)

**Exhibit 21: Private Access Road**

Not to Scale

Western Edge of R-7 to La Media Parkway (TM Street Section 13)

E. TRAFFIC CALMING PLAN

The purpose of the Village 8 East Traffic Calming Plan is to lower the vehicle speeds on neighborhood streets without restricting access. This Traffic Calming Plan includes a set of street designs that slow and reduce traffic speeds while encouraging walkers and cyclists to share the street, Village Pathway or Regional Trail facilities. The intent in implementing traffic calming measures throughout Village 8 East is to create streets that are valuable public spaces shared equally by all users.

The overall goals of the Traffic Calming Plan are to:

- Improve the quality of life for residents;
- Reduce impacts of motor vehicles on local and collector streets;
- Create safe and attractive streets; and
- Create a friendly environment for pedestrians and bicyclists.

The objectives of the Traffic Calming Plan are to:

- Increase the level of respect for non-motorists;
- Create a feeling of safety for all users;
- Improve safety and convenience for all users;
- Reduce traffic accidents;
- Reduce noise;
- Provide space for non-vehicular users;
- Enhance street appearance;
- Reduce vehicular speed; and
- Reduce the need for enforcement.

Traffic calming measures are designed to physically force drivers to slow down to avoid an uncomfortable driving experience. Traffic calming measures can also be designed to achieve a desired speed limit which drivers are physically compelled to meet. Design considerations include safety, maintenance, emergency vehicle access, self-enforcement and drainage. There are a variety of traffic calming measures that are widely used throughout the United States. The Village 8 East Traffic Calming Plan includes the traffic calming measures described in **Table 2: Traffic Calming Measures**. The conceptual locations of proposed traffic calming measures are depicted in **Exhibit 22: Conceptual Traffic Calming Plan**. The final locations of these measures will be determined during final engineering.

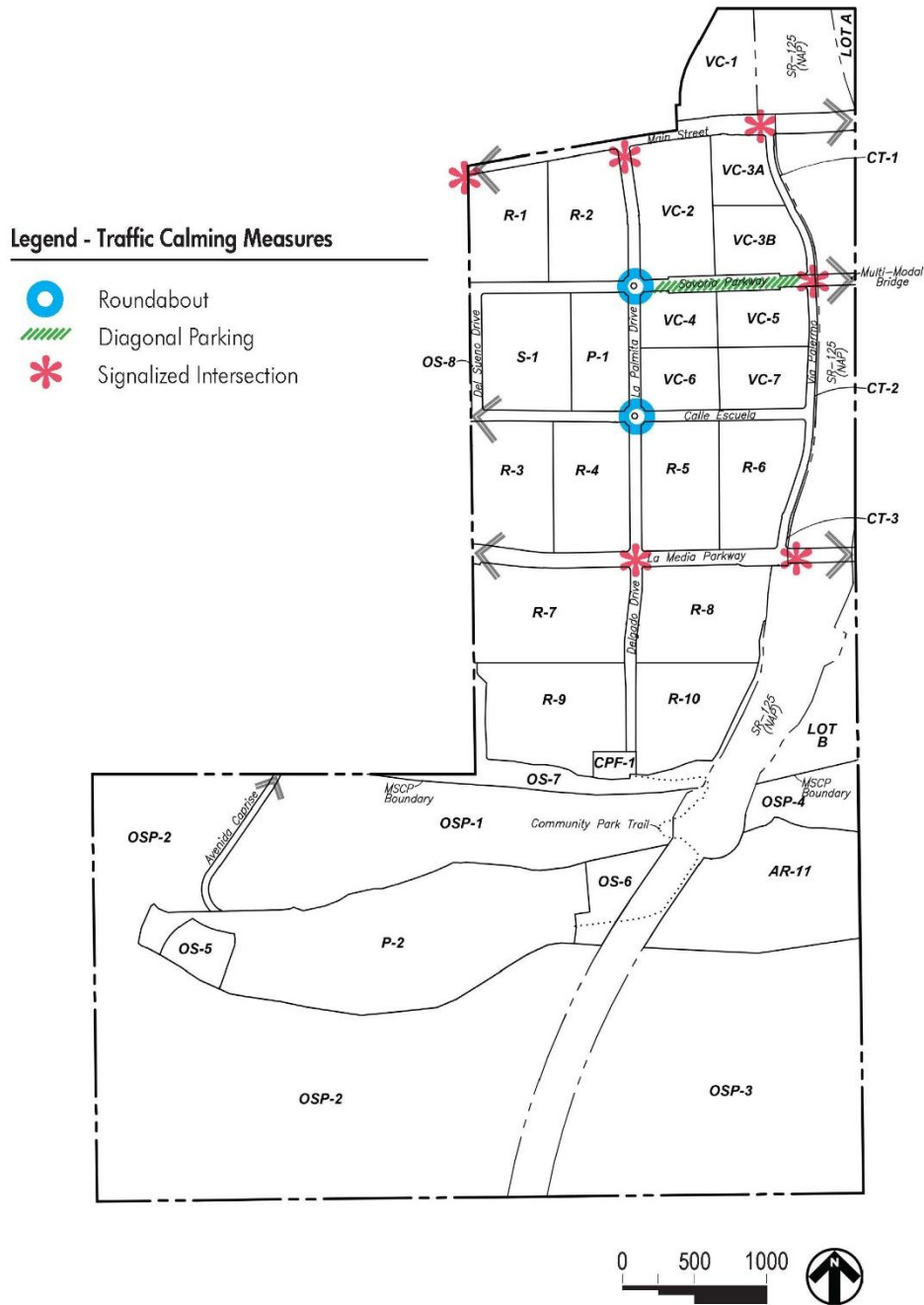
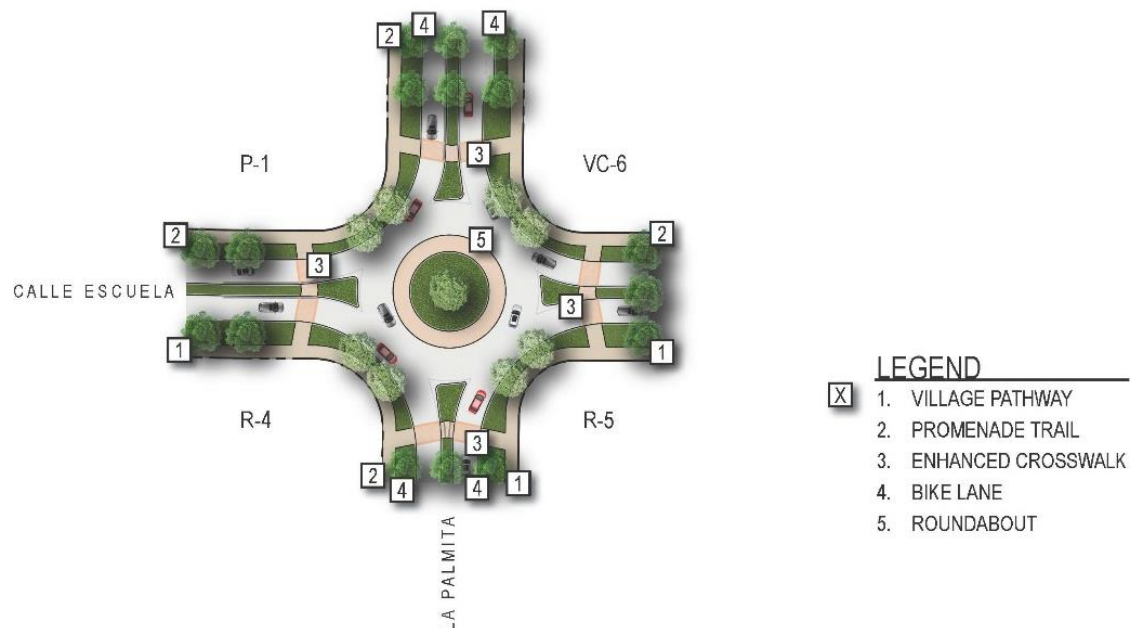
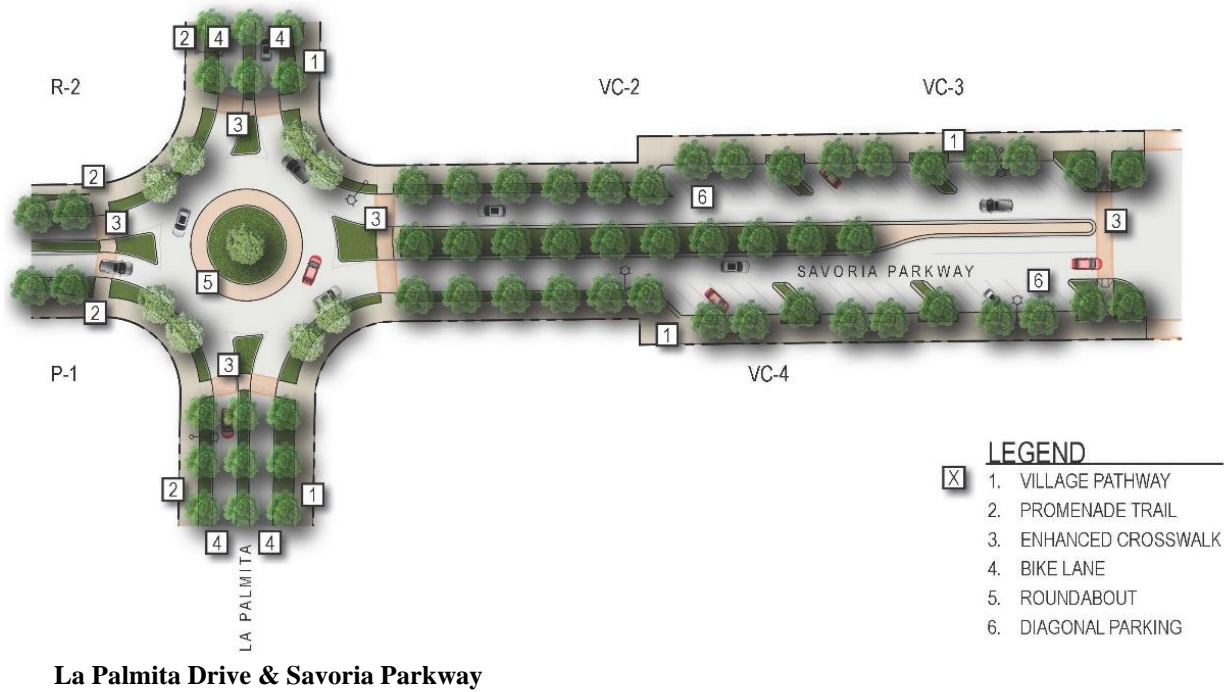
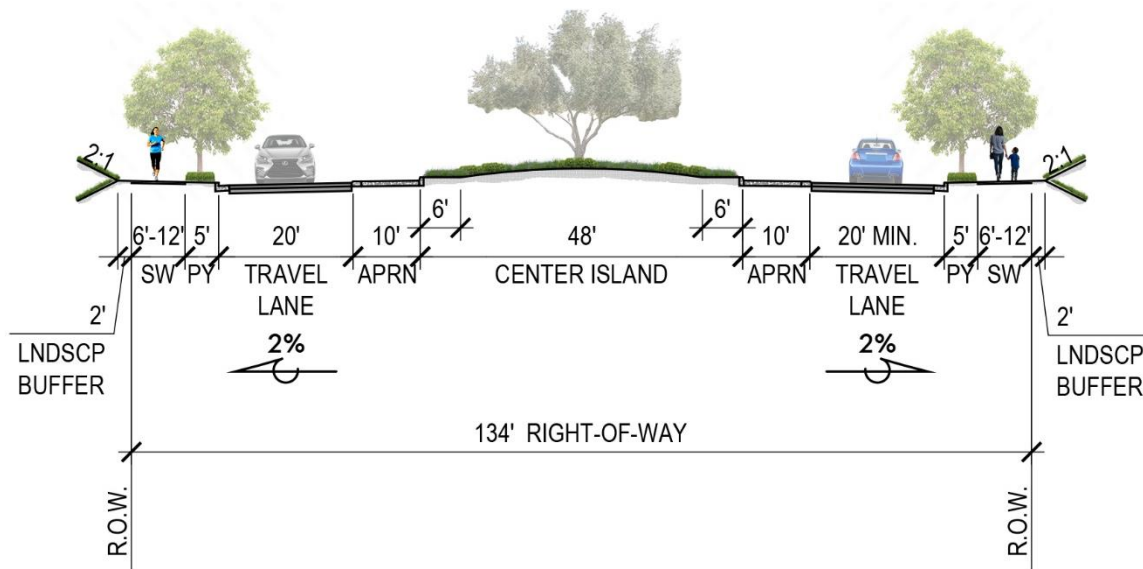
**Exhibit 22: Conceptual Traffic Calming Plan**

Table 2: Traffic Calming Measures

Traffic Calming Measure	Description	Benefit/Target
Roundabouts	Roundabouts include a raised center landscaped island, special paving, splitter islands, accessible pedestrian crossings and pedestrian/bike refuge islands and ramps	<ul style="list-style-type: none"> • Reduces speed • Improves safety • Provides multi-modal accommodations • Improves traffic movement • Replaces traffic stops/signals
Lane Narrowing	Travel lanes are narrowed by reducing the paving width from standards and may include pavement markings	<ul style="list-style-type: none"> • Reduces speed • Improves safety • Provides multi-modal accommodations
On-Street Bicycle Facilities	Bicycle lanes are designated through the use of signage and pavement striping identifying separate travel lanes for bicycles	<ul style="list-style-type: none"> • Reduces speed • Improves safety • Provides multi-modal accommodations
On-Street Parking	Striped diagonal parking or parallel parking along one or both sides of a street	<ul style="list-style-type: none"> • Reduces speed • Improves safety

**Exhibit 23: Conceptual Roundabouts**



Typical Roundabout Cross Section

Exhibit 23: Conceptual Roundabouts (continued)

F. ALTERNATIVE MODES

Alternative modes of transportation including NEVs, bicycles, walking and transit. Providing alternative modes allows people to get out of their cars and into the public realm where they can interact with one another as a vibrant community. Alternative modes also promote healthier lifestyles by encouraging increased physical activity and potentially reducing vehicle use and associated air pollutants.

The following section describes the primary alternative modes accommodated within Village 8 East. These include public transportation and NEV, pedestrian, and bicycle facilities.

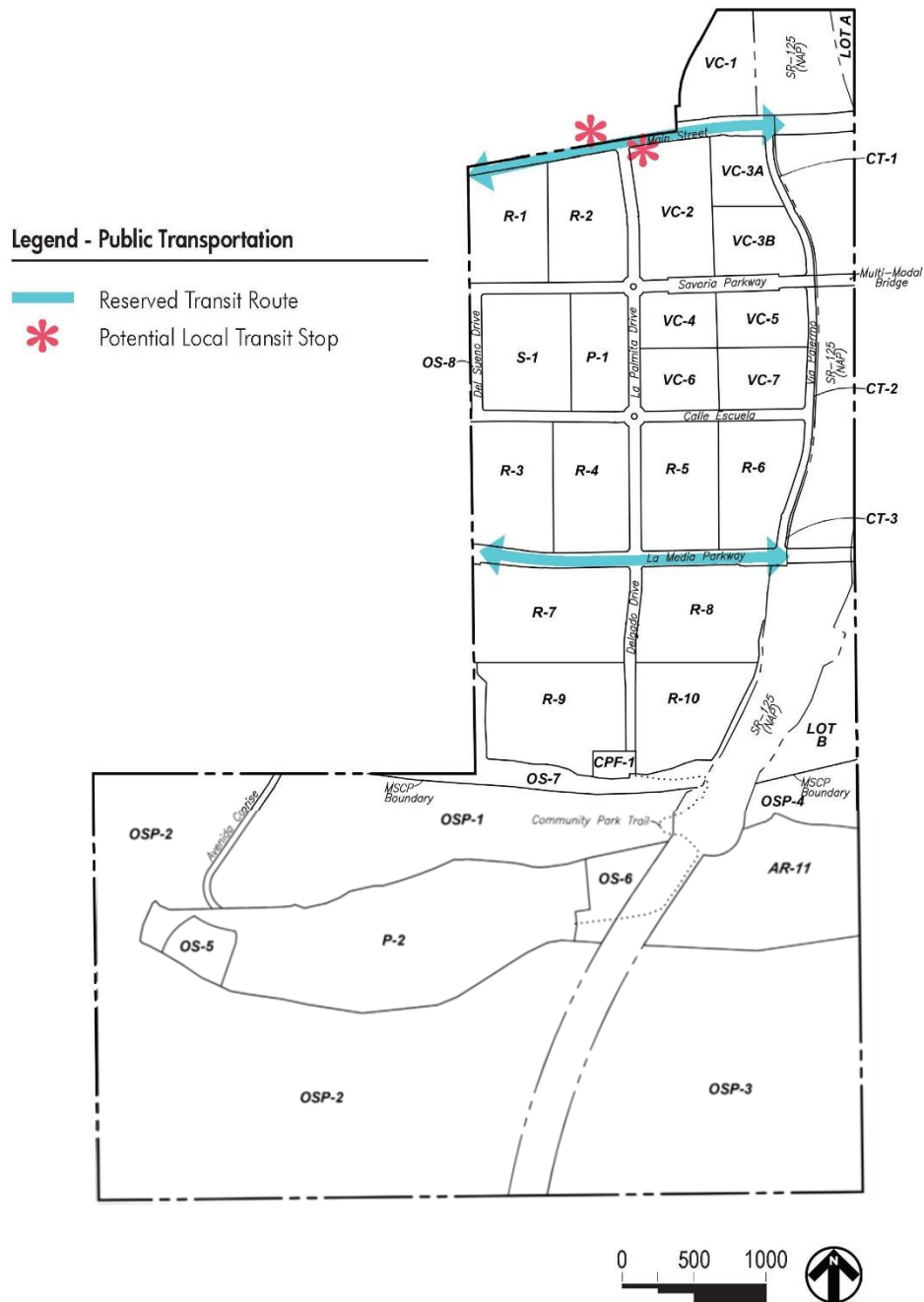
1. Public Transportation

Public transportation is an integral part of the Otay Ranch Community. The design of the SPA Plan Area promotes access to public transit and locates land uses close to proposed transit stations and local bus stops. The San Diego Association of Governments (SANDAG) is responsible for regional transportation and transit planning. The SANDAG Board of Directors adopted the San Diego Forward: 2021 Regional Plan which established the multimodal transportation system for San Diego County, including the City of Chula Vista. The 2021 Regional Plan includes Rapid Bus service from Downtown San Diego to Otay Ranch and ultimately to East Otay Mesa and the Mexican Border. In addition, Rapid Bus routes link the H Street Trolley Station to Otay Ranch via Southwestern College. The Chula Vista General

Plan also includes plans for a Rapid Bus Route between the Palomar Street Trolley Station and EastLake Business Center via Main Street and Otay Ranch. Rapid Bus service is planned along La Media Parkway and Main Street, with a planned stop in the Village 8 West Town Center. The conceptual transit plan for the SPA Plan Area is shown in **Exhibit 24: Conceptual Public Transportation Plan**.

There are no planned Rapid Bus stops planned within Village 8 East. Local Bus Service may be provided through Village 8 East on Main Street with potential stops located at the La Palmita Drive intersection. Transit stop locations and design are based on the following principals:

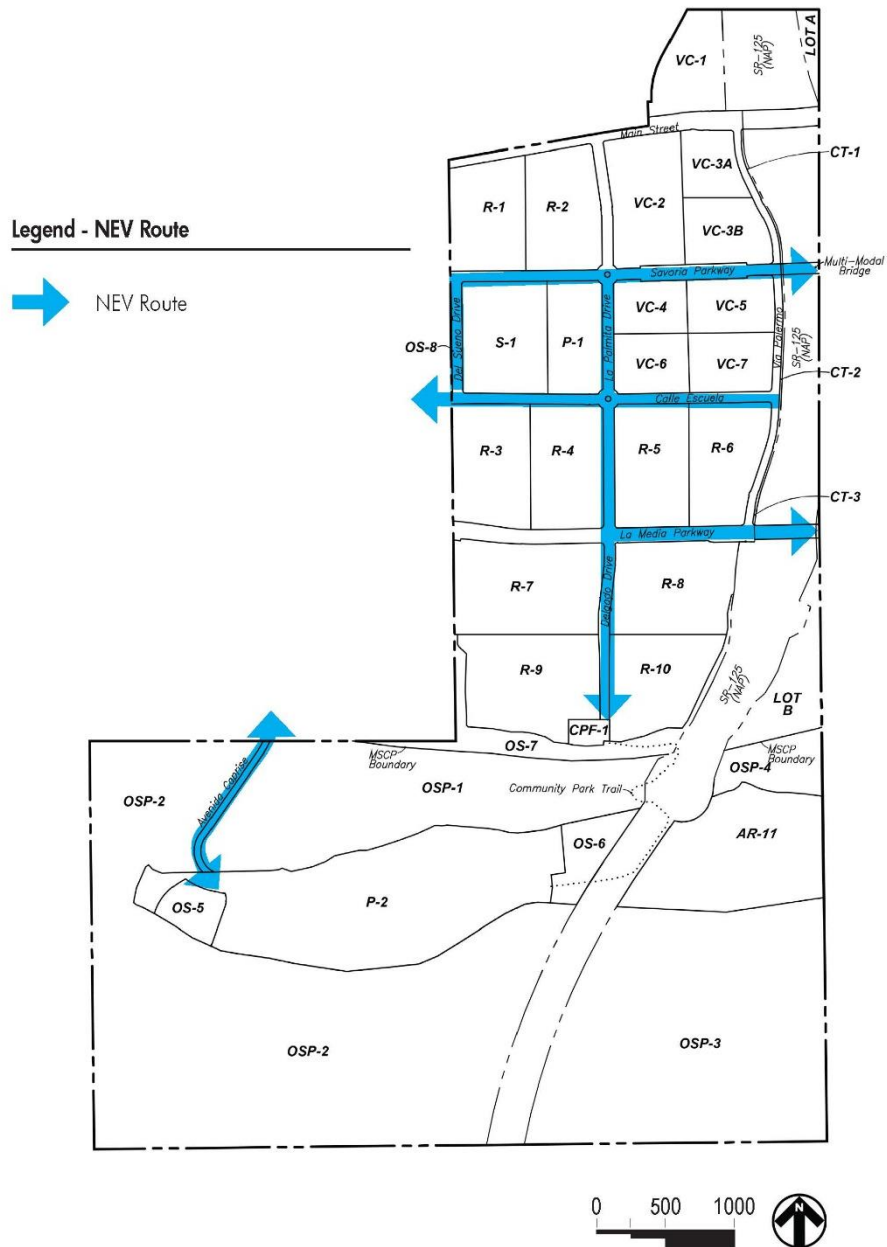
- Locate transit stops where there are a number of major pedestrian generators.
- Locate transit stops and pedestrian walkways to provide access while respecting the privacy of residential areas.
- At the intersection of two or more transit routes, locate bus stops to minimize walking distance between transfer stations.
- Locate bus turnouts on the far side of the intersections to avoid conflicts between transit vehicles and automobile traffic, permitting right-turning vehicles to continue turning movements.
- Transit stops should be provided with adequate walkway lighting and well designated shelters.
- Walkway ramps should be provided at transit stops to ensure accessibility.

**Exhibit 24: Conceptual Public Transportation Plan**

2. Neighborhood Electric Vehicle Circulation Network

Neighborhood electric vehicles provide a clean alternative vehicular mode of transportation, ideal for shorter trips. The NEV network, as illustrated in **Exhibit 25: Neighborhood Electric Vehicle Circulation Plan**, consists of internal low-speed streets within Village 8 East and off-street NEV facilities. NEVs are permitted on all public streets with a posted speed limit of 35 miles per hour or less. The circulation system has been intentionally designed to provide an internally connected system of low-speed streets that allow NEVs to travel between various destinations within Village 8 East and connects west to Village 8 West and east to future Village 9. The following NEV routes are planned within Village 8 East:

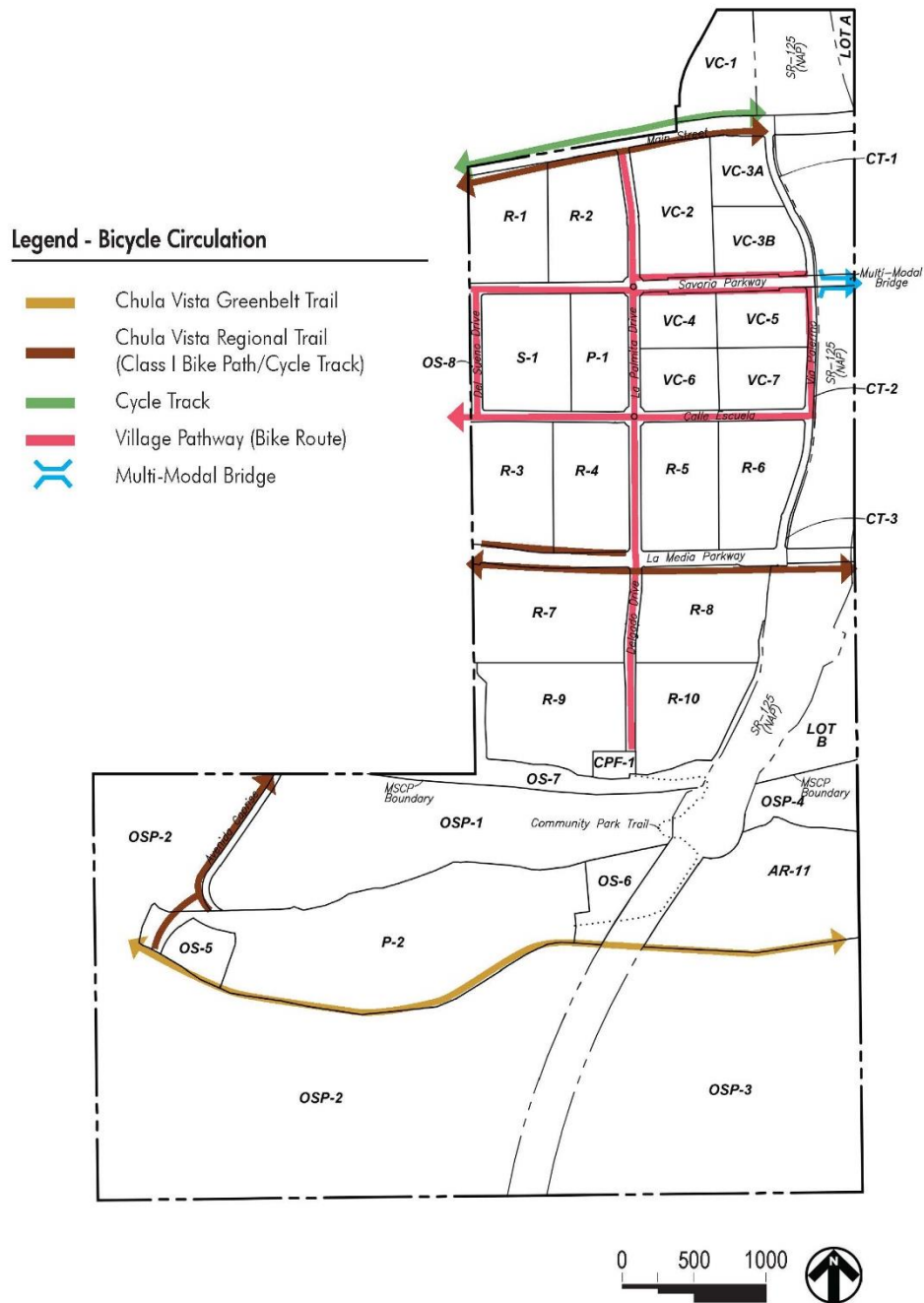
Location	NEV Facility Description	Exhibit
La Media Parkway – east of La Palmita Drive, south ROW	Off-street two-way, 12' wide shared bike/NEV path	See Exhibit 9
Savoria Parkway – from Del Sueno to La Palmita Drive	On-street, two-way shared flow in 12' travel lanes	See Exhibit 14
Savoria Parkway – La Palmita Drive to Multi-Modal Bridge	On-street two-way shared flow in 16.5' - 20' travel lanes	See Exhibits 15 and 16
Multi-Modal Bridge – Village 8 East to Village 9	Off-street two-way shared NEV, bike and pedestrian flow on 15' wide path	See Exhibit 29
Del Sueno Drive – Savoria Parkway to Calle Escuela	On-street two-way shared flow in 12' travel lanes	See Exhibit 13
La Palmita Drive / Delgado Drive – Savoria Parkway to CPF-1 Site	On-street two-way shared flow in 12' travel lanes	See Exhibits 11, 12 and 18
Calle Escuela – Del Sueno Drive to Via Palermo	On-street, two-way shared flow in 12' travel lanes	See Exhibit 10
Avenida Caprise – Village 8 West to P-2 Community Park	On-street two-way shared flow in 12' travel lanes	See Exhibit 19

**Exhibit 25: Neighborhood Electric Vehicle Circulation Plan**

3. Bicycle Circulation Network

Bicycles are accommodated throughout Village 8 East via an interconnected network, as illustrated on **Exhibit 26: Conceptual Bicycle Circulation Plan** and as described below. The final design is to be refined during final engineering and may be different than the facilities presented herein.

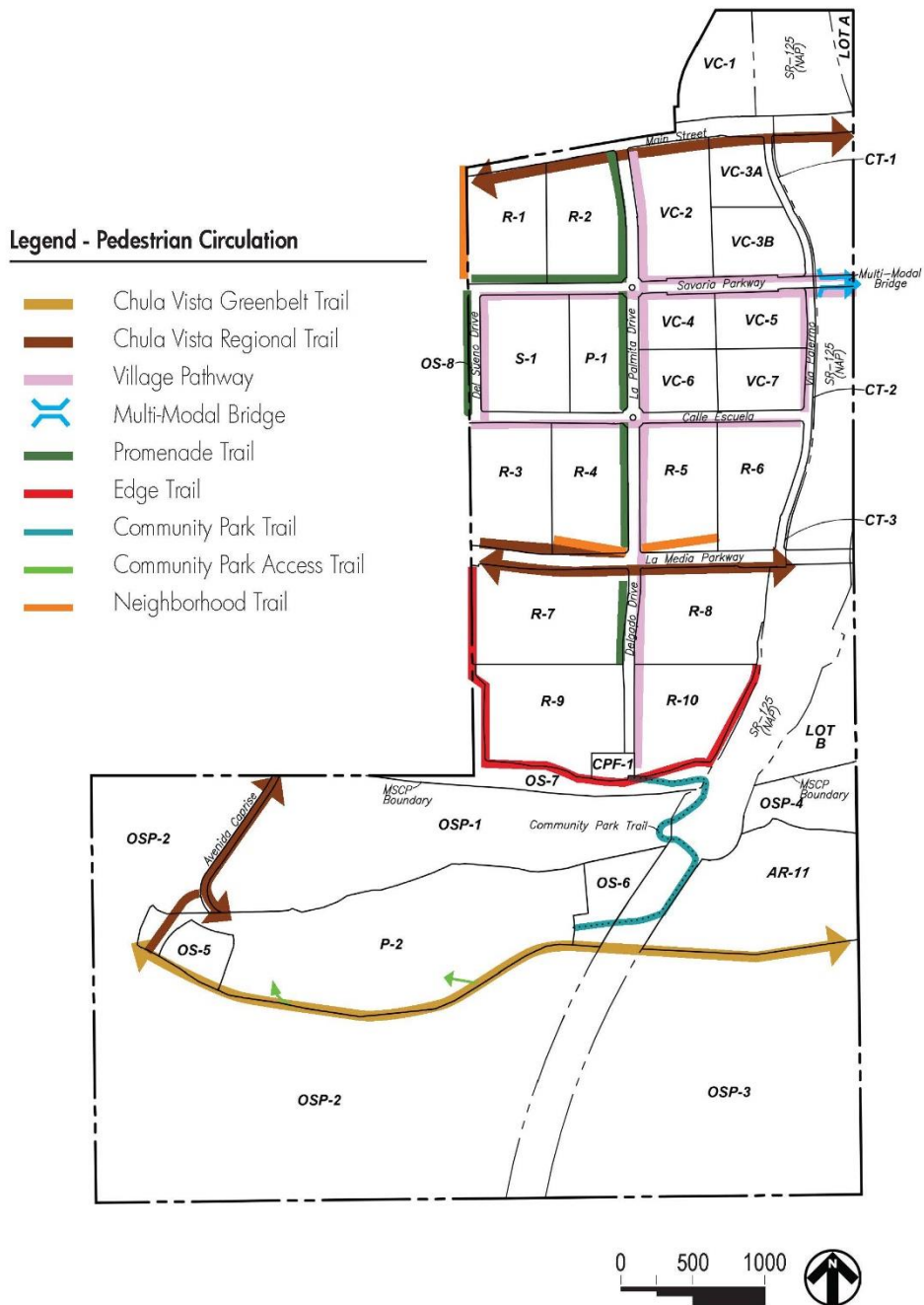
- **Off-Street Bike Lanes** – a 5.5-foot-wide off-street cycle track is planned on both sides of Main Street. A two-way off-street shared cycle track/NEV facility is planned along the south side of La Media Parkway within the 17-foot Regional Trail. In order to accommodate a safe transition from the on-street bike lanes in Village 8 West and the off-street cycle track facility in Village 8 East, the north side of La Media Parkway between the western boundary and La Palmita Drive will include an 11-foot Regional Trail. Bicycles will cross onto the 17-foot Regional Trail on the south side of La Media Parkway at the La Palmita intersection. The cycle track facility will cross SR-125 to connect to Village 9 to the east.
- **On-Street Bike Lanes** – a 5-foot wide on-street bike lane with a 3-foot buffer is planned along both sides of La Palmita Drive.
- **Multi-Modal Bridge** – the planned 17-foot-wide Multi-Modal Bridge provides a bicycle connection across SR-125 between the Village 8 East core area and the future Village 9 Town Center.
- **Village Pathway** – The Village Pathway, which is planned along La Palmita Drive, Avenida Escuela and Savoria Parkway is a 10 to 12-foot wide off-street, interconnected multi-use trail that accommodates bicycle and pedestrian users.
- **Local Streets** – Although no dedicated lanes are provided for bicycles, the traffic volumes on these internal streets will be low enough to accommodate bicycles as well as vehicles.
- **Chula Vista Regional Trail** – The Regional Trail is located along Main Street, La Media Parkway and the Community Park Entry Drive (Avenida Caprise). Bicycles are accommodated on these 5.5 to 10-foot-wide multi-use trails designated cycle tracks and Class I bike lanes, depending on the location.
- **Chula Vista Greenbelt Trail** – A segment of the Chula Vista Greenbelt Trail is planned along the southern edge of the P-2 Community Park (“P-2”). This 16-foot-wide multi-use trail easement will accommodate pedestrian, bicycle and equestrian users.

**Exhibit 26: Conceptual Bicycle Circulation Plan**

4. Pedestrian Circulation

The pedestrian circulation network includes an interconnected system of pathways, trails and sidewalks as illustrated in **Exhibit 27: Conceptual Pedestrian Circulation Plan**. The Village 8 East SPA Plan is designed to accommodate the trails program generally described by the Otay Ranch GDP, Overall Design Plan, the Chula Vista Active Transportation Plan, the City of Chula Vista Greenbelt Master Plan and Otay Valley Regional Park (OVRP) Concept Plan. The plan recognizes the provision of bicycle and pedestrian circulation is fundamental to creating urban villages. All village streets and sidewalks have been designed at gradients of 10 percent or less to facilitate pedestrian circulation.

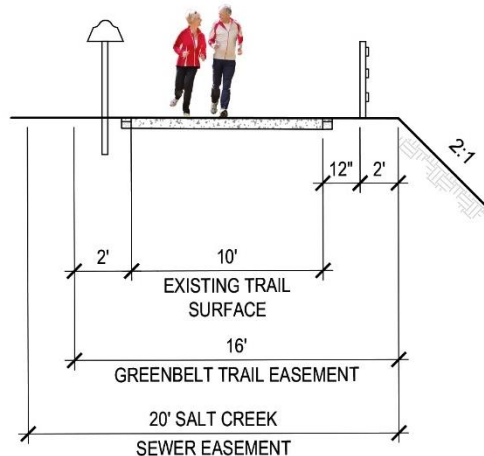
The street cross-sections illustrate regional and village trails and pathways located along public roadways. The following includes a brief description of each type of pedestrian facility planned within Village 8 East. Separate trail cross-sections are also provided below.

**Exhibit 27: Conceptual Pedestrian Circulation Plan**

Chula Vista Greenbelt /Otay Valley Regional Park Trail

As described in the Chula Vista Greenbelt Master Plan and OVRP Concept Plan, planned multi-use trails, including equestrian uses, will be implemented within the existing Salt Creek sewer access/maintenance road through the Otay Valley on the north side of the river. The segment of the Greenbelt Trail within Village 8 East is approximately $\frac{3}{4}$ mile and is located along the southern edge of the P-2 Community Park. The Greenbelt Trail is connected to the internal community park access trail circulation system at multiple points along the park's southern edge. In addition, two pedestrian connections are provided between Village 8 East and the Chula Vista Greenbelt/OVRP trail via the Community Park Entry Drive and Community Park Access Trail.

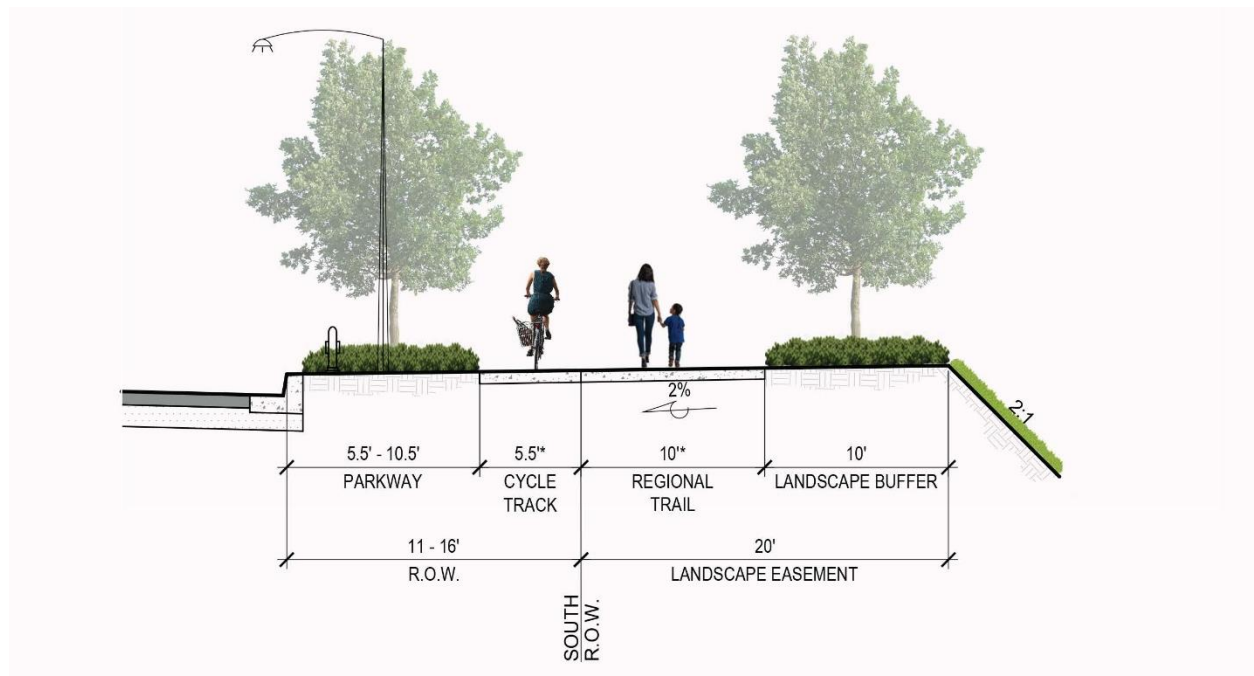
The OVRP Concept Plan identifies a multi-use trail system through the Otay River Valley. The portion of the Greenbelt Trail described above coincides with the OVRP trail. By co-locating these trails on the existing Salt Creek Sewer maintenance access road, wherever possible, impacts to sensitive habitat in the river valley are minimized and access to the MSCP Preserve is controlled. The Chula Vista Greenbelt Trail will be implemented according to the Greenbelt Master Plan and OVRP Design Standards and Guidelines. All trail signage shall conform with the Greenbelt Master Plan.

**Exhibit 28: Chula Vista Greenbelt Trail**

TM Trail Section 3

Regional Trails

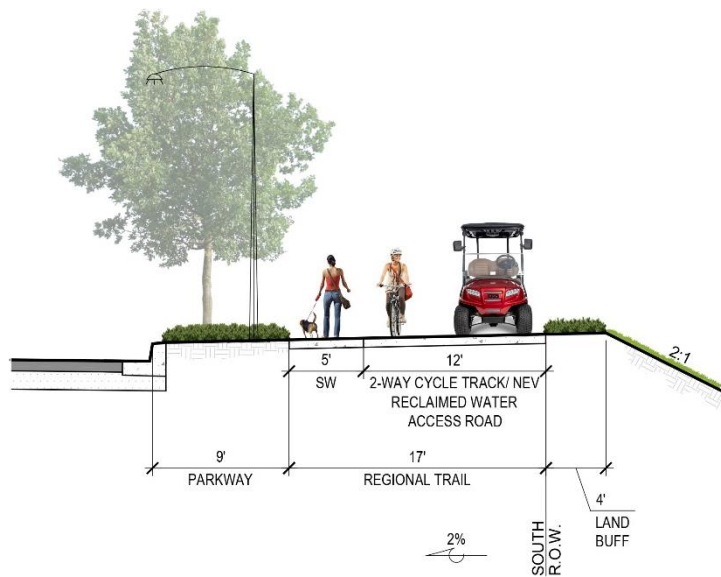
Chula Vista Regional Trails are located on the south side of Main Street, the south side of La Media Parkway, a portion of the north side of La Media and the east side of Delgado Drive and providing direct pedestrian access to the Community Park via the Edge Trail and the Community Park Access Trail. The Regional Trails are located adjacent to the roadways and may meander within adjacent landscape buffers. The concrete or decomposed granite trails are 10 feet wide. The Regional Trails connect Village 8 East to the Village 8 West Town Center, Village 9 Town Center, and the University Planning Area. The Regional Trail is also planned along the east side of the Community Park Entry Drive (Avenida Escaya) and extends south of the P-2 Park driveway, providing an additional pedestrian connection to the Community Park and the Chula Vista Greenbelt Trail.



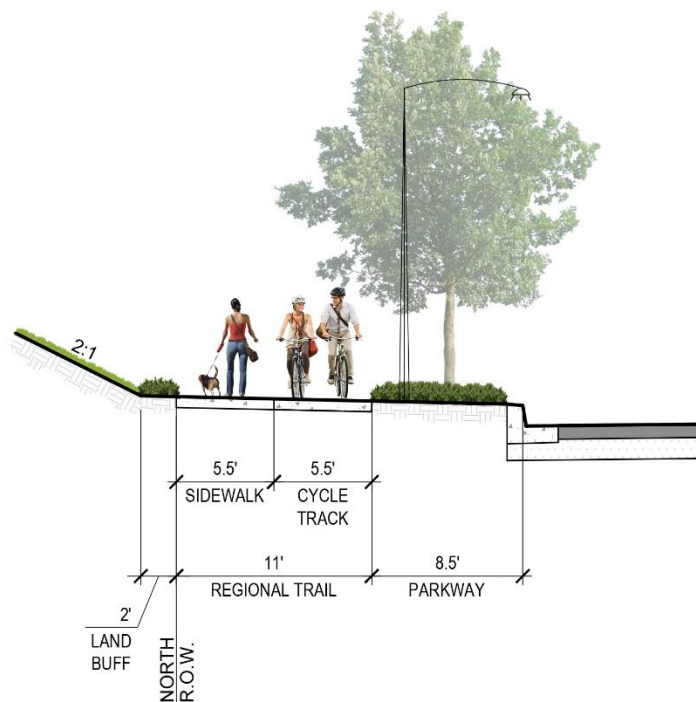
Main Street (TM Street Section 1)

Exhibit 29: Chula Vista Regional Trail

TM Street Sections 1, 2A and 2B and TM Trail Section 1



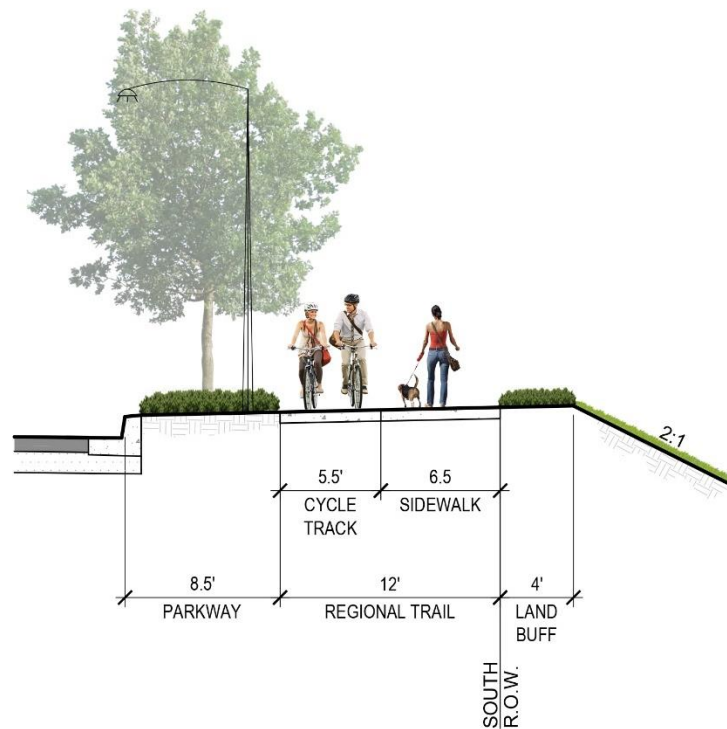
La Media Parkway (La Palmita Drive / Delgado Drive to easterly project boundary) (TM Street Section 2B)



La Media Parkway (westerly project boundary to La Palmita Drive / Delgado Drive @ North ROW) (TM Street Section 2A)

Exhibit 29: Chula Vista Regional Trail (continued)

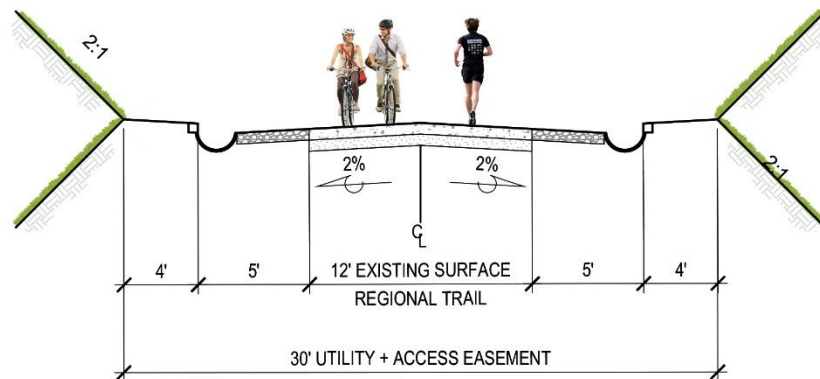
TM Street Sections 1, 2A and 2B and TM Trail Section 1



La Media Parkway (westerly project boundary to La Palmita Drive / Delgado Drive @ South ROW) (TM Street Section 2A)

Exhibit 29: Chula Vista Regional Trail (continued)

TM Street Sections 1, 2A and 2B and TM Trail Section 1



South of Avenida Caprise to Chula Vista Greenbelt Trail (TM Trail Section 1)

Note: Grading and surface improvements within the 30' Utility & Access Easement were approved with the Village 8 West SPA, Tentative Map and Grading Plan as an off-site improvement. Implementation of the Regional Trail component within the 30' utility corridor is limited to fencing, to be determined based on field conditions. This illustrative representation is consistent with the approved design and is provided for reference only.

Exhibit 29: Chula Vista Regional Trail (continued)

TM Street Sections 1, 2A and 2B TM Trail Section 1

Multi-Modal Bridge

The 17-foot-wide Multi-Modal Bridge provides the Village Pathway connection between the Village 8 East core and the future Village 9 Town Center. This bridge will be designed to accommodate pedestrians, bicycles and NEVs. A conceptual design for the bridge is provided below. Final design to be determined during final engineering.

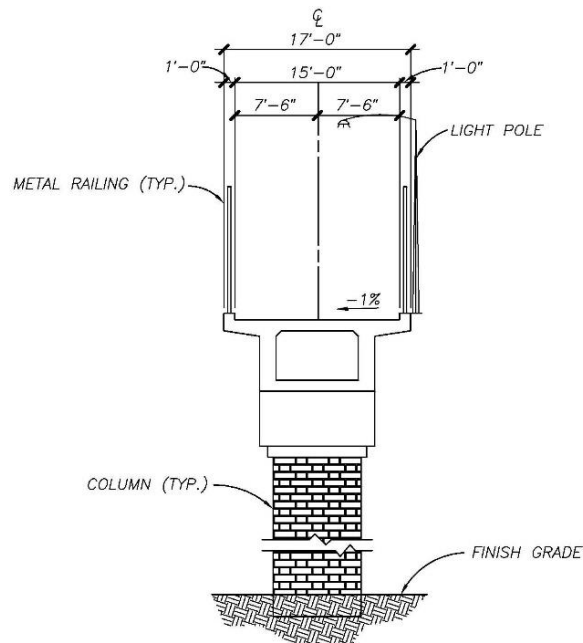
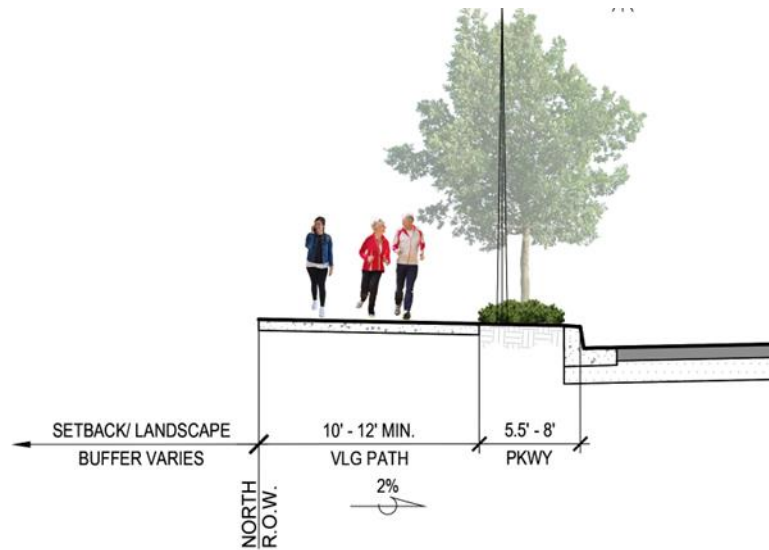


Exhibit 30: Conceptual Multi-Modal Bridge

Village Pathway

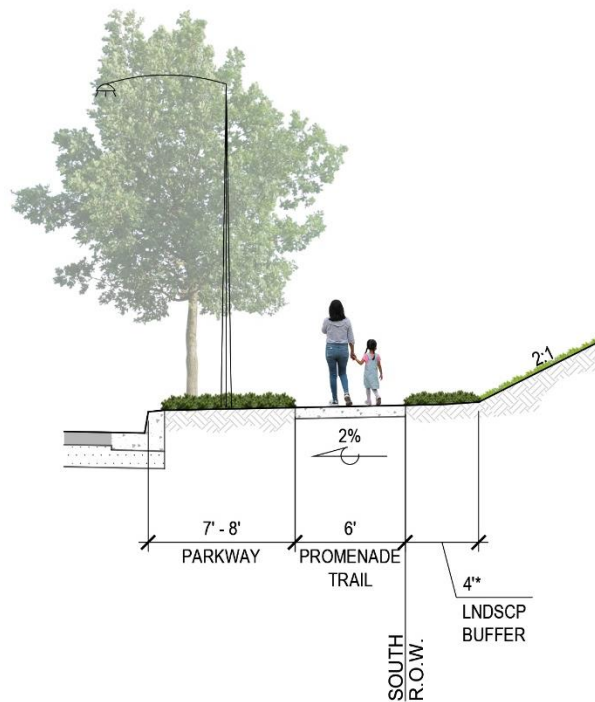
Village Pathways are inter-village, multi-purpose paths which link all of the Otay Valley Parcel villages and provide access to transit stations. The Village Pathway is a 10-to-12-foot colored concrete pathway, separated from the street by a landscaped, tree-lined parkway. In Village 8 East, the Village Pathway is proposed along La Palmita Drive south to La Media Parkway and on both sides of Savoria Parkway through the Main Street area and along portions of the school and park site. The Village Pathway would also extend along Calle Escuela, providing a continuous link between Village 8 West and Village 8 East.

**Exhibit 31: Village Pathway**

TM Street Sections 3, 4, 5, 6, 7, 8, 9, and 10

Promenade Trail

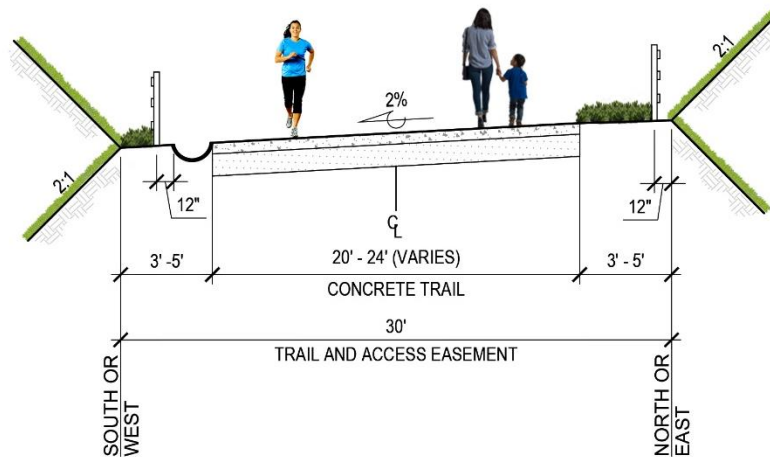
The Promenade Trail is planned along the west and north side of the elementary school site (S-1) and along the west side of La Palmita Drive. The Promenade Trail is planned as a tree lined 6-foot concrete path with a 7 to 8-foot landscape parkway between the path and the curb.

**Exhibit 32: Promenade Trail**

TM Street Sections 4, 5, 6 and 7

Community Park Trail and Emergency/Maintenance Access Road

The Community Park Trail provides direct pedestrian access between Village 8 East and the Community Park and the Chula Vista Greenbelt Trail system located in the Otay River Valley. This trail is co-located with utilities necessary to serve Village 8 East and the Community Park and AR-11 and is comprised of a 20 foot wide paved surface and post and rail fencing, on both sides. The facility is widened at the southeast portion to provide vehicular access between P-2 and AR-11. Secondary emergency access to the Community Park and maintenance access for the public utilities are also provided along this corridor. A portion of the Community Park Trail is within the MSCP Preserve. See the Village 8 East Preserve Edge Plan for additional details.



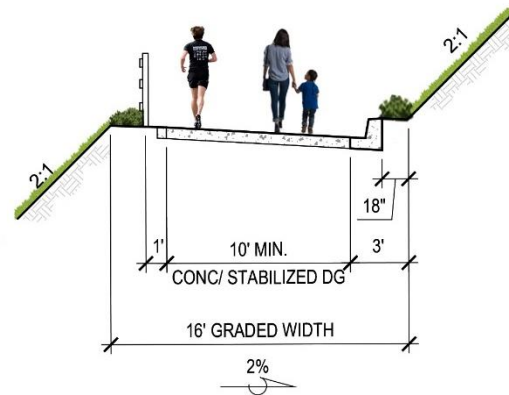
Note: Trail co-located within utility corridor

Exhibit 33: Community Park Trail and Emergency/Maintenance Access Road

TM Trail Section 2

Community Park Access Trail

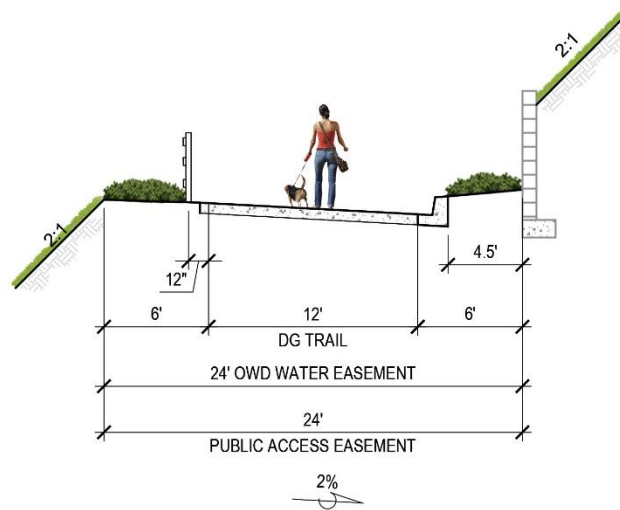
Pedestrian connections between the Otay Ranch Community Park South (P-2) and the Chula Vista Greenbelt Trail are conceptually shown on the Tentative Map. The 10-foot-wide Community Park Access Trail locations will be refined during the park planning process.

**Exhibit 34: Community Park Access Trail**

TM Trail Section 6

Edge Trail

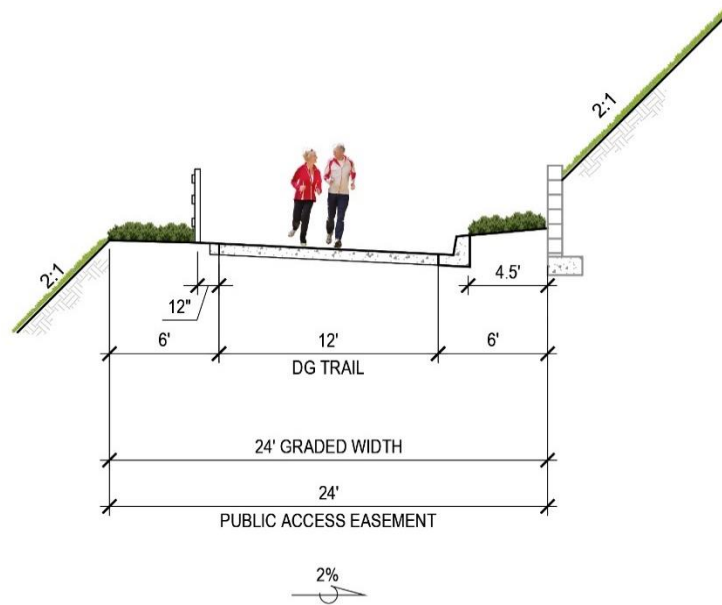
The Edge Trail is comprised of a 12-foot-wide trail that loops around the neighborhoods south of La Media Parkway and provides a pedestrian linkage between the Regional Trail on La Media Parkway/Delgado Drive and the Community Park Trail leading to the Community Park and Chula Vista Greenbelt Trail system in the Otay River Valley. A portion of this trail segment will be located within the 100' Preserve Edge at the southern portion of Village 8 East.

**Edge Trail within OS-7**

Note: If trail grade exceeds 5%, trail surface may be concrete. Conceptual design may be modified during final engineering to address drainage.

Exhibit 35: Edge Trail

TM Trail Section 4



Edge Trail at perimeter of R-7, R-9 and R-10

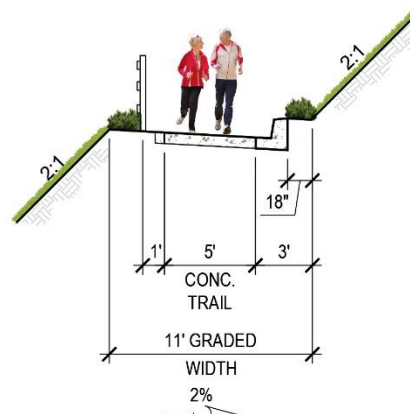
Note: If trail grade exceeds 5%, trail surface may be concrete. Conceptual design may be modified during final engineering to address drainage. See TM Street Section 13 for Edge Trail condition at R-7.

Exhibit 36: Edge Trail

TM Street Section 13 and TM Trail Section 5

Neighborhood Trail

The Neighborhood Trail is comprised of a 5-foot-wide concrete or D.G. planned to connect the neighborhoods north of La Media Parkway to the Regional Trail on La Media Parkway/Delgado Drive.



Notes: If trail grade exceeds 5%, trail surface may be concrete. Conceptual design may be modified during final engineering to address drainage.

Exhibit 37: Neighborhood Trail

TM Trail Section 7

IV. Grading



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IV. GRADING

A. INTRODUCTION

The Land Use and Transportation Element of the Chula Vista General Plan states the mesas, hilltops, and gently rolling topography in Chula Vista area offer the best conditions for development. Steeply sloped hills and valleys can serve as resources, linking developed regions and important natural features. A goal of the Otay Ranch GDP is to concentrate urban development on flatter areas, while retaining the sensitive natural topographic features. The SPA Plan Area is located primarily on mesa tops sloping south to the Otay River Valley. Slopes surrounding the village will be undulating with variable horizontal and vertical gradients, to blend into the surrounding terrain and create an aesthetically pleasing setting. This chapter describes the guiding policies and requirements for grading and their application to the topographic characteristics of the SPA Plan Area.

B. GRADING REQUIREMENTS

To ensure subsequent grading plans implement the City's policies regarding landform grading and hillside development, final grading design to implement the SPA Plan shall be consistent with the grading design concepts of the SPA Conceptual Grading Plan and shall adhere to the grading standards and policies described below.

City of Chula Vista Grading Ordinance

Chula Vista Municipal Code Section 15.04 – Grading Ordinance, contains specific criteria to guide grading within the City:

- Create artificial slopes with curves and varying slope ratios designed to simulate the appearance of surrounding natural terrain.
- Incorporate created ravine and ridge shapes with protective drainage control systems and integrated landscaping design.
- Conventional grading shall mean the standard 2-to-1 slope and other uniform slope faces.
- Conventional grading should be restricted to those cases where adherence to landform grading principles would not produce any significant contribution to the high-quality site planning goals established overall by the General Plan.
- Conventional grading is only appropriate where landform grading is demonstrated to be impractical or the location of the slope is in a very low visibility situation.

- The fact that landform grading may not produce the maximum size of building pad or development area is not sufficient justification for determining that landform grading is impractical.

Otay Ranch General Development Plan

The Otay Ranch General Development Plan also contains specific criteria to guide grading in the overall ranch area. Final grading designs implementing the SPA grading concept are required to incorporate the following:

- Grading within the SPA Plan Area shall be subject to Chapter 15.04 - Excavation, Grading and Fills of the Municipal Code.
- Ranch-wide, there shall be preservation of 83 percent of the existing steep slopes (property with gradients of 25 percent or greater).
- Geotechnical investigations shall be provided with each SPA plan.
- Grading within each village is intended to minimize earthmoving distances and to facilitate phased grading.
- Naturalized buffering shall be provided as a transition between development and significant existing landforms.
- Manufactured slope faces over 25 feet shall be varied to avoid excessive “flat planed” surfaces.
- Variable slope ratios not exceeding 2:1 should be utilized when developing grading plans.
- To complement landform grading, landform planting techniques will be utilized. As in a natural setting, major elements of the landscape are concentrated largely in the concave “drainages,” while convex portions are planted primarily with ground cover and minor materials.

Otay Ranch Overall Design Plan

The Otay Ranch Overall Design Plan provides additional guidelines for grading within the project area:

- When grading in any of the defined scenic corridors, contours shall be carefully modulated and softened to blend with existing natural slopes to create a more natural and irregular appearance.
- Excessively long, uniform slopes shall be avoided.
- Contours should be rounded and blended without sharp or unnatural corners where cut or fill slopes intersect a natural canyon or slope.

- Transitions between new cut and fill slopes and natural slopes should be made by rolling the top or bottom of the new slope to integrate the two conditions.
- When grading for development or where roadways intersect a natural slope without cut or fill slopes (daylight condition), a rounded top or bottom of the slope should be retained to blend the natural slope with the building or road pad.
- Create road alignments to meet the natural contours with minimal grading and blending of cut/fill slopes with natural topography is required.
- When feasible, divided roads may be split vertically to soften the impact of grading and to maximize potential scenic views.
- Landscape graded slopes with native and indigenous plant materials to blend with existing planting when adjacent to new landscaping.

C. STEEP SLOPES

The GDP and RMP establish a ranch-wide standard for landform modification that 83% of steep slopes (natural slopes with gradients of 25% or greater) shall be preserved within the Otay Ranch. Based on current data collection and updated modeling results, Otay Ranch contains 9,821 acres of land with gradients of 25% or greater. Applying the GDP/RMP requirement for 83% Ranch-wide steep slope preservation equates to 1,670 acres of steep slopes Ranch-wide that could be impacted.

Development of Village 8 East would impact approximately 18.6 acres of natural steep slopes within the Otay Valley Parcel of Otay Ranch. See **Exhibit 38: Village 8 East Steep Slope Impacts**. Future build-out projections for remaining SPA Plan areas in the Otay Valley, Proctor Valley, and San Ysidro Parcels estimate that 1,069 acres of steep slopes will be impacted Ranch-wide including the 18.6 acres within Village 8 East. Combined with set steep slope impacts (approximately 335.6 acres from approved plans), Ranch-wide impacts are estimated at 1,404.6 acres. The 1,404.6 acres of impact equates to approximately 86% preservation which is above the 83% preservation standard in the RMP. Table 3 provides a summary of the projected Ranch-wide impacts to steep slopes at build out.

Table 3: Otay Ranch Steep Slopes

	Existing Steep Slopes (Slope Gradient $\geq 25\%$)	Steep Slope Impacts (City of Chula Vista)	Projected Steep Slope Impacts (County of San Diego)
Otay Valley Parcel			
<u>Approved SPA Plans:</u> Villages 1 and 1 West, 2, 4 (Park Portion), 5, 6, 7, 8 West, 9, 11, and Planning Area 12 (Eastern Urban Center and Freeway Commercial)			
Sub-totals	439	335.6	-
<u>Remaining SPA Plans:</u> Village 3, 4 (Remainder), 8 East, 10, University, and Planning Area 18			
Sub-totals	287.4	202.7 ⁽¹⁾	-
Proctor Valley			
<u>Remaining SPA Plans:</u> Village 13, 14, 16, and 19			
Sub-totals	486.3	-	378.3 ^(2a,3)
San Ysidro Mountains			
<u>Remaining SPA Plans:</u> Villages 15 and 17			
Sub-totals	560.1	-	488.0 ^(2b,3)
Outside Development Areas			
Sub-totals	8,048.5	0	0
Ranch-wide Sub-totals	9,821.3	538.3	866.3
Ranch-wide Totals	9,821.3	1,404.6	

Notes:

- Slope impacts are based on best available data including currently proposed projects (SPA Plans/Tentative Maps) and current GDP/SRP development areas.
- Excludes acreages associated with Wildlife Agency conservation acquisitions that would no longer be developable:
 - 108 acres within Proctor Valley
 - 72.1 acres within San Ysidro Mountains
- Assumes development will impact 100% of steep slopes (slope gradient $\geq 25\%$) within current GDP/SRP development areas.

**Exhibit 38: Village 8 East Steep Slope Impacts**

D. GRADING CONCEPT

The SPA level grading plan provides a preliminary grading concept identifying major slope locations. The preliminary grading design is as indicated on **Exhibit 39: Conceptual Grading Plan**. The grading concept is based on the following objectives:

- Create efficient man-made landforms that visually respond to natural terrain characteristics where practical.
- Create and maintain on- and off-site views.
- When significant land forms are modified for project implementation, round the land form as much as possible to blend into the natural grade.
- With approval of the City Engineer, round the tops and toes of slopes. When slopes cannot be rounded, utilize vegetation to alleviate sharp angular appearances.
- Balance earthwork, utilizing an equal amount of cut for an equal amount of fill.
- Create, where possible, barriers or physical separation from traffic noise sources.
- Utilize elevation changes to separate potential land use conflicts.
- Wherever possible, create a fairly level area for a village core that will accommodate mixed-use, community purpose facility, elementary school, neighborhood park and multi-family residential development.
- Create useable areas that provide for a variety of residential housing types.
- Minimize, where feasible, impacts to sensitive areas including the Otay River Valley.

Manufactured internal slopes within the SPA Plan Area are typically 2:1 maximum gradient. If at the tentative map stage slopes of 25 feet in height or greater in highly visible locations are proposed, landform grading techniques may be considered on a case-by-case basis as/and approved by the Director of Development Services or their designee. In the SPA Plan Area, the most visible slope locations are along prime arterial streets and adjacent to the Otay River Valley open space preserve area. As such, landform grading techniques will be used for slopes 25 feet in height or greater where they occur along prime arterial streets and natural open space, to the greatest extent possible.

Preliminary soil and geotechnical reports have been prepared for the SPA Plan Area and have identified the site as suitable for development. The proposed raw grading quantity for the Plan area is approximately 4.96 million cubic yards of balanced cut

and fill material. This raw quantity is exclusive of remedial measures which may be required by the soils engineer. Actual quantities will be based on more detailed engineering at the tentative map, grading plan and final map stages. Grading limits extend beyond the boundary of the SPA Plan for the construction of roads and infrastructure.

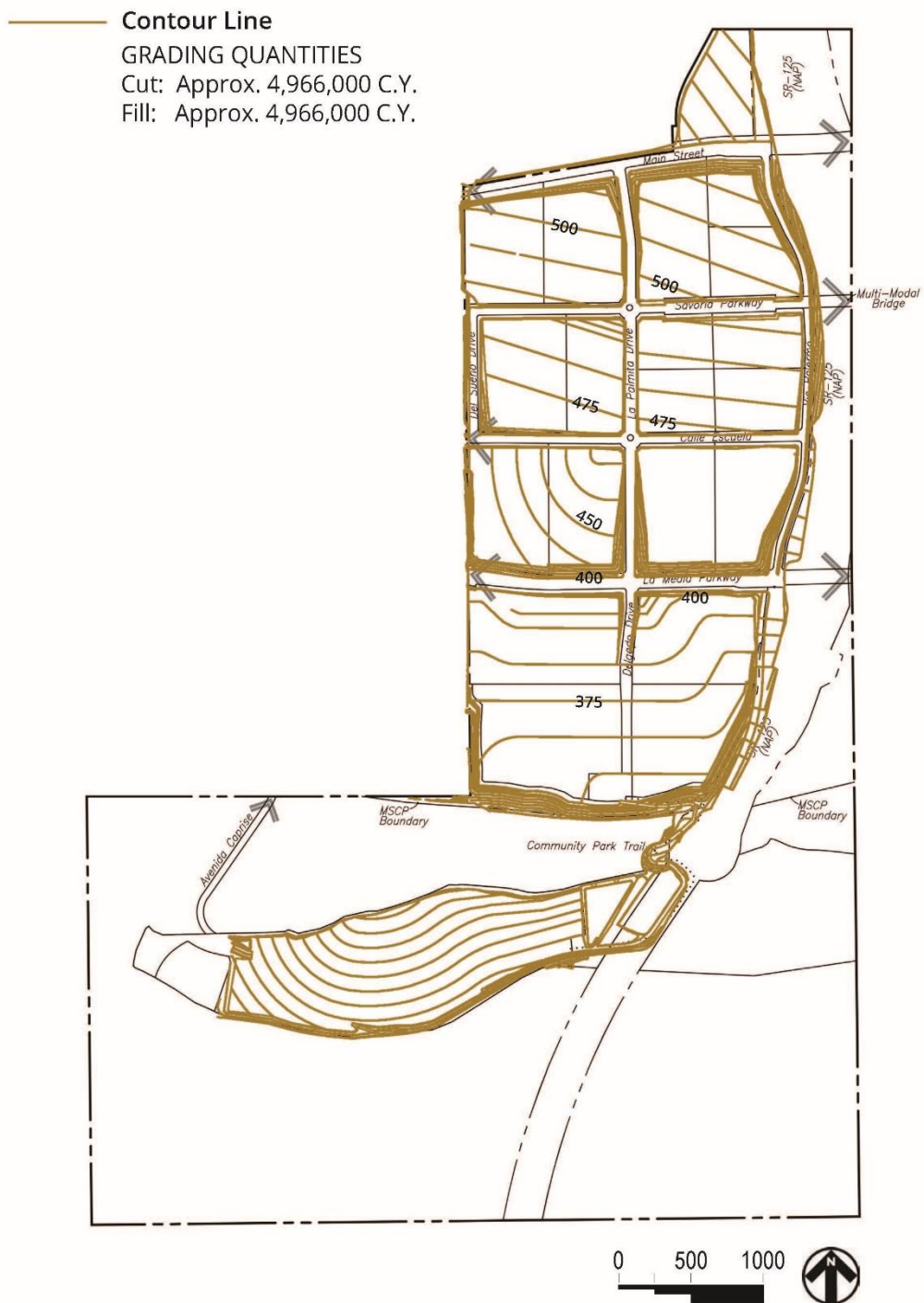
Based on actual field conditions, the erosion potential of slopes will be reduced with control measures such as berms at the tops of slopes, paved interceptor ditches, and vegetation. Erosion control will be consistent with best management practices.

Project grading permits will provide assurances acceptable to the City Engineer that landscaped slopes will have adequate maintenance to ensure continued viability of landscaping. Generally, except for private lots, slopes which exceed ten feet in height will be maintained by a homeowners' or property owners' association or a landscape maintenance Community Facilities District (CFD).

E. GRADING REVIEW

Tentative Maps and grading plans will require conformance to the grading concepts and requirements contained in this SPA, and to all applicable City policies and ordinances.

Prior to grading plan approval by the City Engineer, all grading will be subject to the requirements of the Chula Vista Storm Water Manual, the City of Chula Vista Subdivision Manual, Design and Construction Standards of the City of Chula Vista, San Diego Area Regional Standard Drawings, and Standard Specifications for Public Works Construction.

**Exhibit 39: Conceptual Grading Plan**

V. Parks, Recreation, Open Space & Trails Master Plan



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V. PARKS, RECREATION, OPEN SPACE & TRAILS MASTER PLAN

A. PURPOSE

This Parks, Recreation, Open Space and Trails Master Plan ("SPA Park Master Plan") identifies and describes park, recreation, open space and trail facilities for the Village 8 East SPA Plan Area. This SPA Park Master Plan meets the Otay Ranch Parks, Recreation and Open Space goals, objectives, policies and implementation measures identified in the Otay Ranch GDP to provide parks, recreation and open space amenities. The primary goal is to enhance the quality of life for residents and visitors by providing a variety of active and passive recreational opportunities.

This SPA Park Master Plan also meets the goals, policies, and requirements of the 2018 City of Chula Vista Parks and Recreation Master Plan, the City of Chula Vista Greenbelt Master Plan and Otay Valley Regional Park Concept Plan. This Plan incorporates both SPA and Tentative Map-level requirements for planning parks, recreation facilities, open space and trails associated with the development of the SPA Plan Area.

[Note: Village 8 East Park Implementation information presented herein is subject to change. The Final Park Implementation proposal to be determined during discussions between the Applicant and City Management during second submittal review.]

B. REGULATORY FRAMEWORK

The provision and implementation of parks and open space in the SPA Plan Area is regulated by the following:

Chula Vista Municipal Code – SPA Plans

Section 19.48.090 (P-C-Planned Community Zone) of the Chula Vista Municipal Code establishes Sectional Planning Area Plans, Requirements and Content. Subsection C.1. requires the following information to be contained in a SPA site utilization plan:

- Land Uses
- Parks
- Open Space

Chula Vista Municipal Code – Park Lands and Public Facilities

Chapter 17.10 (Park Lands and Public Facilities) of the Chula Vista Municipal Codes establishes the requirements for dedication of land, development of improvements, parkland criteria, in-lieu fees for land dedication and development improvements, commencement of park development, and collections and distribution of park fees.

Otay Ranch GDP

The Otay Ranch GDP requires specific identification of park, recreation and open space provisions at the SPA Plan level. The SPA requirements are:

- Provide a Parks Master Plan
- Identify and reserve specific sites
- Identify equipment needs.
- Identify alternative financing methods.
- Identify alternative maintenance entities and funding.
- Identify phasing.
- Identify plans for the use of reclaimed water, as appropriate.
- Review needs for special purpose parks.

The Otay Ranch parks and recreation goals, objectives and policies provide for a variety of parks and recreation amenities. Otay Ranch provides the opportunity for a full range of passive and active recreational opportunities both locally and on a regional basis. Otay Ranch GDP goals, objectives and policies related to park and recreation facilities include the following:

Goal: Provide diverse park and recreational opportunities within Otay Ranch which meet the recreational, conservation, preservation, cultural and aesthetic needs of project residents of all ages and physical abilities.

Objective: Identify park, recreational and open space opportunities, where appropriate, to serve the South County region and San Diego County as a whole.

Policy: Encourage joint use of utility easements with appropriate and compatible uses, including, but not limited to, open space, agriculture, parking and trails.

Objective: Maximize conservation, joint uses and access and consider safety in the design of recreational facilities.

Policy: Commercial recreation opportunities may be permitted within Town Square, community and regional parks to generate revenue to defray park operational expenses.

Policy: Utilize conservation measures including reclaimed water, efficient irrigation systems and drought tolerant plant material in the development of public and private parks where allowed.

Policy: Minimize park operation and maintenance costs and identify funding sources for continued operation and maintenance of all Otay Ranch park

and open space land.

Objective: Provide neighborhood and Community Park and recreational facilities to serve the recreational needs of local residents.

Policy: Provide a minimum of 3 acres of neighborhood and Community Parkland (as governed by the Quimby Act) and 12 acres per 1,000 Otay Ranch residents of other active or passive recreation and open space area.

Policy: Encourage the design of park sites adjacent to public schools and other public lands where co-location of facilities is feasible. Joint use agreements with school districts are encouraged.”

Chula Vista Parks and Recreation Master Plan

The Chula Vista Parks and Recreation Master Plan contains goals and policies that serve as the blueprint for creating a quality park system. The document establishes goals for the creation of a comprehensive parks and recreation system that meets the needs of the public by effectively distributing park types and associated recreation facilities and programs throughout the City. The park sites identified on the Site Utilization Plan are consistent with the requirements of the PRMP. Conceptual designs for the Village 8 East parks are consistent with the park descriptions in the Parks and Recreation Master Plan; however, the final design of the public parks may be refined or modified during park planning to include other facilities or amenities that serve evolving demographics and associated outdoor recreational needs and meet the intent of the City’s parks mission.

Chula Vista Greenbelt Master Plan

The Chula Vista Greenbelt Master Plan implements an open space and trails concept which consists of connected open space ringing the City of Chula Vista that includes the Sweetwater Valley and Otay Valley, connected by the Otay Lakes on the east and the San Diego Bay on the west. A primary trail system within the Greenbelt will consist of multi-use and rural paths which will total approximately 28-miles surrounding the City. The Greenbelt Master Plan addresses existing and potential trail locations, trail and staging area development standards, and maintenance responsibilities. Portions of the Greenbelt include open space conservation areas established through the MSCP and the San Diego National Wildlife Refuge.

Otay Valley Regional Park Concept Plan

The Otay Valley Regional Park (OVRP) is a multi-jurisdictional planning effort by the City of Chula Vista, County of San Diego and the City of San Diego. The OVRP will provide residents and visitors recreational opportunities ranging from playing fields and picnic areas to hiking, biking, and horse trails while protecting open space, wildlife, historic, agricultural, and archaeological resources. The OVRP links south San Diego Bay with Upper and Lower Otay Lakes.

The OVRP Concept Plan was originally adopted in 2001 and subsequently updated in 2016 and provides policy direction for the jurisdictions for coordinated land acquisition and development for the regional park within this framework of private property rights. The OVRP Concept Plan does not change existing zoning, land use plans or add new development regulations. It also does not preclude private development. The OVRP Concept Plan does not call for specific types of recreational development or give detailed design plans for specific areas. These development decisions will be made as master plans and site-specific development plans such as SPA Plans are prepared.

SPA Plan Public Facilities Finance Plan

The Municipal Code establishes, as a condition of SPA approval, the preparation of a Public Facilities Finance Plan (PFFP). The PFFP must show how and when facilities and services necessary to accommodate the development will be installed and financed, including a phasing schedule to ensure that facilities are provided in a timely manner and that one area will not utilize more than the area's fair share of facility or service capacity.

Entitlement Documents

Park, recreation and open space provisions are further defined as development entitlements are processed as follows:

Tentative Map requirements:

- Include local park sites in Conditions of Approval
- Identify funding for local parks and timing for the payment of pad fees
- Review existing or proposed trails on adjacent properties to ensure linkages

Subdivision Landscape Master Plan requirements:

- Include all principal landscape design concepts (same size/scale as Tentative Map)
- Include all park, recreation, open space, and trails
- Identify ownership and maintenance responsibilities

Final Map requirements:

- Dedicate local park sites
- Assure funding for local parks
- Implement design guidelines

Building Permit Requirements:

- Pay impact fee (if established)

C. PARK REQUIREMENTS

Chula Vista Municipal Code

The City of Chula Vista Municipal Code, Chapter 17.10, Parklands and Public Facilities (12/94), establishes the method by which actual required park acreage is to be calculated, based on the number and type of residential units determined at the Final Map level. The City's 2002 Park Acquisition and Development Fee Update determined that each single family detached dwelling unit, including detached condominiums, generates a need for 460 square feet of developed parkland and each attached multi-family unit generates a need for 341 square feet of developed parkland. Based on 336 single family detached homes, including detached condominiums, and 2,940 multi-family attached homes, the parkland obligation for Village 8 East is approximately 26.5 acres.

Table 4: Estimated Required Park Land Dedication

Dwelling Unit Type	Target Number of Units	Park Area/DU	Total AC
Single Family Detached ¹	336	460 SF	3.5
Multiple Family Attached	2,940	341 SF	23.0
Total	3,276		26.5¹
¹ Includes detached condominiums			

City of Chula Vista Landscape Manual

The Chula Vista Landscape Manual, Part Three addresses the requirements and criteria of public projects, including parks, open space and streetscapes (whether a City Public Works project or a private “turnkey” project). The Landscape Manual provides the requirements for submittals, graphics and standards, design standards and criteria, landscaping, irrigation, and trails.

SPA Plan

The GDP requires SPA-level planning to define the location, acreage and boundaries of neighborhood and Community Parks and open space. The PFFP further analyzes and determines park requirements and phasing.

The SPA Land Use Plan provides a 6.5-acre (net) Neighborhood Park (P-1) within the village core, a 36.3 (net)² Community Park (P-2) and the Edge Trail comprised

¹ The final park land obligation to be determined at issuance of building permit by unit type.

² The Community Park (P-2) parcel may be expanded if the Tentative Map Community Park P-2 / OS-6 Alternative is implemented. See Village 8 East Tentative Map, Sheet 6 for additional details.

of 2.1 net acres. The eastern portion (22.6 gross acres) of Active Recreation (AR-11 per OVRP Concept Plan) is within the boundaries of this SPA Plan but is not proposed for development at this time and the Applicant is not proposing to satisfy any portion of the Village 8 East parkland obligations within the City's AR-11 site.

The total parkland in the SPA Plan Area available for public park land credit totals 44.9 acres (net). The actual park acreage requirements will be based on the number of residential units (and projected population) approved on the subsequent Final Map(s) and/or at building permit issuance for Village 8 East and is further discussed in the PFFP. The Village 8 East Tentative Map also includes an alternative P-1 Neighborhood Park / S-1 School Site configuration that would reduce the neighborhood park to 4.6 acres (net), depending on the needs of the Chula Vista Elementary School District. If this alternative is implemented, then the balance of the Village 8 East park obligation would be satisfied pursuant to a separate agreement between the Applicant and the City of Chula Vista.

D. VILLAGE PARK AND RECREATION PROGRAM

The Otay Ranch Parks and Recreation Facility Implementation Plan (adopted by the City Council on October 28, 1993) identifies the parks facility improvement standards for Otay Ranch. The City of Chula Vista Recreation Department and the Parks Division of the Public Works Department conducted subsequent facilities needs assessments and proposed modifications to the adopted Otay Ranch Plan.

This SPA Park Master Plan strives for consistency with the Otay Ranch Plan and the current proposed plans and policies of the Development Services Department. This SPA Park Master Plan identifies the proposed types, quantities and location of the facilities provided at each park site in the SPA Plan Area. In addition to identifying specific facility needs and requirements, the goal of the SPA Park Master Plan is to describe the elements necessary to ensure a rich variety of recreational opportunities, while satisfying identified recreation needs. The variety of recreational elements proposed and the recreational opportunities envisioned are discussed below.

I. Recreation

The village concept organizes land uses to create a cohesive, pedestrian friendly community, encourage non-vehicular trips and foster interaction between residents. The SPA Park Master Plan provides a variety of recreational opportunities to support the village concept. The recreational plan is based on the following principles:

- Recreation standards such as total parks and recreation acreage, minimum park size, and facility design shall conform to City requirements.
- Progressive parks and recreation concepts shall be employed with programs tailored to people rather than people to programs.

- Standards for size and design of activity areas and facilities shall be reviewed periodically and adapted to the changing needs of the population served.
- Logical site selection criteria to distinguish between “Community” and “Neighborhood” Parks. Recreational considerations such as active versus passive, big-muscle versus small motor muscle, family-oriented versus adult-oriented shall be considered in the context of overall land planning.
- Ownership and maintenance responsibilities for parks and recreation facilities within the villages shall be analyzed to appropriately reflect areas of benefit, public funding limitations and fiscal impact.
- Major parks and recreation facilities shall be linked by a trail system for pedestrians and bicycles.

To the extent practical, Community and Neighborhood Parks should be located near school sites to increase the potential for shared use of facilities. Joint planning and design of adjacent school/park facilities is encouraged.

The following list of park, recreation and open space amenities are planned within Village 8 East:

Active Recreation Areas

Active recreation areas are identified in the OVRP Concept Plan and the Chula Vista MSCP Subarea Plan. These are areas within the MSCP and Otay Ranch Preserve which are suitable for more active recreational opportunities. The project includes a 22.6-acre (gross) portion of the active recreation area identified as Recreation Area 11 in the OVRP Concept Plan. The 22.6-acre portion of AR-11 is also within the SPA boundary but is not proposed for development. This property is owned by the City of Chula Vista and remains available for active recreation uses in the future and is designated “AR-11” in the Village 8 East SPA Plan. Pedestrian access to the AR-11 site is provided via the Chula Vista Greenbelt Trail and a conceptual location for vehicular access and recycled water service is shown on the Village 8 East Tentative Map.

Community Park

The PRMP, Table 4.3: Recreation Facilities in Public Parks includes the following Recreational facilities in the Otay Ranch P-2 Community Park South (PRMP Park #102): soccer fields, softball fields, basketball courts, tennis courts, play structures for ages 2-5, play structures for ages 5-12, open green space, a 21,000 SF Recreation/Community Center, a restroom building, picnic tables, shade structures and parking. The project includes the 36.3-acre (net) Otay Ranch Community Park South site which will also provide connections to the Chula Vista Greenbelt trail system and an OVRP trail staging area. The final design of the community park may be refined or modified during park planning to include other facilities or

amenities that serve evolving demographics and associated outdoor recreational needs and meet the intent of the City's parks mission.

Neighborhood Park

The PRMP, Table 4.3: Recreation Facilities in Public Parks, includes the following recreational facilities for the P-1 Neighborhood Park (PRMP Park #126): lighted soccer/multi-purpose fields, lighted basketball courts, two lighted tennis/pickleball courts, play structure for ages 2-5, play structure for ages 5-12, open green space, maintenance/restroom building, dog park, picnic tables, paved walkways with lighting and parking. The final design of the neighborhood park may be refined or modified during park planning to include other facilities or amenities that serve evolving demographics and associated outdoor recreational needs and meet the intent of the City's parks mission.

Private Recreation Facilities

Private recreation facilities emphasize informal social and recreational activities. Facilities may include informal play areas, tot lots and seating areas. Pursuant to the CVMC Section 19.48.040B.6.d, any request for credit toward the Village 8 East 4.0-acre Community Purpose Facility obligation shall be limited to 35% of the obligation, or 1.4 acres. To receive CPF credit for a Private Recreation Facility, the site must be designed pursuant to CVMC 14.48.025H., as further described in the Community Purpose Facility Master Plan, Chapter VI.

Public Schools

Public school buildings and outdoor play areas provide an opportunity for recreational activities within a village. The location of schools adjacent to parks enhances both uses and may allow for shared use of facilities.

Commercial Centers

Commercial areas within a village can provide recreational opportunities in the form of outdoor seating and eating areas. Businesses such as cafes, bookstores and bike shops promote leisure and recreational activities.

Community Purpose Facilities

Pursuant to the CVMC 19.48.025, qualified CPF uses may also serve the recreational needs of Village 8 East residents, with uses such a YMCA, Boys and Girls Club or similar non-profit uses. See the PC District Regulations for additional detail on compliance and permitted uses.

Private Open Space

Per CVMC Section 19.28.090, Private Open Space areas are required within multi-family neighborhoods to serve individual resident needs, as identified in the PC District Regulations. Private Open Space areas may include private fenced yards,

courtyards, balconies, porches, roof decks, and side yards that meet the minimum requirements in the PC District Regulations.

Common Usable Open Space (CUOS)

Per CVMC Section 19.28.090, CUOS areas are required in multi-family neighborhoods. CUOS areas may be combined into useable spaces to meet the neighborhood requirement as defined in the PC District Regs. Per the City of Chula Vista Design Manual, Chapter II Multiple Family, CUOS areas should include both passive and active recreation amenities such as tables, benches, pools, barbecues, courts and tot lots. The final design will be determined during the Design Review process.

Village Pathway and Trails

Special pedestrian and bicycle routes provide an opportunity for expanded recreation and for conveniently traveling to parks or other recreational sites within a village, as depicted on **Exhibit 26 Conceptual Bicycle Circulation Plan** and **Exhibit 27: Conceptual Pedestrian Circulation Plan**.

2. Parks

Park Development Standards

The SPA Park Master Plan will adhere to the standards and requirements set forth in the City of Chula Vista Landscape Manual and the PRMP, Chapter 3. General standards include the following for determining net useable park acreage:

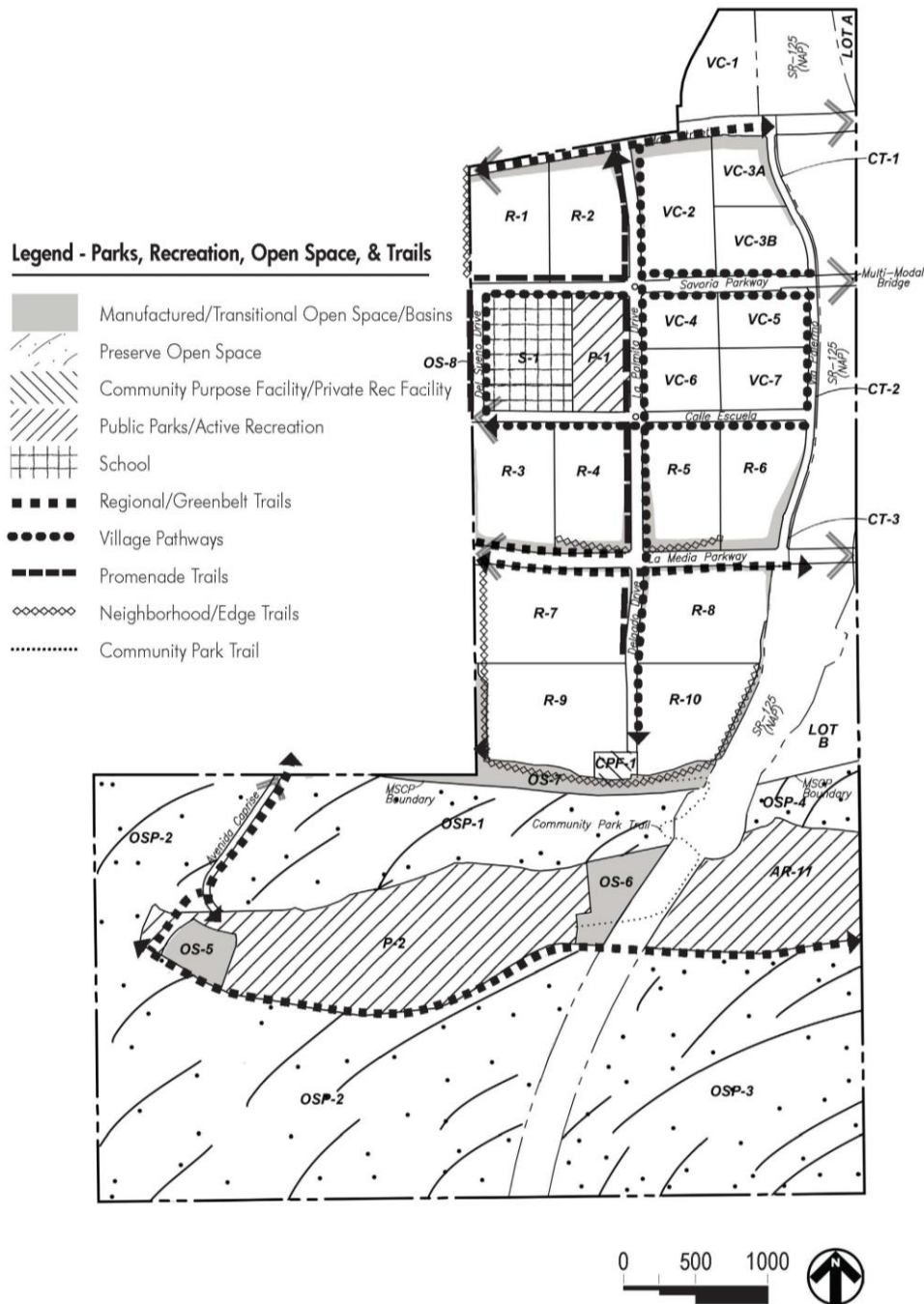
- Park sites shall be graded to a 2% slope to accommodate the facility requirements of the specific park site.
- Slopes steeper than 4:1 are ineligible for park credit.
- Graded slopes are to be constructed in conformance with the City's landform grading policies.

All park areas shall be accessible per the American Disabilities Act (ADA) requirements.

Park Descriptions

There is one neighborhood park and a community park within Village 8 East. **Exhibit 40: Parks, Recreation, Open Space and Trails Plan** illustrates the locations of the parks within the Village 8 East SPA boundary. A conceptual design and description of park facilities is provided below. Based on the "Recreation Needs Assessment" survey from 2015, the PRMP (2018) recommends the facilities listed below be included in the public parks within Village 8 East. A specific quantity and type of sport fields and amenities anticipated within the Village 8 parks has been identified in the PRMP; however, the final design of the public parks may be refined or modified during park planning to include other facilities or amenities

that serve evolving demographics and associated outdoor recreational needs and meet the intent of the City's parks mission. See **Attachment 2: Public Park Facility and Community Purpose Facility Capacity Studies** for the facility capacity studies for the P-1 and P-2 public parks and the CPF-1 site.



Note: The Village 8 East Tentative Map includes an alternative configuration for the P-1 Neighborhood Park / S-1 School Site that would reduce the P-1 Park to 4.6 acres (net) and increase the S-1 School Site to 12.0 acres (net). The final figuring will be determined based on the needs of the Chula Vista Elementary School District.

Exhibit 40: Parks, Recreation, Open Space and Trails Plan

Neighborhood Park P-1***Location***

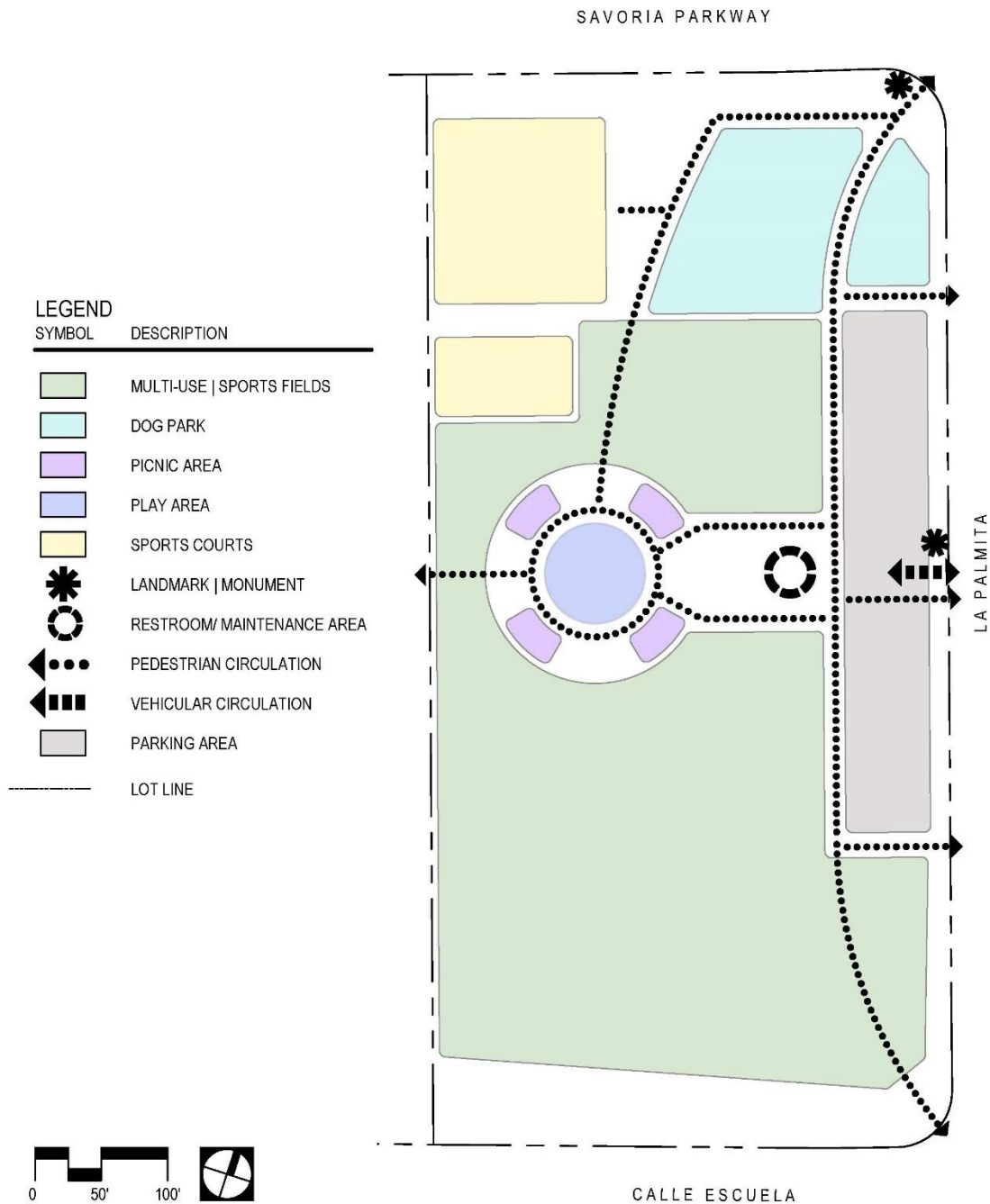
A 6.5 acre (net)³ Neighborhood Park (P-1) is located in the Village Core along the Village Pathway. This location is within walking distance of the most densely populated portion of the village and its proximity to the elementary school provides opportunities for shared facilities and programs.

A conceptual plan for the P-1 Park is provided in Exhibit 41. This conceptual plan may be refined/modified through the City's Park Master Plan process to include other facilities or amenities that serve evolving demographics and associated outdoor recreational needs and meet the intent of the City's parks mission. Lighted courts/fields may be provided, subject to the Parks Master Plan process and the final park improvement budget. See Attachment 2 for the P-1 Park Facilities Capacity Study.

Primary Facilities:

- Multi-Purpose/Soccer Field
- Basketball Court with lighting
- 2 Tennis/4 Pickleball Court with lighting
- Picnic Tables (quantity of shade structures to be determined through the individual park design process)
- Play Structure for Ages 2-5
- Play Structure for Ages 5-12
- Restrooms/Maintenance Building
- Dog Park
- Open Green Space
- Parking

³ The Village 8 East Tentative Map includes an alternative configuration for the P-1 Neighborhood Park / S-1 School site which would reduce the P-1 park to 4.6 acres (net) and correspondingly increase the S-1 School site to 12.0 acres (net). The final figuration will be determined based on the needs of the Chula Vista Elementary School District.



Note: This concept plan is for illustrative purposes only. Actual site development may vary from concepts depicted in this exhibit, as determined during park design.

Exhibit 41: Neighborhood Park (P-1) Concept Plan

Otay Ranch Community Park South (P-2)***Location***

The 36.3 acres (net) Otay Ranch Community Park South (P-2) is located south of Village 8 East, within the Otay Valley Regional Park. Primary access to the park is provided via the Community Park Entry Drive (Avenida Caprise) through Village 8 West). Pedestrian access from Village 8 East to the park is provided via the Community Park Trail, which is co-located with the emergency/maintenance access drive. The Village 8 East Tentative Map shows the conceptual location of vehicular access and recycled water facilities to the adjacent AR-11 site. The final design to be determined during park planning.

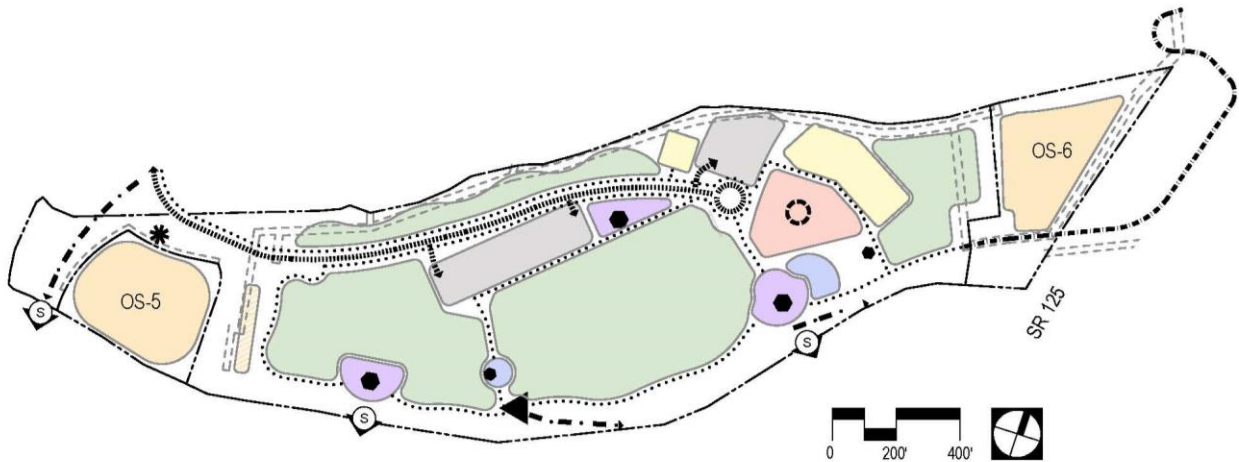
A conceptual plan for the Otay Ranch Community Park South is provided in Exhibit 42. The conceptual plan may be refined/modified park planning to include other facilities or amenities that serve evolving demographics and associated outdoor recreational needs and meet the intent of the City's parks mission. See Attachment 2 for the P-2 Park facilities capacity study.

Primary Facilities⁴:

- Multi-Purpose / Soccer Fields with lighting
- Softball Fields with lighting
- Tennis/Pickleball Courts with lighting
- Basketball Courts with lighting
- Picnic Tables
- Play Structures for Ages 2-5
- Play Structures for Ages 5-12
- 21,000 SF Recreation/Community Center
- Restrooms/Maintenance Building
- Open Green Space
- Parking
- Paved walkways with lighting
- Vehicular access to AR-11 to be determined during final park design
- Connections to Greenbelt Trail and Regional Trail

Note: This concept plan is for illustrative purposes only. Actual site development may vary from concepts depicted in this exhibit, as determined during park design. Vehicular access between P-2 Park and AR-11 shall be accommodated in the final P-2 park design.

⁴ Sports field lighting was analyzed in the University Villages EIR (2014); final determination regarding the need for lighting to be made during the Park design.

**LEGEND**

SYMBOL	DESCRIPTION		
	COMMUNITY CENTER		PEDESTRIAN CIRCULATION
	MULTI-USE SPORTS FIELDS		VEHICULAR CIRCULATION
	PICNIC AREA		COMMUNITY PARK TRAIL (MAINTENANCE + EMERGENCY ACCESS)
	PLAY AREA		GREENBELT TRAIL CONNECTION
	SPORTS COURTS		PARKING AREA
	WATER QUALITY DETENTION BASIN		SCENIC OVERLOOK
	CONCEPTUAL PARK WATER QUALITY DETENTION BASIN		LARGE SHADE STRUCTURE
	LANDMARK MONUMENT		SMALL SHADE STRUCTURE
	RESTROOM MAINTENANCE		TRAIL STAGING AREA
			30' FUEL MOD ZONE
			LOT LINE
			EASEMENT

Note: This concept plan is for illustrative purposes only. Actual site development may vary from concepts depicted in this exhibit, as determined during park design. Vehicular access between P-2 Park and AR-11 shall be accommodated in the final P-2 park design.

Exhibit 42: Otay Ranch Community Park South (P-2) Concept Plan

Active Recreation AR-11

The OVRP Concept Plan identifies Recreation Areas through the Otay River Valley, including the site south of Village 8 East (Active Recreation Area 11). The western portion is identified as the Otay Ranch Community Park South (P-2) in the PRMP and Village 8 East SPA Plan. The eastern portion of Recreation Area 11 is not proposed for development but remains designated “Active Recreation” on the Chula Vista General Plan and remains available for future development by the City of Chula Vista⁵.

3. Trails and Bicycle Routes

The SPA Plan Area has been designed to accommodate the trails program described in the Otay Ranch Overall Design Plan, the City's Greenbelt Master Plan and the Otay Valley Regional Park Concept Plan. The plan recognizes the provision of bicycle and pedestrian circulation is fundamental to creating an urban village. All circulation elements within the SPA Plan Area have been located and designed to be as accessible as possible, however, the off-street trails contain steep topography which may limit bicycle travel. The project will provide Greenbelt Trail improvements along the portion of Hard Rock Road/Salt Creek Sewer Easement, within the project boundary. Improvements may include fencing and signage and shall be determined based upon environmental and other constraints, subject to City review and approval per the Chula Vista Greenbelt Master Plan, Page 25. The Conceptual Pedestrian Circulation Plan is illustrated in Chapter III, Circulation, of this SPA Plan. The landscape treatment and design elements of village trails are also illustrated and described in the Village Design Plan.

4. Community Gardens

The Chula Vista General Plan includes objectives and policies related to planning for healthy communities. Highlighting the growing awareness of the need for Healthy Communities the national “Healthy Community” Initiative stresses healthy



choices at all levels from appropriate placement of land uses to ensure that citizens are not adversely affected by uses that may present health risks, to opportunities for exercise and to have healthy diets in part through better access to recreation facilities and healthy food choices. Another important facet of Healthy Communities is increasing availability and access to healthy food choices. In 2010, the City of Chula Vista adopted a community garden policy that provides a framework for community groups wishing to establish gardens. The adopted Community Gardens Policy describes the community participation process

⁵ AR-11 is owned by the City of Chula Vista. The Applicant is not proposing to utilize any portion of the AR-11 site to satisfy any of the Village 8 East parkland requirements.

for establishing a community garden, outlines the process for community garden planning and provides community garden establishment and maintenance guidelines. A standard “Community Garden User Agreement” is also a component of the Community Garden Policy.

Community gardens in Village 8 East are envisioned primarily as ornamental gardens, funded and maintained by a village garden club or the Home Owners Association (HOA). Potential site locations include the Private Recreation Facilities and open space areas.

5. Open Space

Open space within the SPA Plan Area is comprised of Otay River Valley open space (part of the Otay Ranch Preserve) to the south, graded slopes within and surrounding the village, a Neighborhood Park, a Community Park, active recreation area and the landscape buffer adjacent to surrounding major streets.

The Otay Ranch GDP requires the provision of open space in addition to local parks at a ratio of 12 acres for every 1,000 residents. Based on an estimated population of 10,549 residents, approximately 126.5 acres of open space are required. This requirement is met through the provision of 285.3⁶ acres of open space in the form of preserve open space, manufactured slopes and other interior open spaces within the SPA Plan Area.

6. Otay Ranch Preserve Conveyance

The largest component of open space in the Otay Ranch is the Otay Ranch Preserve, described in the Resource Management Plan (RMP). As prescribed by the RMP, the development of each Otay Ranch Village requires a contribution to the Otay Ranch preserve. The Otay Ranch Preserve Conveyance requirement will be met through dedication of land within the Preserve to the Preserve Owner / Manager (POM) comprised of the City of Chula Vista and County of San Diego.

Per the Otay Ranch RMP, the required preserve conveyance calculation is 1.188 acres of open space conveyance per one acre of development less the acreage for “common use lands,” (local parks, schools, arterial roads and other land designated as public use areas). The contribution requirement is based on the development

⁶ Approximate acreage includes approximately 15.3 acres of perimeter slope areas to be identified during final engineering and secured with an open space easement on the applicable Village 8 East Final Map. A portion of the Edge Trail and associated overlook features (approximately 1.76 acres) are included within the 8.2-acre OS-7 parcel. The Edge Trail area shall be secured with a public access easement and the 1.76 acres shall satisfy a portion of the Village 8 East park obligation. The 1.76-acre Edge Trail area is not counted toward meeting the Village 8 East open space requirement.

area determined at the Final Map(s) level. The estimated Village 8 East Preserve conveyance requirement calculation is as follows:

Table 5: Estimated Preserve Conveyance Obligation

Village 8 East	Land Use	Acres (Gross)
Village 8 East Total		572.9
Common Use Lands		
	P-1	7.3
	P-2	43.3
	AR-11	22.6
	S-1	11.3
	SR-125 ROW	3.7
	Circulation Element Roads	9.2
	Preserve Open Space	253.6
Total Common Use Lands		351.0
Development Area		221.9
Village 8 East Preserve Conveyance Obligation*		263.6

* Actual Conveyance Acreage to be determined at Final Map level.

7. Manufactured Slopes

Manufactured slopes within the village are located between residences in neighborhoods, along major streets and adjacent to natural open spaces. All manufactured slopes will be constructed and landscaped to City standards and guidelines provided in the Village 8 East Design Plan. All slopes over 25 feet in height will be permanently irrigated, with the exception of the temporary slopes and native transition slopes adjacent to Preserve open space which may be temporarily irrigated for establishment of the landscape. Varied height trees, shrubs and groundcovers will be utilized to undulate the surface of slopes and create dimensions and variations to soften views from adjacent to the Otay Valley Regional Park/MSCP Preserve area. The design and maintenance of the slopes adjacent to the Preserve are described in the Village 8 East Preserve Edge Plan.

8. Ownership, Funding and Maintenance

All slopes outside of the public right-of-way and the Otay Ranch Preserve will be owned and maintained through a Community Facilities District (CFD) or HOA.

D. OWNERSHIP AND MAINTENANCE OPTIONS

The following are options for ownership and maintenance of park, open space and trail facilities in the SPA Plan Area.

1. Community Facilities District and Homeowners Association

Facilities not maintained by private property owners or a public agency will be maintained through Community Facilities Districts (CFD) or Homeowners Associations (HOA). Such areas will include common areas, common slope areas, common open space, private parks, entry landscaping, walls facing the public right-of-way, trails, paseos and storm water pollution prevention facilities. Certain public facility areas may also be included, as determined by the Director of Public Works or their designee, such as detention basins and enhanced median and parkway landscaping in the public right-of-way.

2. Public Agency Maintenance

Public agencies will be responsible for maintaining the facilities on publicly owned land. These areas include landscaping within street and highway rights-of-way (unless maintained by an HOA, per the GDP, BOA or CFD), public parks, schools and other similar public lands.

3. City of Chula Vista General Services

Public streets, walks, parkways and trails which are located on public land and drainage structures other than those designed as swales or brow ditches will be the maintenance responsibility of the Chula Vista Public Works Department (unless maintained by an HOA or CFD).

E. PHASING

1. Parks

The construction of parks is coordinated with residential development phasing to ensure that parks are provided to serve the resident population. Park obligations are described in the PFFP and further addressed in a separate agreement between the Applicant and the City of Chula Vista.

2. Open Space

Open spaces adjacent to the major surrounding streets will be phased with street construction. All slopes and other open spaces will be implemented in conjunction with adjacent development.

Conveyance of the Resource Management Preserve land will comply with the Phase 2 RMP policies requiring conveyance of 1.188 acres of preserve land for every acre of development area. This conveyance will occur on a phased basis prior to approval of Final Maps.

3. Trails

Trails will be phased in conjunction with adjacent development, including street and slope construction. Public access to trails that connect to the Chula Vista

Greenbelt multi-use trail within the Otay Ranch Preserve will be restricted until Greenbelt Trail improvements are complete to the satisfaction of the City of Chula Vista Director of Development Services or their designee.

VI. Community Purpose Facility Master Plan



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VI. COMMUNITY PURPOSE FACILITY MASTER PLAN

A. INTRODUCTION

The City of Chula Vista Municipal Code Chapter 19.48. (P-C – Planned Community Zone), requires 1.39 acres of Community Purpose Facilities land per 1,000 persons be provided. Pursuant to the Code, Community Purpose Facilities (CPF) means "a land use designation in a planned community intended for non-profit and certain for-profit land uses..." The following uses are permitted within the CPF zone:

- Boy Scouts, Girl Scouts, and other similar organizations;
- Social and human services activities, such as Alcoholics Anonymous;
- Services for homeless;
- Services for military personnel during the holidays;
- Senior care and recreation;
- Worship, spiritual growth and development, and teaching of traditional family values;
- Non-profit or for-profit day care facilities that are ancillary to any of the above or as a primary use. For-profit facilities as a primary use are subject to further requirements and additional criteria as outlined in Section F of the Code;
- Private schools that are ancillary to any of the above;
- Interim uses, subject to the findings in Section E of the Code;
- Recreational facilities, such as ball fields, for non-profit organizations (including home owners associations) serving the local community, subject to the requirements outlined in Section 19.48.040(B)(6) of the CVMC (P-C-Planned Community Zone: Application – General Development Plan Required – Contents Required) and subject to the findings outlined in Section 19.48.025(H) of the CVMC (P-C-Planned Community Zone: Community Purpose Facilities – Minimum Acreage Required – Permitted Uses).

Pursuant to Section 19.48.040(B)(6) (P-C-Planned Community Zone: Application – General Development Plan Required – Contents Required) of the CVMC, a CPF Master Plan is required and "shall show the specific boundaries of said plan which may be the SPA, GDP, or Planned Community Boundaries (or more than one GDP as deemed appropriate by the Director of Development Services or their designee); the distribution of existing and proposed CPF designated parcels within the Master Plan area; and the tabulation of individual sites acreages which shall be prepared and incorporated into the Planned Community's Sectional Planning Area (SPA) Plan....The incorporation of the CPF Master Plan into the SPA or GDP shall be done through a SPA or GDP amendment/adoption pursuant to Sections 19.48.080 and 19.48.130 of the CVMC (P-C-Planned Community Zone: .080 = General Development Plan – Modification Requests and Procedures and .130 = Sectional

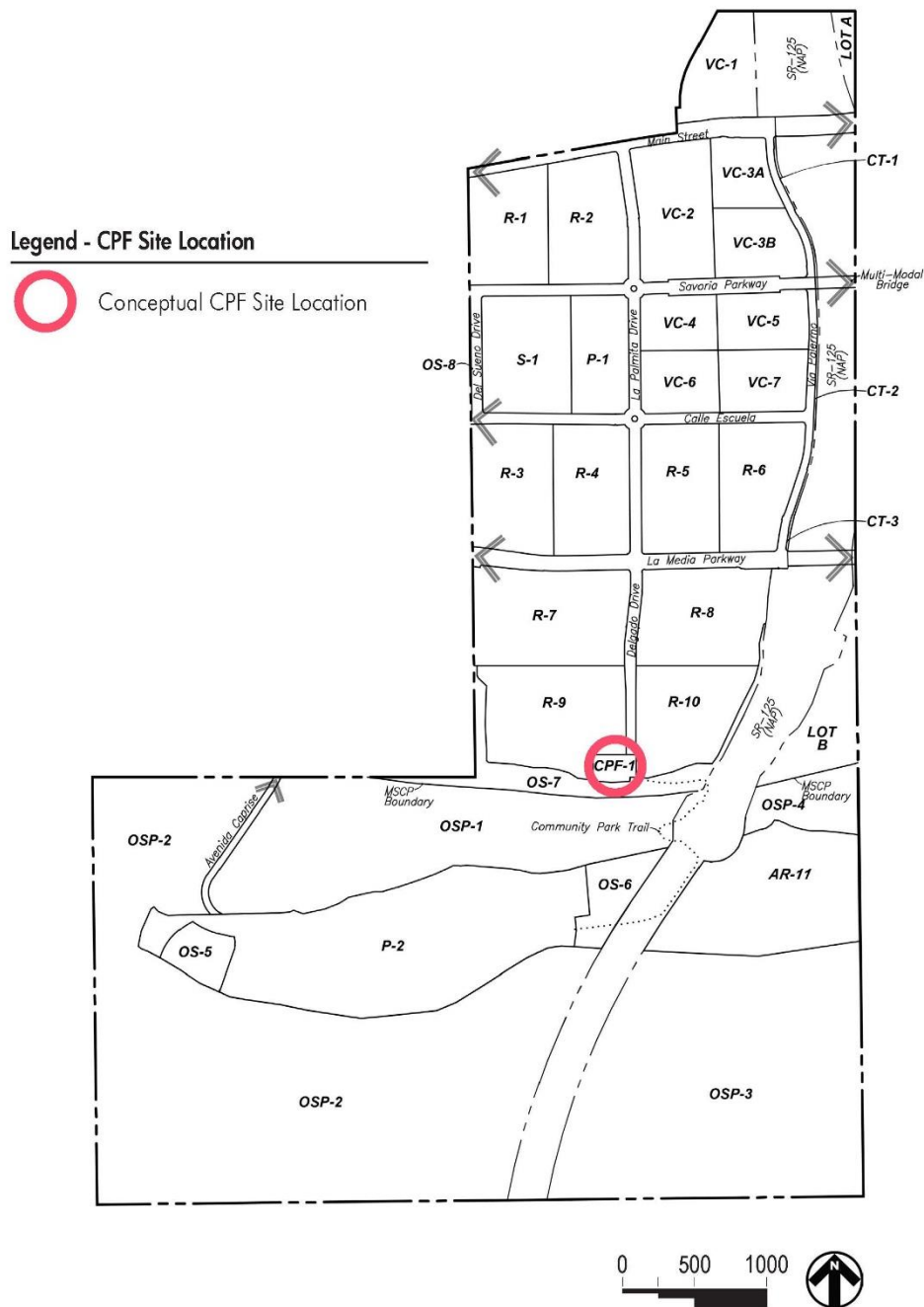
Area Plans – Modification Requests and Procedures)." Pursuant to CVMC Section 19.48.040d, "Recreational facility land uses shall not utilize more than 35 percent of the overall CPF acreage."

B. COMMUNITY PURPOSE FACILITY REQUIREMENT

The proposed 3,276 units in Village 8 East generate a population of approximately 10,549 persons (based on 3.22 persons per residential unit), requiring approximately 14.6 acres of CPF land. However, per the LOA, Village 8 East is obligated to provide a total of 4.0 acres of CPF designated sites.

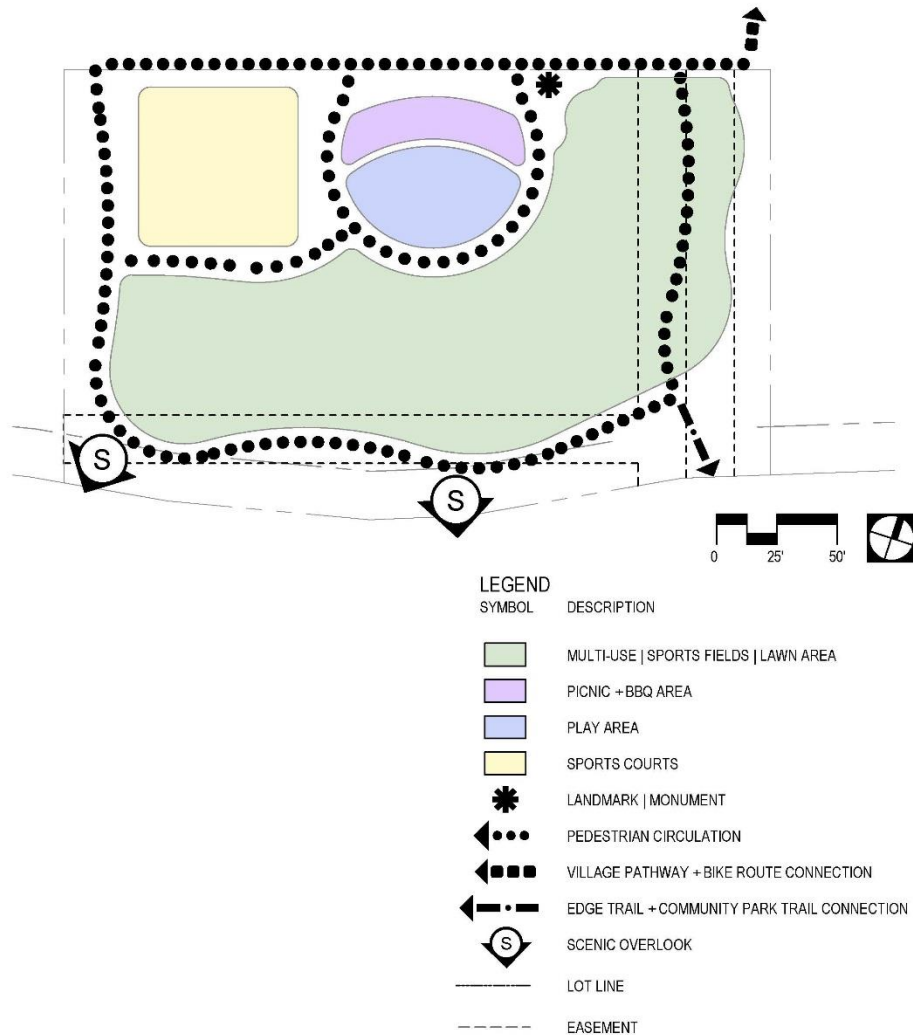
C. COMMUNITY PURPOSE FACILITY IMPLEMENTATION

The Applicant proposes to satisfy the Village 8 East 4.0-acre CPF obligation by designating a 1.2-acre private recreation facility (CPF-1) at the southern perimeter of Village 8 East. The size of this CPF site complies with CVMC Section 19.48.040d, as it is less than 35 percent of the overall CPF acreage ($4.0 \times 35\% = 1.4$ acres). The CPF-1 Concept Plan represents a method of meeting CPF private recreation requirements; however, final programming, amenities and configuration are subject to final design. The balance of the Village 8 East CPF obligation (2.8 acres) is to be addressed in a separate agreement between the Applicant and the City of Chula Vista.

**Exhibit 43: Community Purpose Facility Master Plan**

I. CPF-1

CPF-1 is a 1.2-acre Private Recreation Facility located at the southern edge of Village 8 East, providing an Otay River Valley overlook and linkage to the Edge Trail and the Community Park Trail network. Amenities may include picnic and play areas, a tot lot and sports courts; however, final programming, amenities and configuration are subject to final design.



Note: The CPF-1 Concept Plan is one example of how the planned components may be provided within the site; however, the design may be refined or changed during final design.

Exhibit 44: CPF-1 Concept Plan

VII. Development Phasing



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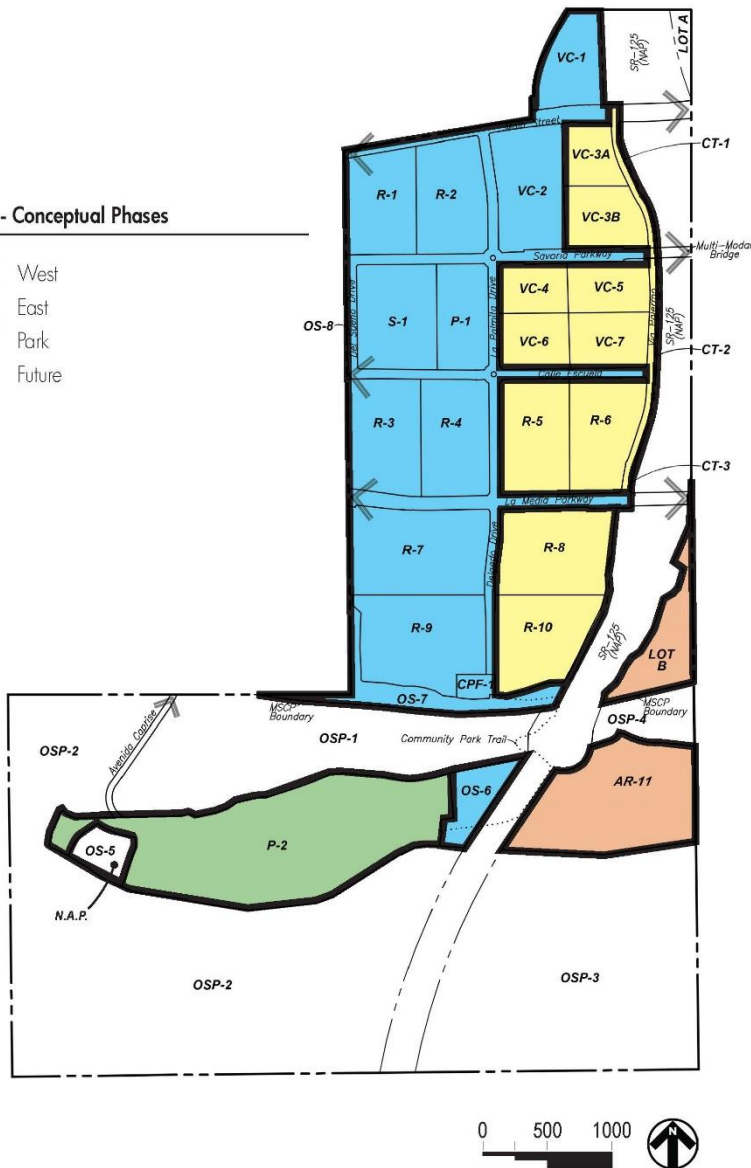
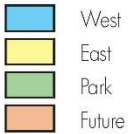
VII. DEVELOPMENT PHASING

A. INTRODUCTION

Development of the SPA Plan Area will be completed in phases to ensure construction of necessary infrastructure and amenities for each phase as the project progresses. The Conceptual Phasing Plan (Exhibit 45) reflects anticipated market demand for a variety of housing types and commercial development.

The Phasing Plan is non-sequential because sequential phasing is frequently inaccurate due to unforeseen market changes or regulatory constraints. Therefore, this SPA Plan and PFFP permit non-sequential phasing by imposing specific facilities requirements for each phase to ensure the SPA Plan Area is adequately served and City requirements are met. Public parks and schools shall be phased as needed. The Phasing Plan is consistent with the PFFP. The proposed phasing and actual construction timing of the SPA Plan Area may be modified subject to compliance with provisions of the PFFP.

Legend - Conceptual Phases



WEST PHASE		
Parcel	Estimated Units	Commercial SF (K)
R-1	154	
R-2	163	
R-3	162	
R-4	147	
R-7	226	
R-9	196	
VC-1	275	
VC-2	430	
S-1	264	
P-1	0	
CPF-1	0	
Subtotal West Phase	2,017	10

EAST PHASE		
Parcel	Estimated Units	Commercial SF (K)
R-5	155	
R-6	143	
R-8	176	
R-10	142	
VC-3A	161	
VC-3B	0	
VC-4	192	
VC-5	0	
VC-6	142	
VC-7	148	
Subtotal East Phase	1,259	

COMMUNITY PARK PHASE		
Parcel	Estimated Units	Commercial SF (K)
P-2	0	
TOTAL	3,276	10

Exhibit 45: Conceptual Phasing Plan

VIII. Public Facilities



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VIII. PUBLIC FACILITIES

A. INTRODUCTION

This section briefly summarizes the public facilities required for the SPA Plan Area in compliance with the City's goals that new developments provide all necessary support services. The PFFP prepared in conjunction with this SPA Plan describes the backbone facilities in more detail and assigns the responsibility for construction, maintenance and financing of all required facilities.

The public facilities outlined in this section have been determined based upon projected land uses and their distribution as shown on the Village 8 East Site Utilization Plan (Exhibit 4). Facilities will be sized in accordance with the projected demands and distribution for these land uses. Facilities needs and delivery schedule may be modified, subject to City approval, during the Tentative Map review and approval process. Electric/gas distribution facilities will be constructed primarily in public streets and will be provided by SDG&E.

B. WATER SUPPLY AND MASTER PLAN

The *Overview of Water Service for Otay Ranch Village 3 North and a Portion of Village 4, 8 East and 10* prepared by Dexter Wilson Engineering (2014) addressed potable and recycled water services and facilities for Village 8 East. Dexter Wilson Engineering subsequently prepared the *Otay Ranch Village 8 East Amendment Water Evaluation* (2023) to address the proposed Village 8 East SPA Amendment. In conformance with the GDP and SPA requirements, the Water Plan demonstrates compliance with state and local agency requirements and the ability to serve the SPA Plan Area. A summary of key points from the Water Plan is outlined below.

1. Water Supply

Senate Bill 610 principally applies to the California Water Code and requires the California Environmental Quality Act process for a project to be amended to include documentation to definitively establish water availability.

California Senate Bill 221 and Senate Bill 610 were approved on October 9, 2001 and became effective January 1, 2002. Senate Bill 221 primarily applies to the Subdivision Map Act and requires the lead agency (City of Chula Vista), in considering a tentative map, to verify that the public water supplier (Otay Water District) has sufficient water supply available to serve the project.

To meet the requirements of Senate Bills 221 and 610, the City of Chula Vista formally requested the Otay Water District to prepare a water supply assessment report for the project. The Otay Water District Board of Directors formally approved the Water Supply Assessment and Verification Report, Otay Ranch Villages 3 North, a Portion of Village 4, 8 East and 10 Sectional Planning Area Plans on November 6, 2013.

The SPA Plan Area is located within the boundaries of the Otay Water District (OWD), which is responsible for providing local water service. OWD is a member of the San Diego County Water Authority and the Metropolitan Water District of Southern California. The SPA area will be annexed into Improvement Districts 22 and 27 of the Otay Water District.

2. Potable Water Demand

Domestic water demand for the SPA Plan Area will be estimated as a part of the Subarea Water Master Plan to be approved by the OWD. An analysis of available water supply will also be completed to assure that sufficient supplies are planned to be available as demand is generated by the project.

The project is within the Central Service Area of the Otay Water District. Potable water for the development will be supplied from the 624, 711 and 980 pressure zones. **Exhibit 46: Conceptual Potable Water Plan** depicts the recommended distribution system required for the project area.

- The 624 Zone will be expanded by connecting to the existing 16-inch line in La Media Parkway at the western boundary of Village 8 East. The 16-inch 624 Zone line will be extended east in La Media Parkway to the eastern boundary of Village 8 East for future expansion into Village 9. A 624 Zone loop will be formed within Village 8 East between La Media Parkway and the existing 8-inch 624 Zone line in the southeast corner of Village 8 West.
- The 711 Zone will be expanded by connecting to the existing 16-inch line in Main Street. This 16-inch 711 Zone line will be extended east in Main Street to the eastern boundary of Village 8 East for future expansion into Village 9. A 711 Zone loop will be formed within Village 8 East between Main Street and the existing 12-inch 624 Zone line in Calle Escuela west of the project.
- The 980 Zone will be expanded by connecting to the existing 12-inch line in the northwest corner of Village 8 East. This 12-inch line will be extended east in Main Street to provide service to planning areas adjacent to Main Street.

The Otay Water District has three existing reservoirs in the 624 Zone. These reservoirs are filled by OWD Connections 10 and 12 to the San Diego County Water Authority aqueduct. The Otay Water District also has two existing reservoirs in the 980 Zone north of the Rolling Hills Ranch community.

The 711 Zone has storage reservoirs within the EastLake Greens development and within the District's Use Area Property north of Rolling Hills Ranch.

3. Recycled Water Supply and Master Plan

Current Otay Water District (OWD) policies regarding new subdivision development require the use of recycled water where available. Consistent with the Otay Ranch GDP, it is anticipated that recycled water will be used to irrigate street parkway landscaping, parks, manufactured slopes along open space areas and landscaped areas of commercial, and multi-family sites as depicted on **Exhibit 47: Conceptual Recycled Water Plan**.

The project is located in the 680 and 815 Zones for recycled water service. The primary source of recycled water for the SPA Plan Area will be the South Bay Water Reclamation Plant. From this plant, the recycled water system will consist of a series of pump stations, transmission piping and storage reservoirs which will provide recycled water to portions of Otay Ranch, including the SPA Plan project area.

In the SPA Plan Area, the existing recycled water distribution system serves Village 7 and Village 11 to the north and Village 8 West to the west. The recycled water system is also proposed to be extended to serve Village 9.

Recycled water requirements for the project will be coordinated by the Water District and the City. Phased construction of recycled water facilities, based on the District approved master plan, will be incorporated into the PFFP and/or subdivision map conditions to assure timely provision of required facilities.

4. Water Conservation

A Water Conservation Plan was prepared as a component of the 2014 SPA Plan in conformance with the requirements of the Otay Ranch GDP and the Chula Vista Growth Management Ordinance. Dexter Wilson Engineering prepared the *Otay Ranch Village 8 East Amendment Water Conservation Evaluation (2023)* for the SPA Amendment.

As described in the Water Conservation Plan prepared by Dexter Wilson Engineering, certain landscaped areas are required to utilize recycled water where available based on current Otay Water District (OWD) policies regarding new subdivision development. Consistent with the Otay Ranch GDP, it is anticipated that recycled water will irrigate landscape areas identified in the Water Plan.

The potential sources and availability for recycled water use are described in more detail in the Water Plan. Potential demand within the SPA Plan area will be estimated in a subsequent Subarea Water Master Plan to be approved by the OWD. Recycled water requirements for the project will be coordinated by OWD and the City. Phased construction of recycled water facilities, based on an OWD-approved master plan, will be incorporated into the PFFP and/or subdivision map conditions to assure timely provision of required facilities.

Water conservation measures for the SPA Plan Area include the following:

- **Hot Water Pipe Insulation.** This measure involves the insulation of hot water pipes with 1-inch walled pipe insulation and separation of hot and cold-water piping. This measure is estimated to cost an additional \$50 during initial construction and result in annual savings of 2,400 gallons per residential unit.
- **Pressure Reducing Valves.** Setting the maximum service pressure to 60 psi reduces any leakage present and prevents excessive flow of water from all appliances and fixtures. This measure is estimated to cost \$100 during initial construction and result in annual water savings of 1,800 gallons per residential unit.
- **Water Efficient Dishwashers.** There are a number of water efficient dishwashers available that carry the Energy Star label. These units cost an additional \$500 on average and result in an estimated yearly water savings of 650 gallons per residential unit.

Other potential water saving features of the project include:

- **Dual Flush Toilets.** The developer will install dual flush toilets within the project. This measure is estimated to cost \$200 per household and result in annual water savings of 4,000 gallons per year per residential unit.
- **Water Efficient Landscaping.** The developer will comply with the City's Landscape Water Conservation Ordinance to reduce outdoor water use. This will include a more drought tolerant plant selection including less turf area as well as installation of water efficient irrigation systems. While the estimated savings from this measure is difficult to quantify at this stage of planning, it is estimated that outdoor water usage at single family residences will be reduced by a minimum of 10 percent, or approximately 25 gpd per home.

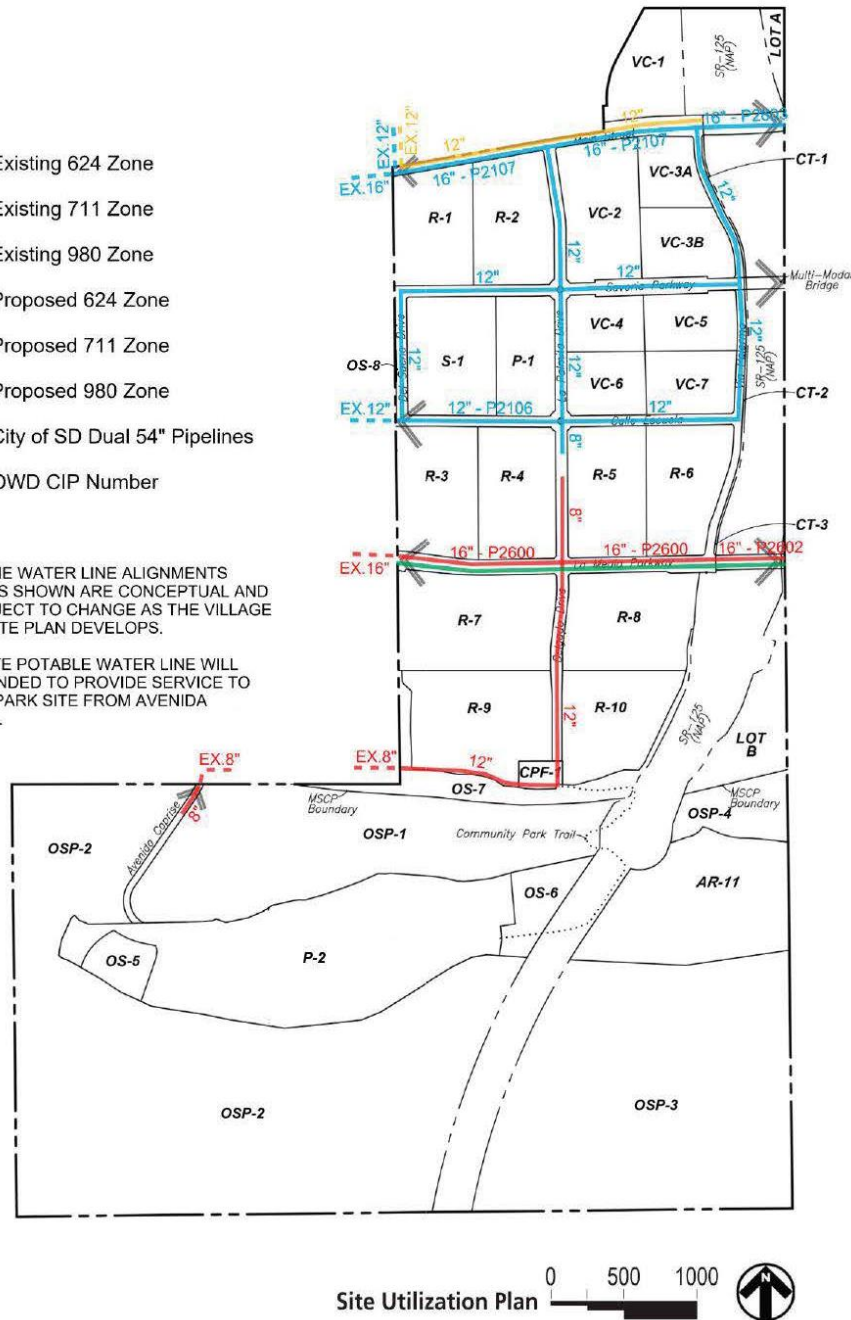
LEGEND

- Existing 624 Zone
- Existing 711 Zone
- Existing 980 Zone
- Proposed 624 Zone
- Proposed 711 Zone
- Proposed 980 Zone
- City of SD Dual 54" Pipelines

P2107 OWD CIP Number

NOTES:

1. BACKBONE WATER LINE ALIGNMENTS AND SIZES SHOWN ARE CONCEPTUAL AND ARE SUBJECT TO CHANGE AS THE VILLAGE 8 EAST SITE PLAN DEVELOPS.
2. A PRIVATE POTABLE WATER LINE WILL BE EXTENDED TO PROVIDE SERVICE TO THE P-2 PARK SITE FROM AVENIDA CAPRISE.

**Exhibit 46: Conceptual Potable Water Plan**

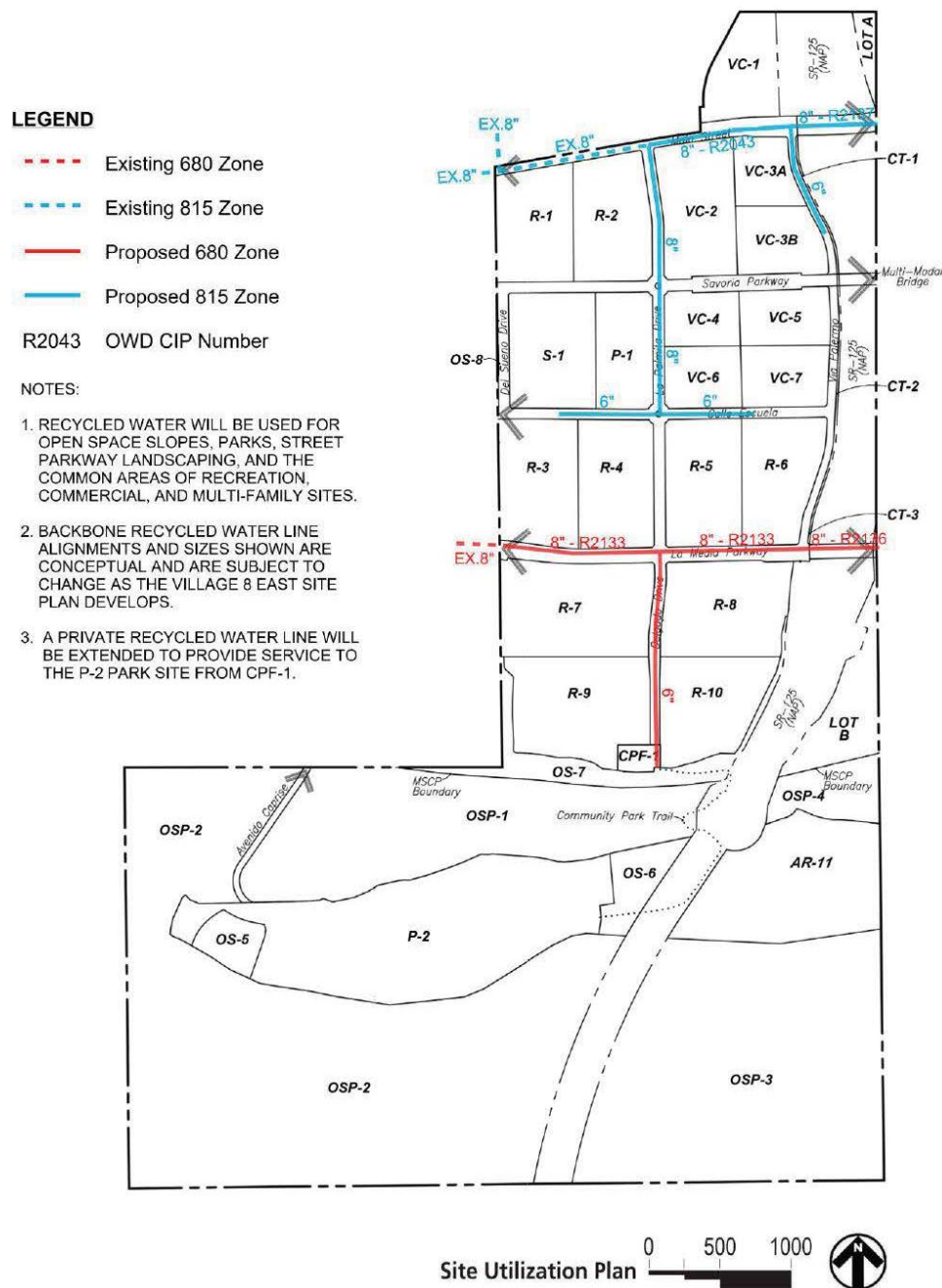


Exhibit 47: Conceptual Recycled Water Plan

C. SEWER SERVICE

The *Overview of Sewer Service for Otay Ranch Villages 3 North and a Portion of Village 4, 8 East and 10*, prepared by Dexter Wilson Engineering (2014) addressed sewer service and facilities for Village 8 East. Dexter Wilson Engineering subsequently prepared the *Otay Ranch Village 8 East SPA Amendment Water Evaluation (2023)* to address the proposed Village 8 East SPA Amendment. Sewer service to the project site is provided by the City of Chula Vista. Chula Vista operates and maintains its own sanitary sewer collection system that connects to the City of San Diego's Metropolitan Sewer System.

The City of Chula Vista's Subdivision Manual establishes sewage generation factors based on population multipliers used to project sewage flows. The average daily flow into the Salt Creek basin from the SPA Plan Area is estimated at 700,077 gpd. This flow will be conveyed to the existing Salt Creek Interceptor just to the south of the project. Sewer facility improvements required to serve the SPA Plan Area include 8-inch to 15-inch gravity sewer lines on-site and fees to fund future improvements to the Salt Creek Interceptors.

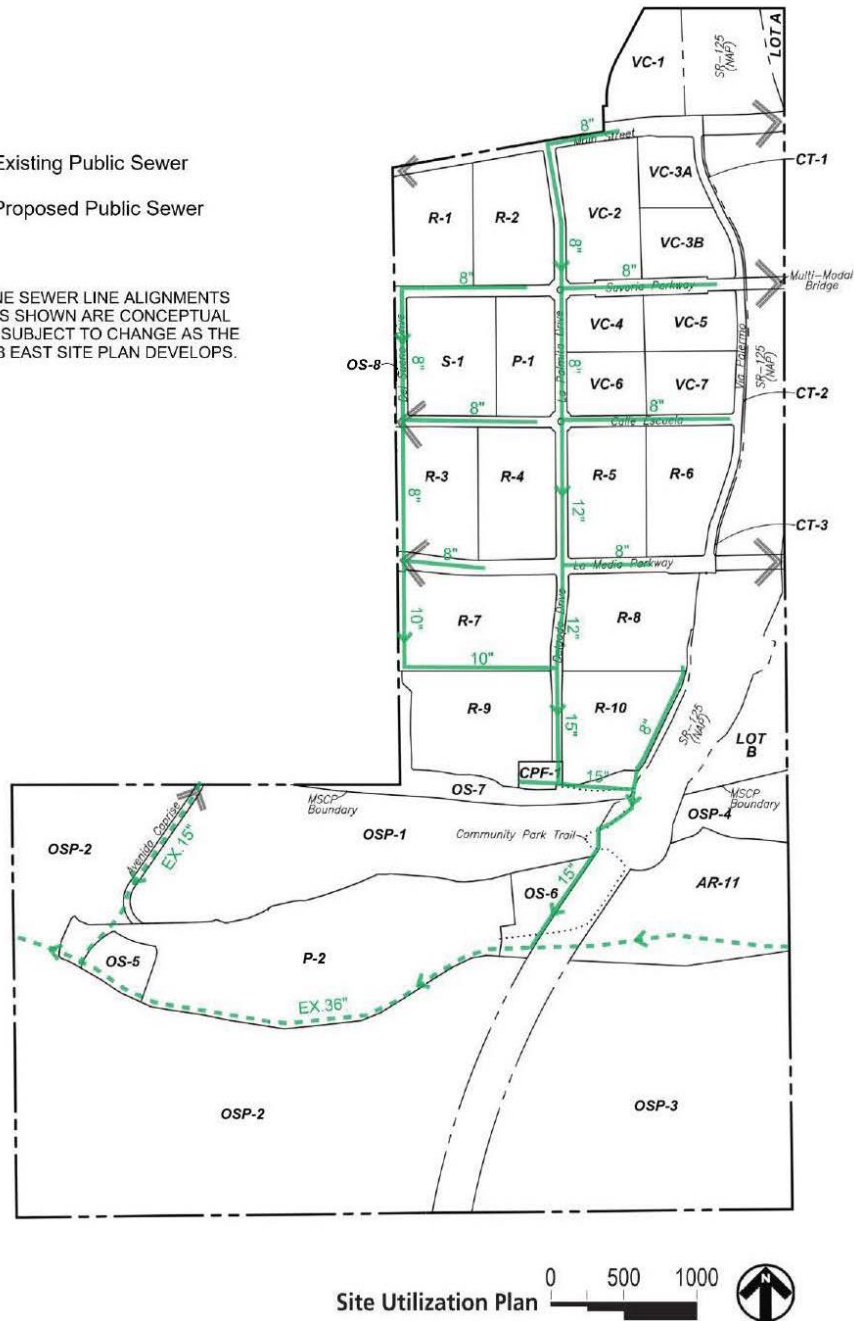
Sewer facilities required to serve the SPA Plan Area will be constructed in phases. The phasing and financing requirements are addressed in the PFFP and/or subdivision map conditions to assure timely provision of required facilities. Existing and planned sewer facilities are illustrated on **Exhibit 48: Conceptual Sewer Plan**.

LEGEND

- Existing Public Sewer
 --- Proposed Public Sewer

NOTES:

1. BACKBONE SEWER LINE ALIGNMENTS AND SIZES SHOWN ARE CONCEPTUAL AND ARE SUBJECT TO CHANGE AS THE VILLAGE 8 EAST SITE PLAN DEVELOPS.

**Exhibit 48: Conceptual Sewer Plan**

D. STORM DRAIN & WATER QUALITY

The *Master Drainage Study* and *Water Quality Technical Report* were prepared by Hunsaker and Associates in 2014 to assess the existing and developed drainage and water quality conditions in the SPA Plan Area. Hunsaker and Associates subsequently prepared the *TM Drainage Study for Otay Ranch-Village 8 East* (Drainage Study) and *Priority Development Project – Stormwater Quality management Plan for Otay Ranch Village 8 East* (2023) (PDP SWQMP) to assess the Village 8 East SPA Amendment and Tentative Map. In conformance with the Otay Ranch GDP and SPA requirements, the reports provide the necessary hydrological studies, analysis and design solutions to provide appropriate urban runoff and water quality for the SPA Plan Area. Key elements of the Drainage Study and SWQMP are provided below. The conceptual storm drain sizing and location, proposed basins and Modular Wetlands System are depicted on **Exhibit 49: Conceptual Basin and Drainage Plan**.

I. Drainage

All pre development and post development runoff from Village 8 East is within the Otay River Valley watershed.

Runoff from the developed portion of Village 8 East and co-mingled flow from La Media Parkway (Village 8 West) will be routed via a storm drain system southerly. A cleanout with an internal diversion will be located at the downstream portion of the system to direct the low flow to a proposed detention basin and volume based Modular Wetlands System located east of the P-2 Community Park (designated OS-6 on the Site Utilization Plan) to address water quality requirements, while the peak flows continue toward the discharge point at the Otay River. The detention basin and Modular Wetlands System outlet directly to the Otay River via internal storm drain systems. Energy dissipating measures, such as D-41 headwalls or APWA energy dissipating impact basins or an alternative facility, along with riprap, are proposed at each respective outlet.

A biofiltration water quality basin is proposed at the southwestern corner of the P-2 Park to treat runoff from the Community Park Entry Drive and a portion of the park. The final basin design will occur during park planning.

Due to the impact of the Savage Dam at the Otay Reservoir, studies have determined that the development of the Village 8 East site will not increase the 100-year frequency peak flows in the Otay River. Therefore, no detention basins are required.

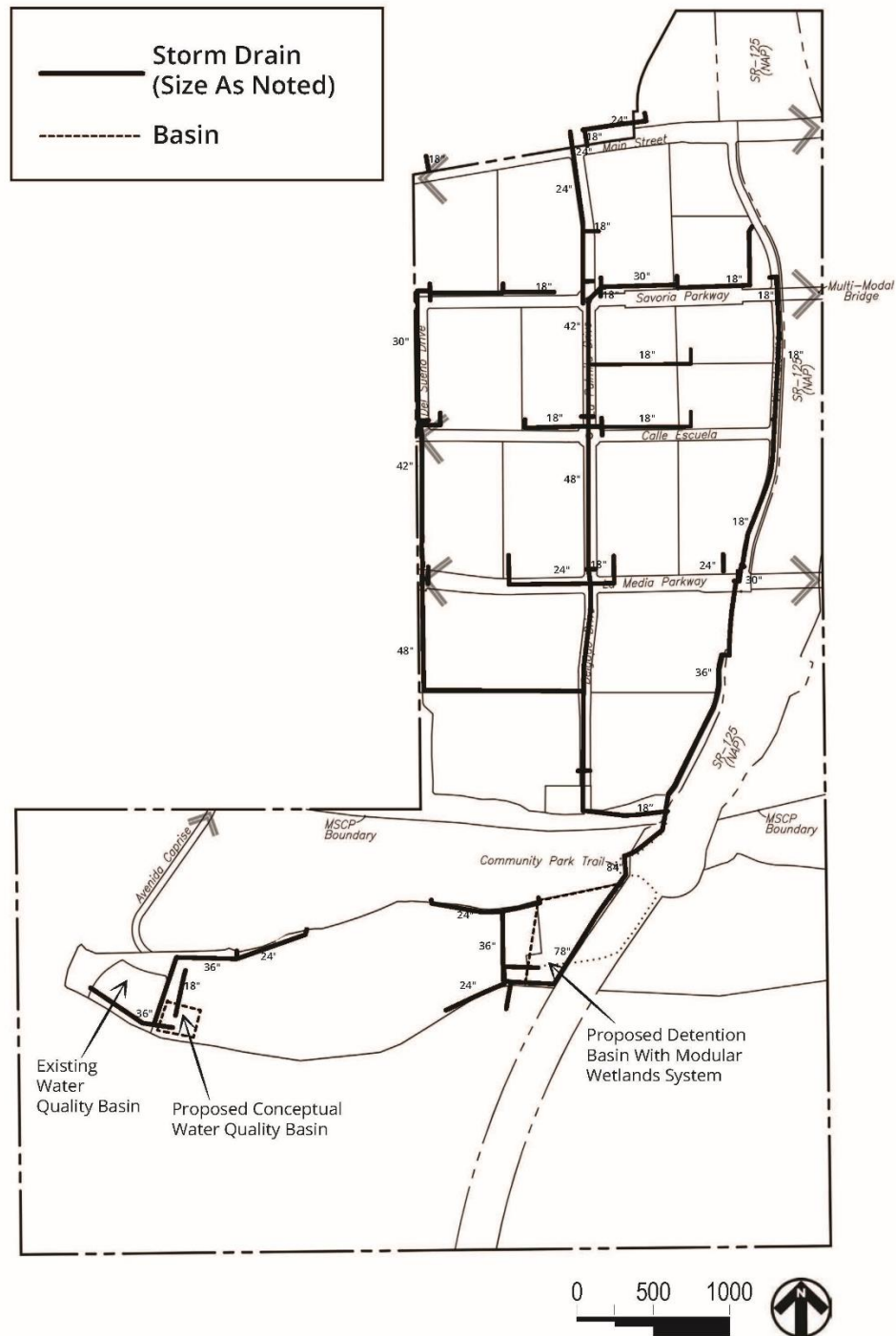
2. Water Quality

The development of the SPA Plan Area will implement all necessary requirements for water quality as specified by State and local agencies.

The development will meet the requirements of the City's Standard BMP Design Manual (BMPDM), the Jurisdictional Urban Runoff Management Program and the Storm Water Management and Discharge Ordinance (as specified in the City of Chula Vista Development and Redevelopment Storm Water Management Standards/Requirements Manual).

The Otay River is a USGS blue line stream, which makes it a waterway of the United States under the Clean Water Act (CWA). All development in excess of five acres must incorporate urban runoff planning, which will be detailed at the Tentative Tract Map level. The conceptual grading and storm water control plan for the SPA Plan Area provides for water quality control facilities to ensure protection for the Otay River.

According to the *San Diego Bay Watershed Management Area* Analysis, the Otay River is categorized as an exempt facility from hydromodification management requirements. Since all runoff from the developed area within the Village 8 East SPA area is proposed to drain directly to the Otay River, hydromodification management measures are not required for this development.

**Exhibit 49: Conceptual Basin and Drainage Plan**

E. ROADS

Roads included in this SPA proposal are addressed in Chapter III, Circulation, of this SPA Plan. The PFFP details their phasing and financing.

F. SCHOOLS

The Otay Ranch GDP requires preparation of a School Master Plan for each SPA. This section addresses and satisfies the requirements for such a plan. Additionally, the phasing and funding of school facilities is addressed in the PFFP.

The construction of up to 3,276 multi-family dwelling units is planned for the Village 8 East SPA Plan. Based on Chula Vista Elementary School District and Sweetwater Union High School District student generation factors (students/dwelling unit), there is a need to accommodate approximately 820 elementary students, 220 middle school students, and 593 high school students, for a total of 1,633 students.

1. Elementary Schools

To meet the elementary school requirements, the Otay Ranch General Development Plan (GDP) provides for the siting of one elementary school in Village 8 East. This SPA Plan reserves an 11.3-acre elementary school site⁷, Parcel S-1, in the village core adjacent to the neighborhood park to facilitate joint use opportunities. The site will be reserved for acquisition by the Chula Vista Elementary School District, as provided in the PFFP. The construction schedule for the school will be determined by the school district. At the discretion of the Chula Vista Elementary School District, students in Village 8 East will be accommodated in neighboring village elementary schools until the Village 8 East school is constructed, which may include The existing Wolf Canyon Elementary School located north of Village 8 East in Village 7

2. Middle Schools & High Schools

Middle school and high school requirements are met by the existing EastLake Middle School, Otay Ranch High School and Olympian High School. In addition to these public schools, a private school (Mater Dei High School) and a charter school (High Tech High School) are located proximate to Village 8 East.

⁷The Village 8 East Tentative Map includes an alternative configuration for the P-1 Neighborhood Park / S-1 School Site. If the Chula Vista Elementary School District determines the need for a larger school site, then the S-1 School Site shall be 12.0 acres (net) and the P-1 Neighborhood Park shall be 4.6 acres (net), consistent with the Tentative Map alternative.

3. Adult Schools

Demand for adult school facilities will be satisfied within existing facilities in the Sweetwater Union High School District, until a new facility can be constructed in the Otay Ranch Eastern Urban Center on a site reserved pursuant to the Otay Ranch GDP.

G. CHILD CARE FACILITIES

The Otay Ranch GDP establishes the following goal and threshold for child care facilities:

GOAL: Provide adequate child care facilities and services to serve the Otay Ranch Project Area.

The Otay Ranch GDP establishes the following threshold for child care facilities:

Threshold: Identify sites for child care and pre-school facilities adjacent to or as part of public and private schools, religious assembly uses, village center employment areas, residential areas, and other locations deemed appropriate.

The City of Chula Vista adopted the Chula Vista General Plan policy direction for the provision of adequate child care facilities necessary to serve existing and future developed areas in the City.

Child care uses may be allowed as a primary or an accessory use. Facility-based (not in a home) child care may be conducted by non-profit, quasi-public organizations or commercial providers. In addition, day nurseries, daycare schools, early childhood education, or nursery schools are permitted uses in the Village 8 East Land Use Districts (see PC District Regulations), specifically permitted within all non-residential dominant districts, which would make them available to both residents and employees in Village 8 East.

The State of California has adopted regulations related to licensing, application procedures, administrative actions, enforcement provisions, continuing requirements and physical environment for child day care and day care centers. All child care facilities within the SPA will comply with state and local regulations.

The SPA Plan Area and the Otay Ranch Community may have a mix of child care providers, such as school, church, non-profit or commercial facilities. Childcare facilities may be located within private homes, commercial centers, offices, governmental and industrial complexes and/or adjacent to public and private schools where appropriate. The SPA Land Use Plan provides opportunities to locate and phase facilities to meet the needs of the community.

1. Family Day Care Homes

Family day care homes are defined, and required to be permitted in homes, by California State law. Consistent with State law, family day care homes may be located within all residential zones and residential portions of Village Core zoning district in Village 8 East.

The California Code of Regulations, Title 22, Division 12, Chapter 3, Section 102417 includes regulations related to the operation of family day care homes and all family day care homes within Village 8 East would be required to comply with both state and local regulations.

2. Facility-Based Child Care

Facility-based childcare may be non-profit or commercial facilities located in CPF or in the village core. The SPA Plan includes CPF and VC land uses. These land use designations can accommodate facility-based childcare. Non-profit, and some for-profit, childcare facilities may be permitted as CPF uses per CVMC Section 19.48.025E, and as modified by the PC District Regulations; these uses are permitted within the Village Core zoning district.

Having child care facilities located near other compatible services and activities is consistent with efficient land use planning. Locating childcare facilities near many other services is consistent with the neo-traditional principles established for Otay Ranch.

H. POLICE, FIRE AND EMERGENCY SERVICES

1. Police Protection

The Chula Vista Police Department (CVPD) currently provides police services within the City of Chula Vista. The demand for police services and facilities necessary to serve the SPA Plan area is described and analyzed in the Village 8 East PFFP.

2. Fire Protection

Fire protection services are provided by the City of Chula Vista Fire Department (CVFD). Fire Station #7 is located adjacent to the Village 2 Core. Pursuant to the Chula Vista Fire Master Plan approved by the Chula Vista City Council on January 28, 2014, additional fire stations are planned within the Village 8 West Town Center and the Eastern Urban Center. The demand for fire protection equipment and facilities to serve the SPA Plan Area is described in the PFFP. Village 8 East must comply with the updated Chula Vista Fire Master Plan, as adopted.

The Otay Ranch GDP requires as a condition of SPA plan approval the Fire Department review fuel modification plans. The Preserve Edge Plan and Fire Protection Plan were developed with direction from the Fire Department. The

Preserve Edge Plan provides for fuel modification zones adjacent to natural open spaces. Fire Department-approved architectural measures, such as boxed eaves, exterior sprinkler systems and solid block wall fencing may also be used for fire protection in certain circumstances. The fuel modification and fire protection strategies are more fully described in the Fire Protection Plan; University Villages - Village 8 East.

3. Brush Management

Pursuant to the University Villages Master Fire Protection Plan (2014) (FPP), Village 8 East FPP Addendum (2023) and Chula Vista MSCP Subarea Plan; fuel modification zones have been incorporated into the proposed Village 8 East development areas adjacent to natural open space. These fuel modification zones are consistent with the requirements of the Chula Vista MSCP Subarea Plan and Otay Ranch Phase 2 RMP. No fuel modification activities will occur within Otay Ranch Preserve/MSCP Preserve areas. Graded landscaped slope areas will be maintained pursuant to FPP requirements and will be outside of the Preserve. Streets and hard surface and irrigated landscaped areas may be included in the Brush Management Zone, in accordance with specific requirements of the FPP.

4. Emergency Medical Services

American Medical Response provides contract emergency medical services for the City of Chula Vista, National City, and Imperial Beach. There are five American Medical Response South County paramedic units. Two are located in Chula Vista, two in National City, and one in Imperial Beach. The SPA Plan Area will be served through a contract arrangement by the City of Chula Vista.

5. Emergency Disaster Plan

The following serves as the GDP-required "Emergency Disaster Plan" required at the SPA level:

The San Diego Region is exposed to a number of hazards that have the potential for disrupting communities, causing damage and creating casualties. Possible natural disasters include earthquakes, floods, fires, landslides and tropical storms. There is also the threat of man-made incidents such as war, nuclear disasters, hazardous materials spills, major transportation accidents, crime, fuel shortages, terrorism or civil disorder.

The San Diego County Emergency Plan is a comprehensive emergency management system that provides for a planned response to disaster situations associated with natural disasters, technological incidents and nuclear defense operations. The Plan includes operational concepts relating to various emergency situations, identifies components of the Emergency Management Organization and describes the overall responsibilities for protecting life and property and assuring the overall well-being of the population. The plan also identifies the sources of

outside support that might be provided (through mutual aid and specific statutory authorities) by other jurisdictions, state and federal agencies and the private sector.

The Unified San Diego County Emergency Services Organization consists of the County and the cities within the County. It was established in 1961 and provides for "preparing mutual plans for the preservation of life and property and making provisions for the execution of these plans in the event of a local emergency, state of emergency, and to provide for mutual assistance in the event of such emergencies."

The foundation of California's emergency planning and response is a statewide mutual aid system that is designed to ensure that adequate resources, facilities and other support is provided to jurisdictions whenever their own resources prove to be inadequate to cope with a given situation. The basis for the system is the California Disaster and Civil Defense Master Mutual Aid Agreement, as provided for in the California Emergency Services Act. This Agreement was developed in 1950 and adopted by California's unincorporated cities and by all 58 counties. San Diego County is in Mutual Aide Region 6 of the State system.

The City of Chula Vista participates in the Unified County Emergency Services Organization described above. The City of Chula Vista has comprehensive agreements with the Bureau of Land Management, California Department of Forestry, California Conservation Corps., Urban Search and Rescue Corps., San Diego County Fire Mutual Aid and other agencies in conjunction with the California Disaster and Civil Defense Master Mutual Aid Agreement. The project is incorporated into Chula Vista's existing emergency disaster programs, including all fire and emergency services and mutual aid agreements.

I. LIBRARY SERVICES

Library services are provided by the City of Chula Vista as described by the City Library Master Plan. The demand for library facilities generated by the build-out of Village 8 East will be satisfied through participation in the City's Public Facilities Development Impact Fee Program as identified in the PFFP.

J. PARKS, RECREATION, OPEN SPACE AND TRAILS FACILITIES

Parks, recreation, open space and trails are addressed in Chapter V, Parks, Recreation, Open Space and Trails Master Plan and the PFFP.

K. CIVIC FACILITIES

The City of Chula Vista is currently served by the Chula Vista Civic Center. The City's master plan for the expansion of the Civic Center provides for the needs of the Village 8 East residents. The SPA Plan Area is subject to the City's Development Impact Fee (DIF) Program, which generates revenue for civic facilities.

L. ANIMAL CONTROL FACILITIES

The City of Chula Vista provides animal health and regulatory services. Currently, no impact fees are imposed to fund expansion of animal control facilities.

M. REGIONAL FACILITIES

A Regional Facilities Report was completed as part of the SPA One planning process. Generally, the Otay Ranch GDP requires the demand generated for regional facilities to be satisfied through participation in a regional impact fee program (if such a program is implemented) and/or, reserve land or facilities for regional service programs in the Eastern Urban Center. The Regional Facilities Report is updated with SPA Plan applications to ensure adequate provision for regional facilities. The following is a review of the updated Otay Ranch Regional Facility needs.

1. Integrated Solid Waste Management

The City of Chula Vista contracts with Republic Services to provide recycling and disposal. Per Chula Vista Municipal Codes Sections 8.24 and 8.25 and State of California Public Resources Code Chapter 12.8, 42649, it is mandatory for all generators to recycle. Republic Services provides residences (known as Small Quantity Generators) with automated, weekly collection services for trash, recyclables and yard waste. The PC District Regulations for the SPA plan Area include regulatory requirements for waste management and recycling.

2. Arts and Cultural

The Otay Ranch GDP provides for a multi-use cultural complex in the EUC. Within villages, arts and cultural facilities may be provided in public and civic space. The SPA Land Use Plan may provide public spaces that accommodate art and performances including plazas within the mixed-use village core and neighborhood park. The community purpose facilities, private pedestrian parks/community buildings, community park and the MU/commercial area also provide opportunities for art display and performance.

3. Health and Medical

Health and medical facilities that serve the SPA Plan Area include Scripps Chula Vista Memorial Hospital, Sharp Chula Vista Medical Center, and Paradise Valley Hospital. A 66,000 square foot medical office building is located in Village 2, which houses the Sharp Rees-Stealy Medical Group. Other local health care providers include USCS Medical Group and Children's Primary Medical Health Group. The commercial and community purpose facility sites within the Otay Ranch villages provide opportunities for both public and private nursing, health education, screening research and medical offices.

4. Community and Regional Purpose Facilities

A Community Purpose Facility (CPF) Master Plan is provided in Chapter VI of this SPA Plan. The CPF Master Plan describes the provision of facilities within the SPA Plan Area. The Otay Ranch GDP does not locate a Regional Purpose Facility in this SPA Plan Area.

5. Social and Senior Services

The County of San Diego has the primary responsibility to provide social services to County residents. There are numerous non-profit health and social service organizations located in Chula Vista. The City of Chula Vista provides an adult literacy program, a Youth Action Program and the Police Activities League program. The County's Area Agency on Aging provides social and nutrition programs, legal services, ombudsman programs and services to prevent or postpone institutionalization. The City of Chula Vista provides senior services and the Parks and Recreation Department coordinates activities and programs at the Norman Park Senior Center. The CPF, Community Park and Private Recreation Facilities provide opportunities for social and senior services within Village 8 East.

6. Correctional

The increased population in Village 8 East will contribute to the need for correctional facilities. Should a regional impact fees program be enacted to assist in funding such facilities, Village 8 East development would be obligated to equitably participate.

7. Transit

Transit facilities are intended to reduce the public's dependence upon the automobile to help alleviate traffic congestion. The provision of transit facilities is also an action measure of the City's CO₂ Reduction Plan. Currently, two percent of trips are conducted on public transit in the region. An increase in transit use can be fostered through the location of higher-density housing near transit, site design with transit orientation and enhanced pedestrian access to transit. The land use and circulation plan for the SPA Plan Area incorporates transit-oriented design. A Rapid Bus route is planned on Main Street. Local Bus service may be provided through Village 8 East, with a potential station located within the Village Core.

IX. GDP Compliance



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VIII. OTAY RANCH GENERAL DEVELOPMENT PLAN COMPLIANCE

The adopted Otay Ranch General Development Plan establishes goals and objectives for land use; mobility; housing; parks, recreation, open space; public facilities; safety; phasing; and resource protection, conservation and management. This chapter provides a re-statement of the GDP goals and objectives followed by an explanation of how each is implemented by this SPA Plan.

A. GDP LAND USE

This SPA Plan is designed in conformance with the Otay Ranch GDP Land Use Plan and the GDP Village 8 East SPA Plan, as amended, is illustrated in **Exhibit 50**. A brief description of the SPA Plan major land use components consistency with the Otay Ranch.

This SPA Plan contains all the requisite land uses comprising an urban village as described by the GDP. Village 8 East is intended to include a variety of attached and detached multi-family residential housing densities, mixed-use development, land designated for community purpose facilities, an elementary school and parks and open space. This SPA Plan reconfigures Village 8 East to facilitate planning and development of the entire village area by individual property owners. Table 6 provides the proposed, amended Otay Ranch GDP for Village 8 East, including allocated acreages for each land use and the number and type of residential units.

Table 6 – GDP Exhibit 47 Proposed Village Eight (East)

Use	Dwelling Units				Acreage									Approx. Pop.
	SF	MF	Total	Dens	Res.	Park ¹	CPF ²	Sch. ₃	C'ml. ⁴	Ind.	Open Sp.	Art.	Total	
MH		1,664	1,664	11.9	139.7								131.4	4,276
H		264	264	23.4				11.3					11.3	678
VC		1,348	1,348	27.8	48.5	7.3							57.6	3,464
OTHER							1.2				16.4	9.2	33.8	
VILLAGE 8 EAST SUBTOTAL⁵		3,276	3,276	16.7	188.2	7.3	1.2	11.3	+		16.4	9.2	233.6	8,419
¹ Total park acreage includes neighborhood park. Actual park sizes to be determined at the SPA level. Park acreage based on ratio of 3.0 acres per 1,000 persons. Part of the park acreage requirement has been allocated to the Otay Ranch Community Park South which is designated Planning Area 20 in the GDP.														
² Per the Land Offer Agreement, Village 8 East CPF obligation is 4.0 acres; however, per Village 8 East SPA Plan, a portion of the CPF would be provided within Village 8 East and a portion would be transferred off-site to Planning Area 20, as documented in the agreement between the Applicant and the City.														
³ 264 units have been allocated to the elementary school site per the Village 8 East SPA Plan. If the site is not utilized for school purposes, then the underlying Residential High zoning established in the Village East Planned Community District Regulations will be implemented. If the school is implemented, then the 264 units may be transferred to a parcel within Village 8 East or to another Otay Ranch Village. The Village 8 East Tentative Map includes an alternative configuration for the school site and adjacent neighborhood park which may be implemented to meet the needs of the Chula Vista Elementary School District.														
⁴ 20,000 Square feet of commercial may occur in a vertical or horizontal configuration within the VC land use category; therefore, actual acreage may vary.														
⁵ The total Village 8 East acreage is updated to account modifications to the village boundary to reflect the SR-125 interchange design changes.														

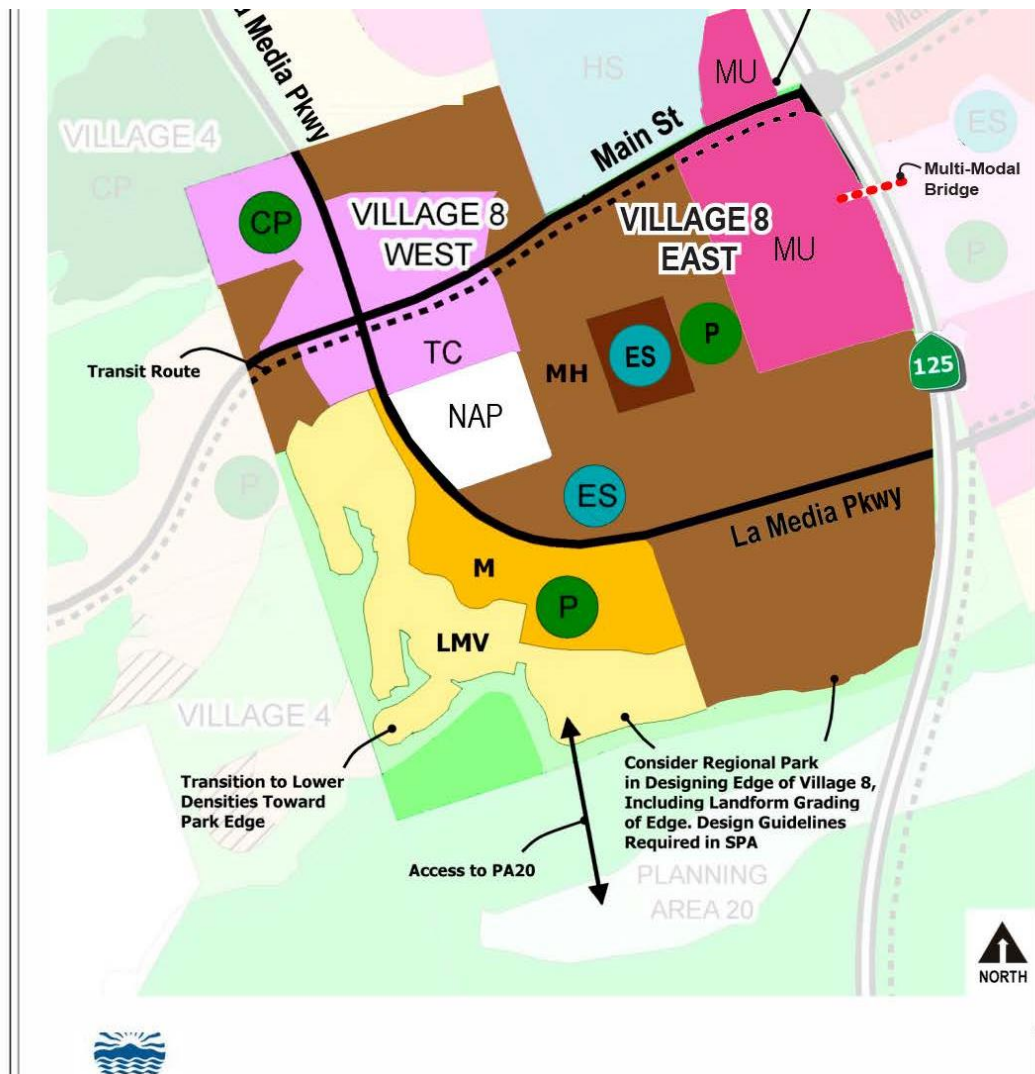


Exhibit 50: Otay Ranch GDP Village 8 East Land Use Plan (Proposed)

II.2.8.1 LAND USE

Goal: Develop comprehensive, well integrated and balanced land uses which are compatible with the surroundings.

Objective: Provide a well-integrated land use pattern which promotes both housing and employment opportunities, while enhancing the unique environmental and visual qualities of the Otay Ranch.

Objective: Provide a wide range of residential housing opportunities, from rural and estate homes to high-density multi-family projects. Provide a balanced and diverse residential land use pattern for the Otay Valley Parcel which promotes a blend of multi-family and single-family housing styles and densities, integrated and compatible with other land uses in the area.

Objective: Provide development patterns complementary to the adopted plans and existing development of the adjacent communities.

Implementation:

The SPA Land Use Plan supports these GDP goals and objectives by providing a range of housing and employment opportunities. The plan adheres to the GDP specific directives for Village 8 East which creates a village core (composed of MU/commercial, community purpose facility, elementary school, neighborhood park, and residential land uses) and residential neighborhoods that offer a variety of housing styles and densities.

The organization of the land uses within the SPA Plan Area meets the objectives of integration and compatibility of land uses within villages and with adjacent communities. Adjacent land uses include existing residential to the north and future university and residential to the east, and open space preserve to the south. Village 8 West, including the Town Center, is currently under construction. The land uses within Village 8 East focus higher density residential uses near the Village 8 West Town Center.

The SPA Plan supports the objective of enhancing the unique environmental and visual qualities of Otay Ranch. The village conforms to the natural topography of the site and maintains views toward open spaces and distant mountains. The site plans for the multi-neighborhoods adjacent to the open space preserve areas will be designed to soften the appearance of development from the OVRP to the greatest extent possible.

Goal: Environmentally sensitive development should preserve and protect significant resources and large open space areas.

Objective: Provide land use arrangements which preserve significant natural resource areas, significant landforms and sensitive habitat.

Implementation:

These goals and objectives will be met through the conveyance of approximately 261.7 acres of land to the Otay Ranch Preserve in accordance with the requirements of the RMP. The SPA Plan Area is sited within land area designated for development and provides for protection of the adjacent environmentally sensitive land as described in the Preserve Edge Plan.

Goal: Reduce reliance on the automobile and promote alternative modes of transportation.

Objective: Develop villages which integrate residential and commercial uses with a mobility system that accommodates alternative modes of transportation, including pedestrian, bicycle, bus, light rail, and other modes of transportation.

Objective: Develop residential land uses which encourage the use of alternative modes of transportation through the provision of bus and light rail right-of-way, and the inclusion of a bicycle and pedestrian network.

Objective: Commercial uses should be sized to meet the needs of the immediate and adjacent villages. Village commercial land uses preempt large regional commercial opportunities within villages and relegate them to the EUC or freeway commercial areas.

Implementation:

Land uses within the SPA Plan Area, including a Village Core containing commercial, community purpose facility, park and school uses, designed to provide for the daily needs of residents. The provision of land uses which minimize the need for automobile travel coupled with the multi-modal transportation design of the village are two ways the Plan meets the GDP goals and objectives. Designing commercial and residential uses within the Village Core to include front doors facing public streets, wherever grades allow, will future enhance the pedestrian-oriented design.

The Village 8 East core is within walking distance of most village residents. Throughout the village, a system of trails and landscaped streets link residential neighborhoods, the village core, park and school to encourage walking, rather than driving. These paths are designed with landscaped parkways between walkways and streets, landscaping, lighting and furnishings to make the pedestrian experience pleasant and promote safety. The Village Pathway and Regional Trail provide an off-street multi-purpose

pathway for pedestrian and bicycle travel. Convenient support features, such as bus stops and bicycle racks, are provided to further promote non-automobile transportation. Bus routes can be accommodated adjacent to the village with strategically located stops on Main Street. The village trail system also connects to the Chula Vista Regional Trail and Chula Vista Greenbelt Trail/OVRP Trail networks.

Goal: Promote village land uses which offer a sense of place to residents and promotes social interaction.

Objective: Organize Otay Ranch into villages, each having its own identity and sense of place.

Objective: The design of the Otay Ranch should promote variety and diversity at the village scale, while providing a sense of continuity through the use of unifying design elements.

Objective: Promote a diverse range of activities and services to encourage a mixture of day/night and weekday/weekend uses.

Implementation:

Village 8 East meets these goals and objectives by providing a village core with a mix of uses arranged along a main street. Allowed land uses within the village core include commercial, community purpose facility, neighborhood park, elementary school, and residential housing types. The land uses, coupled with a village design theme create the village identity and sense of place. The village incorporates Ranch-wide design elements such as signage and landscaping to connect it with the other villages of Otay Ranch.

Goal: Diversify the economic base within Otay Ranch.

Objective: Create an economic base that will ensure there is adequate public revenue to provide public services.

Objective: Create an Eastern Urban Center within the Otay Valley Parcel and encourage the development of a retail base for the planning area, but not to the detriment of existing regional and local commercial centers.

Objective: Create employment opportunities for area residents which complements, rather than substitutes for industrial development on the Otay Mesa.

Implementation:

The Village 8 East Village Core contributes to the economic base with neighborhood-serving businesses. Further, Village 8 East provides additional housing close to the high-intensity Village 8 West Town Center, Village 9

Town Center and Eastern Urban Center to meet Chula Vista General Plan requirements related to jobs/housing balance.

Goal: Promote synergistic uses between the villages of the Otay Ranch to provide a balance of activities, services and facilities.

Objective: Develop individual villages to complement surrounding villages.

Objective: Select villages to provide activities and uses which draw from surrounding villages. Uses serving more than one village, such as a cinema complex, should be located in a village core that has convenient access to adjacent villages.

Implementation:

Village 8 East provides commercial uses that serve neighboring villages. Village 8 East residents will also be served by the adjacent Village 8 West Town Center, Village 9 Town Center and the EUC.

Goal: Organize land uses based upon a village concept to produce a cohesive, pedestrian friendly community, encourage non-vehicular trips, and foster interaction amongst residents.

Implementation:

All areas of Village 8 East are connected by an extensive trail and pathway system. These trails and pathways reinforce a pedestrian friendly concept as well as promote the use of alternative modes of transportation. By reducing the need for an automobile, residents will have opportunities to interact with their neighbors and other residents as they walk or ride to their destinations.

II.2.8.2 MOBILITY

Goal: Provide a safe and efficient transportation system within Otay Ranch with convenient linkages to regional transportation elements abutting the Otay Ranch.

Objective: Ensure timely provision of adequate local circulation system capacity to respond to planned growth, maintaining acceptable levels of service (LOS).

Objective: Plan and implement a circulation system such that the operational goal of Level of Service “C” for circulation element arterial and major roads and intersections can be achieved and maintained. Internal village streets/roads are not expected to meet this standard.

Objective: Encourage other transportation modes through street/road design standards within the village, while accommodating the

automobile. Design standards are not focused on achieving LOS standards or providing auto convenience.

Objective: Provide an efficient circulation system that minimizes impacts on residential neighborhoods and environmentally sensitive areas.

Implementation:

Streets surrounding and internal to the SPA Plan Area are designed in compliance with the goals and objectives of the GDP. Street design and phasing strives to provide efficient and appropriate levels of service. This is achieved through completion of the Chula Vista General Plan Circulation Plan by connecting Main Street from Village 8 West/La Media Road to SR-125 and the extension of La Media Parkway from the Village 8 West Town Center through the village with a planned future connection across SR-125 to Village 9. Triggers for these facilities are specified in the PFFP.

The village circulation system accommodates public transportation. Local bus stops are planned along Main Street. Pedestrian linkages to the planned BRT station in the Village 8 West Town Center are planned to further connect Village 8 East residents with transit.

Internal streets have been designed to accommodate NEVs, bicycles and pedestrians throughout the village and provide alternatives to automobile travel.

Goal: Achieve a balanced transportation system which emphasizes alternatives to automobile use and is responsive to the needs of residents.

Objective: Study, identify, and designate corridors, if appropriate, for light rail and transit facilities.

Objective: Promote alternative forms of transportation, such as bicycle and car paths, riding and hiking trails, and pedestrian walkways as an integral part of the circulation system.

Implementation:

A wide variety of alternative forms of transportation, including transit routes, NEV routes, bicycle lanes and pedestrian routes and trails are provided within the SPA Plan Area. A Multi-Modal Bridge between Village 8 East and future Village 9 accommodates pedestrian, bicycle and NEV users. This alternative transportation network addresses the needs of residents by offering different routes within and outside of the villages, including connections to public transportation, the City of Chula Vista Bikeway network and Greenbelt and OVRP trails.

II.2.8.3 HOUSING

Goal: Create a balanced community exemplified by the provision of a diverse range of housing styles, tenancy types and prices.

Objective: Provide a variety of housing opportunities sufficient to meet a proportionate share of the Regional Share allocation of housing.

Objective: Each Otay Ranch Village will proportionately assist the appropriate land use jurisdiction to meet or exceed Otay Ranch's share of the five-year Regional Share allocation as provided by each jurisdiction's Housing Element.

Implementation:

The Village 8 East plan meets these goals and objectives by providing a variety of housing types, including affordable housing. Proposed housing includes apartments, townhouses, condominiums, attached housing (duplexes and/or triplexes and, a variety of attached and detached multi-family residential. The Affordable Housing Program and the PFFP describe in detail how the housing goals are met. Based on the target residential units proposed for Village 8 East, 164 low-income and 164 moderate-income residential units will be provided.

Goal: The provision of sufficient housing opportunities for persons of all economic, ethnic, religious and age groups, as well as those with special needs such as the handicapped, elderly, single parent families and the homeless.

Objective: Ensure that the Otay Ranch provides housing opportunities sufficient to meet a proportionate share of identified special housing needs and applies fair housing practices for all needs groups in the sale, rental, and advertising of housing units.

Implementation:

Village 8 East will contain a variety of housing types ranging in density from medium high to high. The variety of housing types will accommodate families, singles and those with special housing needs, including the handicapped and the elderly. Fair housing practices will be employed in the sale, rental and advertising of all units.

II.2.8.4 PARKS, RECREATION, OPEN SPACE

Goal: Provide diverse park and recreational opportunities within Otay Ranch which meet the recreational, conservation, preservation, cultural and aesthetic needs of project residents of all ages and physical abilities.

Objective: Identify park, recreational and open space opportunities, where appropriate, to serve the South County region and San Diego County as a whole.

Objective: Maximize conservation, joint uses and access and consider safety in the design of recreational facilities.

Objective: Provide neighborhood and community parks and recreational facilities to serve the recreational needs of local residents.

Implementation:

Chapter V, Parks, Recreation, Open Space and Trails Plan describes in detail the location funding and maintenance of required facilities.

II.2.8.5 CAPITAL FACILITIES

Goal: Assure the efficient and timely provision of public services and facilities of developable areas of Otay Ranch concurrent with need.

Objective: Ensure that the pace and pattern of residential, commercial and other non-residential development is coordinated with the provision of adequate public facilities and services.

Objective: Permit development only through a process that phases construction with the provision of necessary infrastructure prior to or concurrent with need.

Objective: Development projects shall be required to provide or fund their fair share of all public facilities needed by the development.

Objective : “Enhanced Services” may be provided to specified geographic areas of the Otay Ranch. These are services that exceed the normal or standard level of services provided to the jurisdiction as a whole.

Objective: The City of Chula Vista and the county of San Diego shall enter into a Master Property Tax Agreement covering all annexations within an agreed-upon geographic area in Otay Ranch. That Agreement shall consider the distribution of property tax revenues, as well as the allocation of total project revenues between the City and the County in accordance with the following policies.

Objective: As a general guideline, efforts should be made to keep the effective tax rate (ETR), including all property taxes and special assessments, not to exceed 2.00 percent of the assessed value of the property.

Objective: Monitor the impacts of growth and development on critical facilities and services to ensure that necessary infrastructure is provided prior to or concurrent with need.

Implementation:

The PFFP provides an analysis and detailed description of how these goals and objectives will be met. The SPA Plan will phase development with infrastructure improvements and the developer will participate in fair-share funding of facilities as described in the PFFP.

Drainage Facilities

Goal: Provide protection to the Otay Ranch project area and surrounding communities from fire, flooding and geologic hazards.

Objective: Individual projects will provide necessary improvements consistent with the National Flood Insurance Program, Drainage Master Plan(s) and Engineering Standards.

Objective: Development within floodplains will be restricted to decrease the potential for property damage and loss of life from flooding and to avoid the need for channels and other flood control facilities.

Objective: Preservation of the floodplain environment from adverse impacts due to development.

Objective: Require onsite detention of storm water flows such that existing downstream structures will not be overloaded.

Implementation:

The project will meet the goals and objectives for drainage facilities through planning, permitting and implementation of facilities as required by the City and regulatory agencies. The *Master Drainage Study*, prepared by Hunsaker & Associates, and tentative map address these goals. Subsequent grading and drainage plans will provide additional, site-specific measures.

Sewerage Facilities

Goal: Provide a healthful and sanitary sewerage collection and disposal system for the residents of Otay Ranch and the region, including a system designed and constructed to accommodate the use of reclaimed water.

Objective: The ongoing planning, management and development of sewerage conveyance, treatment and disposal facilities to adequately meet future demands.

Objective: Assure that wastewater treatment plants are consistent with sewerage master plans.

Objective: Sewage disposal systems should maximize the provision and utilization of reclaimed water.

Implementation:

The *Overview for Sewer Service for Otay Ranch Villages 3 and Portion of Village 4, 8 East and 10* (2014) and the *Otay Ranch Village 8 East SPA Amendment Water Evaluation* (2023) prepared by Dexter Wilson Engineering describe the planning, management and sewer facilities necessary to serve the development. The tentative map and subsequent improvement plans provide additional site-specific design for implementation of the project sewer system.

Integrated Solid Waste Management Facilities

Goal: Provide solid waste facilities and services which emphasize recycling of reusable materials and disposal of remaining solid waste so that the potential adverse impacts to public health are minimized.

Objective: Reduce the volume of waste to be land-filled by 30% by 1995 and by 50% by 2000.

Implementation:

During construction, solid waste disposal and recycling of materials will adhere to best management practices and City standards outlined in Chula Vista Municipal Code Section 8.25.095- Construction and demolition debris recycling. Planning for occupancy will include considerations as listed in the City's "Recycling and Solid Waste Planning Guide. A recycling/drop-off center may be located within the village core. This central location will provide an alternative method for residents and businesses in the village to participate in recycling California Redemption Value bottles and cans.

Urban Runoff Facilities

Goal: Ensure that water quality within the Otay Ranch project area is not compromised.

Goal: Ensure that the City of San Diego's water rights within the Otay River watershed shall not diminish.

Implementation:

The *Master Drainage Study for Otay Ranch Village 8 East* and the *Water Quality Technical Report for Otay Ranch Village 8 East*, prepared by Hunsaker & Associates describe how these goals will be met through management and containment in conformance with City and regional environmental protection standards.

Water Facilities

Goal: Ensure an adequate supply of water for build-out of the entire Otay Ranch project area; design the Otay Ranch project area to maximize water conservation.

Objective: Ensure an adequate supply of water on a long-term basis prior to the development of each phase of the Otay Ranch Project Area.

Objective: Ensure infrastructure is constructed concurrently with planned growth, including adequate storage, treatment, and transmission facilities, which are consistent with development phasing goals, objectives and policies, and the Service/Revenue Plan.

Objective: Ensure that water quality within the Otay Ranch Project Area is not compromised, consistent with NPDES Best Management Practices, and the RWQCB Basin Plans.

Objective: Promote water conservation through increased efficiency in essential uses and use of low water demand landscaping.

Objective: Encourage suppliers to adopt a graduated rate structure designed to encourage water conservation.

Implementation:

The *Overview of Water Service for Otay Ranch Villages 3 and Portion of Village 4, 8 East and 10* (2014) and the *Otay Ranch Village 8 East SPA Amendment Water Evaluation* (2023), prepared by Wilson Engineering describes how these goals and objectives will be met. A Water Supply Assessment and Verification Report for the Project which ensures sufficient water supplies are available in normal, dry year and multiple dry years was approved by the OWD Board of Directors on November 6, 2013.

Water Reclamation Facilities

Goal: Design a sewerage system which will produce reclaimed water. Ensure a water distribution system will be designed and constructed to use reclaimed water. Construction of a “dual system” of water supply will be required for all development where reclaimed water is used.

Objective: Encourage development of public and private open space and recreational uses that could utilize reclaimed water.

Implementation:

The *Overview of Water Service for Otay Ranch Villages 3 and Portion of Village 4, 8 East and 10* (2014) and the *Otay Ranch Village 8 East SPA Amendment Water Evaluation* (2023), prepared by Wilson Engineering describes the implementation of reclaimed water systems in the development. A Subarea Master Plan (SAMP) for the project will include recycled water facilities.

Arts and Cultural Facilities

Goal: Plan sites for facilities dedicated to the enhancement of the arts at the community level that can contain indoor and outdoor facilities capable of supporting community theater, training and exhibition of art and sculpture, musical training and concerts, film and cultural festivals, public meetings, and other community events.

Implementation:

The SPA Plan provides indoor and outdoor facilities including a neighborhood park, private facilities, elementary school, community purpose facility, and the village core which could accommodate arts and cultural facilities.

Cemetery Facilities

Objective: Identify and preserve adequate cemetery sites to serve the Otay Ranch Project Area.

Implementation:

A cemetery site is not proposed in the SPA Plan Area.

Child Care Facilities

Goal: Provide adequate child care facilities and services to serve the Otay Ranch project area.

Objective: Identify sites for child care and pre-school facilities adjacent to or part of public and private schools, religious assembly uses, employment areas, and other locations deemed appropriate.

Implementation:

Child care facilities can be accommodated in the commercial, community purpose facility, elementary school, and neighborhood park land use areas. Small and large family day care uses are also an allowable use within residential areas consistent with State law.

Health and Medical Facilities

Goal: Ensure provision of and access to facilities which meet the health care needs of Otay Ranch residents.

Objective: Identify a general location within Otay Ranch for public and private health service organizations, charities, and private adult care and mental care facilities.

Implementation:

Senior congregate care and health care offices and clinics are allowable uses within the Village Core area of Village 8 East. The community purpose facility land use also allows health care uses.

Community and Regional Purpose Facilities

Goal: Designate areas within the Otay Ranch project area for religious, ancillary private educational, day care, benevolent, fraternal, health, social and senior services, charitable, youth recreation facilities, and other County regional services.

Implementation:

A Community Purpose Facility Master Plan, included in Chapter VI of this SPA Plan, describes the facilities provided by the development that will meet this goal and the specific requirements of the City of Chula Vista Municipal Code and the Land Offer Agreement.

Social and Senior Services Facilities

Goal: Ensure that Otay Ranch project area residents have adequate access to sources of governmental and private social and senior service programs.

Objective: Social and senior service facilities should be sited within Otay Ranch to either provide direct service access or to provide community service information to each village to educate the public regarding available services.

Objective: Siting of new facilities and expansion of existing social or senior services facilities will be planned to most effectively serve the clients of each social and senior service activity as part of a comprehensive social and senior service delivery system.

Implementation:

Social and senior service needs can be met within allowable use areas including the Village Core commercial, private recreation facility,

community purpose facility and park land uses, including the Community Park. Shared use may be available with the schools.

Animal Control Facilities

Goal: Ensure that the community of Otay Ranch is served by an effective animal control program that provides for the care and protection of the domestic animal population, safety of people from domestic animals, and the education of the public regarding responsible animal ownership.

Objective: Participate in programs to provide animal control facilities sufficient to provide adequate shelter space per Otay Ranch dwelling unit.

Implementation:

The SPA Plan Area will participate in City programs for provision of animal control.

Civic Facilities

Goal: Assure the efficient and timely provision of public services and facilities to developable areas of the Otay Ranch project area concurrent with need, while preserving environmental resources of the site and ensuring compatibility with the existing character of surrounding communities. Integrate different types of public facilities where such facilities are compatible and complementary.

Implementation:

This goal will be met through implementation of requirements identified by the PFFP.

Correctional Facilities

Goal: Prevent injury, loss of life and damage to property resulting from crime occurrence through the provision of justice facilities.

Objective: Make provisions for justice facilities, including jails, courts, and police facilities adequate to serve the Otay Ranch Project Area.

Implementation:

The SPA Plan Area does not contain correctional facilities.

Fire Protection and Emergency Services Facilities

Goals: Provide protection to the Otay Ranch project area and surrounding communities from the loss of life and property due to fires and medical emergencies.

Objective: Provide sufficient fire and emergency service facilities to respond to calls within the Otay Ranch urban communities within a 7-minute response time in 85% of the cases.

Implementation:

This goal will be met through implementation of the requirements identified by the PFFP. Chula Vista Fire Station #7 is located in Village 2. Fire Station #10 is located in Millenia (Eastern Urban Center). An additional fire station is planned within or adjacent to the Village 8 West Town Center. Additionally, the circulation design of the SPA Plan Area facilitates emergency vehicle access to all areas of the villages and the Preserve Edge Plan includes fuel management requirements. The Village 8 East Fire Protection Plan includes an analysis which demonstrates the SPA Plan Area can be served within the appropriate response time requirements. The project must also comply with the Chula Vista Fire Master Plan (1/28/14).

Justice Facilities

Goal: Prevent injury, loss of life and damage to property by having adequate criminal justice facilities to serve Otay Ranch residents.

Objective: Cooperate with the County to identify an equitable funding method for the development of justice facilities based on the needs of Otay Ranch and their benefit to Otay Ranch residents.

Objective: Justice facilities serving Otay Ranch residents will be sited in appropriate locations and in a timely manner, irrespective of jurisdictional boundaries.

Objective: Enhance public safety by utilizing land use and site design techniques to deter criminal activity.

Implementation:

The SPA Plan Area does not contain justice facilities. The design of Village 8 East fosters community interaction and awareness that deters criminal activity. Design techniques include “eyes on the street” orientation of commercial and residential uses toward the street and placement of parks and paths as focal points in the community. These techniques minimize hidden locations where criminal activity might occur.

Law Enforcement Facilities

Goal: Protection of life and property and prevention of crime occurrence.

Objective: Make provisions for criminal justice facilities, including jails, courts, and police facilities adequate to serve the Otay Ranch Project Area.

Objective: Enhance conditions for public safety by utilizing land use and site design techniques to deter criminal activity and promote law enforcement.

Objective: Site law enforcement facilities to appropriate locations in order to serve the population.

Implementation:

The SPA Plan Area will not contain law enforcement facilities. The project utilizes design techniques to deter criminal activity and promote law enforcement. The goal can be met through implementation measures identified in the PFFP.

Library Facilities

Goal: Sufficient libraries to meet the information and education needs of Otay Ranch residents.

Objective: Provide high quality and contemporary library facilities and services which meet the needs of the entire Otay Ranch Project Area.

Objective: Five hundred square feet (gross) of adequately equipped and staffed library facilities per 1,000 population.

Objective: Otay Ranch libraries will be equitably financed by all new development that will benefit from the facilities.

Implementation:

The SPA Plan Area will contribute its fair share to City of Chula Vista library facilities through payment of the Public Facility Development Impact Fee as identified in the PFFP.

School Facilities

Goal: Provide high quality, K-12 educational facilities for Otay Ranch residents by coordinated planning of school facilities with the appropriate school district.

Goal: Coordinate the planning of adult educational facilities with appropriate district.

Objective: School facilities shall be provided concurrently with need and integrated with related facility needs, such as child care, health care, parks, and libraries, where practical.

Objective: Provide school district with 12 to 18 month development plan and 3 to 5 year development forecasts so that they may plan and implement school building and/or allocation programs in a timely manner.

Implementation:

An elementary school site is provided within Village 8 East. SUHSD has planned for future growth in Otay Ranch and the existing and planned middle school and high school facilities are sufficient to accommodate the needs of future residents.

II.2.8.6 AIR QUALITY

Goal: Minimize the adverse impacts of development on air quality.

Implementation:

The Air Quality Improvement Plan provides measures to meet this goal. The Plan addresses improvement measures including job/housing balance, transit access, alternative travel modes, building construction methods and educational programs. The SPA Plan Area has been designed to offer numerous alternative methods of transportation, including public transit, NEVs, bicycle lanes/routes and pedestrian trails.

Commuter Trip Management

Goal: Create a safe and efficient multi-modal transportation network which minimizes the number and length of single passenger vehicle trips.

Objective: Minimize the number and length of single passenger vehicle trips to and from employment and commercial centers to achieve an average of 1.5 persons per passenger vehicle during weekday commute hours.

Implementation:

Village 8 East is located close to the planned regional Rapid Bus station in Village 8 West, accommodates a local bus route and stops along Main Street, provides an extensive pedestrian path system and has been designed to accommodate bicycles. Employment and commercial centers are located within and adjacent to the SPA Plan Area including the Village 8 West and Village 9 Town Centers and the Eastern Urban Center.

Capacity Improvements

Objective: Expand the capacity of both the highway and transit components of the regional transportation system to minimize congestion and facilitate the movement of people and goods.

Implementation:

The SPA Plan Area will contribute to highway and transit improvements as identified in the Public Facilities Finance Plan, including payment of the TDIF to support build-out of the General Plan Circulation System.

Bicycle System Design

Objective: Provide a safe, thorough and comprehensive bicycle network which includes bicycle paths between major destinations within, and adjacent to, Otay Ranch.

Implementation:

The SPA Plan circulation design provides for bicycle access. The Plan includes bike facilities along major perimeter roads and internal bike routes that offer connections to destinations outside of the villages, as well as connections to multi-use trails within the Greenbelt Master Plan and OVRP trail networks as well as the planned Multi-modal (NEV, pedestrian and bicycle) bridge across SR-125.

Road Design

Objective: Design arterial and major roads and their traffic signals to minimize travel time, stops and delays.

Implementation:

The major roads surrounding the SPA Plan Area have been designed in accordance with City standards, except as modified for site conditions. Traffic signals have been located to facilitate traffic flow and to provide access to neighboring land uses. Intersections have been analyzed and designed to provide appropriate “Level of Service” minimizing stops and delays.

Planning and Land Development

Goal: Land development patterns which minimize the adverse impacts of development on air quality.

Objective: Encourage mixed use development to promote linking of trips, reduce trip length and encourage alternative mode usage.

Implementation:

Village 8 East has been designed with a Village Core that contains a mix of uses, including commercial uses, in accordance with village concepts that promote alternatives to automobile use. The convenient village pedestrian path system and internal streets are designed to accommodate NEVs, pedestrians and bicycles and will encourage alternate modes of travel.

Transit Route and Facility Design

Objective: Facilitate access to public transit.

Implementation:

Pedestrian and bicycle paths provide links to public transit lines. A Bus Rapid Transit station is planned within the Village 9/University Innovation District

east of Village 8 East. Rapid Bus service is planned along Main Street, with a station planned in Village 8 West, and Local Bus stops are also planned along Main Street to serve Village 8 East residents.

Pedestrian Design

Objective: Encourage pedestrian traffic as an alternative to single vehicle passenger travel.

Implementation:

The extensive system of trails and pathways throughout the SPA Plan Area to destinations such as the village core, schools and parks, the neighboring land uses, will encourage residents to walk rather than drive.

Building Design

Objective: Locate and design buildings within village cores to facilitate transit and pedestrian access.

Implementation:

Buildings within the Village 8 East village core are clustered to minimize walking distances and oriented to the street to encourage pedestrian access. Paths within the core link to the public transit station in Village 8 West and local bus stops along Main Street.

Parking Management

Objective: Manage parking facilities to facilitate transit, ridesharing and pedestrian access.

Objective: Manage parking facilities to encourage a reduction in the number of single vehicle trips.

Implementation:

The PC District Regulations establish parking requirements for each land use district/zone. Parking areas are located at the rear and sides of buildings to maintain a pedestrian-oriented village streetscape. Joint parking use is encouraged within the village core.

Street Configuration

Objective: Configure internal village streets to give pedestrian traffic a priority.

Implementation:

Village streets are designed for pedestrian comfort with sidewalks, landscaping and furnishings. Streets are narrow to slow traffic and parking is subordinated.

Particulate Emissions

Objective: Minimize particulate emissions, which are the result of the construction process.

Implementation:

This objective will be met through construction practices that control fugitive dust, minimize simultaneous operation of construction vehicles and equipment, and use low-polluting equipment.

Energy Conservation

Objective: Minimize fossil fuel emission by conserving energy.

Implementation:

The Energy Conservation Plan fulfills the GDP requirement to prepare a Non-renewable Energy Conservation Plan and promotes energy efficiency and use of solar power by requiring pre-plumbing for future solar installation. The SPA Plan circulation plan is designed to provide alternate modes of travel and reduce vehicle trips to reduce fossil fuel emissions.

II.2.8.7 NOISE

Goal: Promote a quiet community where residents live without noise which is detrimental to health and enjoyment of property.

Goal: Ensure residents are not adversely affected by noise.

Objective: Otay Ranch shall have a noise abatement program to enforce regulations to control noise.

Implementation:

The SPA Land Use Plan separates higher noise generating land uses from more sensitive residential land uses. Sound abating features, such as masonry walls and dual-glazed windows, will be provided as needed. City standards for noise regulation and abatement shall be enforced. The *University Villages Noise Impact Report* (2014) and *Noise Impact Analysis Update* (2023), prepared by Dudek and Associates, identifies potential noise impacts and provides mitigation measures to reduce or eliminate potential conflicts.

II.2.8.8 SAFETY

Goal: Promote public safety and provide public protection from fire, flooding, seismic disturbances, geologic phenomena and manmade hazards in order to:

- Preserve Life, Health and Property;
- Continue Government Functions and Public Order;
- Maintain Municipal Services; and
- Rapidly Resolve Emergencies and Return the Community Normalcy and Public Tranquility.

General Public Safety

Objective: Provide for the continuity of government and public order.

Objective: Maintain public services and ensure the rapid resolution of emergencies.

Objective: Minimize social and economic dislocations resulting from injuries, loss of life and property damage.

Implementation:

The SPA Land Use Plan has utilized the recommendations of technical studies, City codes and ordinances, and other policies and regulations to plan for development that will promote the protection of life and property. Crime Prevention Through Environmental Design (CPTED) Principles have been incorporated into the Village 8 East Design Plan

Seismic Disturbances

Objective: Provide public protection from earthquakes, rockslides, and liquefaction in order to minimize loss of life, injury, property damage and disruption of community social and economic activity.

Implementation:

Site grading and construction shall be in accordance with the Uniform Building Code and the Association of Structural Engineers of California to reduce the effects of seismic shaking to the extent possible.

Floods

Objective: Prevent property damage and loss of life due to seiches, dam failure and heavy rains.

Objective: Preservation of the floodplain environment from adverse impacts due to development.

Implementation:

The SPA Plan Area is not located within a floodplain. Storm water flows shall be controlled and conveyed in accordance with the Master Drainage Plan for the village.

Geologic Phenomena

Objective: Prevent property damage and loss of life due to landslides, rock falls, and erosion.

Implementation:

The SPA Plan Area development shall utilize grading practices that are consistent with this objective, to the greatest extent feasible.

Fire, Crime, Health Emergency, and Hazardous Substances

Objective: Prevent property damage and loss of life due to fire, crime or hazardous substances.

Implementation:

The SPA Plan Area is planned to reduce potential effects of fire through adequate water supply, street design that facilitates emergency vehicle access, and fuel-modification landscape techniques as outlined in the FPP. Crime prevention is addressed through optimization of community interaction and street activity and a minimization of secluded areas that could foster crime. City codes and policies will be implemented and enforced to minimize potential effects of hazardous substances.

II.2.8.9 GROWTH MANAGEMENT

Goal: Develop Otay Ranch villages to balance regional and local public needs, respond to market forces, and assure the efficient and timely provision of public services and facilities concurrent with need.

Objective: Coordinate the timing of the development of Otay Ranch villages to provide for the timely provision of public facilities, assure the efficient use of public fiscal resources and promote the viability of the existing and planned villages.

Implementation:

The SPA Plan will be developed in phases that balance market forces with the provision of the facilities, as identified by the PFFP. The Chula Vista City Council repealed the City's Growth Management Ordinance in November 2022.

II.2.8.10 RESOURCE PROTECTION, CONSERVATION & MANAGEMENT

Goal: Establishment of an open space system that will become a permanent preserve dedicated to the protection and enhancement of the biological, paleontological, cultural resources (archaeological and historical resources), flood plain, and scenic resources of Otay Ranch, the maintenance of long-term biological diversity, and the assurance of the survival and recovery of native species and habitats within the preserve, and to serve as the functional equivalent of the County of San Diego Resource Protection Ordinance (RPO).

Objective: Identify sensitive and significant biological, cultural, paleontological, agricultural, and scenic resources within Otay Ranch that require protection and/or management.

Objective: Preserve sensitive and significant biological, cultural, paleontological, flood plain, visual, and agricultural resources.

Implementation:

These goals and objectives will be met through compliance with the Otay Ranch RMP and Phase 2 RMP, by conveyance of property within the preserve to the Preserve Owner Manager at a ratio of 1.188 acres of preserve land for every acre of non-common development land and participation in the established CFD 97-2 to fund perpetual maintenance, management and monitoring of Preserve areas.

Enhance and Restore Sensitive Resources

Objective: Enhance, restore, and re-establish sensitive biological resources (species and habitats) in disturbed areas where the resources either formerly occurred or have a high potential for establishment.

Implementation:

Disturbed areas within the Otay Ranch Preserve may be enhanced and restored as determined by the Otay Ranch Preserve Owner/Manager (POM).

Wildlife Corridors

Objective: Establish functional connections for onsite resources and integrate the Preserve into a larger regional system.

Implementation:

The SPA Plan maintains functional connections for onsite resources within the Otay River Valley and integrates the Preserve into the larger regional system through the conveyance of approximately 261.7 acres of land into the Preserve.

Preserve Management and Maintenance

Objective: Effectively manage the Preserve to protect, maintain, and enhance resources in perpetuity.

Implementation:

The Applicant will annex the Village 8 East SPA Plan Area into CFD 97-2 to fund the perpetual maintenance, management and monitoring of Preserve areas.

Resource Preserve Land Uses

Objective: Identify permitted land uses within the Preserve.

Implementation:

The Otay Ranch RMP, as incorporated into the City of Chula Vista MSCP Subarea Plan, identifies permitted land uses within the preserve. The MSCP includes a list of Planned Facilities authorized for Take pursuant to the Subarea Plan. In the SPA Plan Area, Planned Facilities include sewer facilities ancillary to the Salt Creek Interceptor, including connections and maintenance access roads and trails designated in the OVRP Concept Plan. In addition, the MSCP includes a list of Future Facilities subject to MSCP Facilities Siting Criteria (Section 6.3.3.4). Future Facilities within the SPA Plan Area include a fire access road, storm drain facilities and trail/access leading to the Community Park.

Resource Preserve - Adjacent Land Uses

Objective: Identify allowable uses within appropriate land use designations for areas adjacent to the Preserve.

Implementation:

Residential uses will be separated from the Preserve by a 100-foot wide preserve edge. As required by the Resource Management Plan, a Village 8 East Preserve Edge Plan has been prepared. The Edge Plan provides compliance measures related to drainage, storm drain, toxic substances, lighting, noise and invasive plant materials.

Regulatory Framework for Future Uses

Objective: Provide a regulatory framework for future permitting by resource agencies and amendments to the RMP.

Implementation:

The SPA Plan will adhere to the regulatory framework established in the RMP and MSCP Subarea Plan.

Mineral Resources

Goal: Encourage the completion of the extraction of mineral resources before conflicts with planned development could occur.

Objective: Extract mineral resources so as not to impair other conservation efforts.

Implementation:

Mineral extraction does not occur in the SPA Plan Area.

Soils

Goal: Minimize soil loss due to development.

Objective: Identify development activities which present a large potential to create excessive runoff or erosion.

Implementation:

Landform grading, slope stabilization, vegetation protection, revegetation and other techniques will be employed to meet these goals and objectives.

Steep Slopes

Goal: Reduce impacts to environmentally sensitive and potential geologically hazardous areas associated with steep slopes.

Objective: Research existing slope conditions prior to land development activities.

Implementation:

The SPA grading plan is based on a geotechnical study. The site grading creates terraces for development that follow the natural grade elevation change. Manufactured slope heights and forms are in conformance with City ordinances and policies.

Floodways

Goal: Preserve floodways and undisturbed flood plain fringe areas.

Objective: Restore and enhance highly disturbed floodways and flood plains to regain former wildlife habitats and retain/restore the ability to pass 100-year flood flows.

Objective: Preserve floodways and undisturbed flood plain fringe areas in their natural state where downstream development will not be adversely affected.

Implementation:

The proposed project does not impact the Otay River floodplain and floodways.

Visual Resources

Goal: Prevent degradation of the visual resources.

Objective: Blend development harmoniously with significant natural features of the land.

Implementation:

The manufactured slopes will be contoured and/or vegetated to minimize visual impacts. The landscape plan for the SPA Plan Area provides a transition between the natural landscape and the development area.

Energy Conservation

Goal: Establish Otay Ranch as a “showcase” for the efficient utilization of energy resources and the use of renewable energy resources.

Objective: Reduce the use of non-renewable energy resources within Otay Ranch below per capita non-renewable energy consumption in San Diego County.

Implementation:

The design of the SPA Plan Area encourages NEV use, walking, bicycling, and public transit use to lower energy consumption. Air Quality and Water Conservation Plans for the SPA Plan Area contribute to efficient use of resources.

Land Use

Objective: Provide land use patterns and project features which result in the conservation of non-renewable energy resources.

Implementation:

The land use pattern and relationship to surrounding land uses promotes walking and cycling as alternatives to more energy consumptive automobile use. The Water Conservation Plan and landscape design promote efficient water use.

Water Conservation

Goal: Conserve water during and after construction of Otay Ranch.

Objective: Reduce CWA water use within Otay Ranch to a level that is 75% of County-wide, 1989 per capita levels.

Objective: Create a comprehensive framework for the design implementation and maintenance of water conserving measures, both indoor and outdoor.

Objective: Develop an extensive water restoration and recycling system throughout the developed areas of Otay Ranch.

Objective: Investigate traditional and non-traditional uses for reclaimed water and identify potential restraints for reclaimed water use.

Objective: Comply with the water conservation standards and policies of all applicable jurisdictions.

Implementation:

The project will adhere to the provisions of the Water Conservation Plan prepared for the project and the City's Water Conservation Ordinance.

Astronomical Dark Skies

Goal: Preserve dark-night skies to allow for continued astronomical research and exploration to be carried out at the County's two observatories, Palomar Mountain and Mount Laguna.

Objective: Provide lighting in heavily urbanized areas of the Otay Valley Parcel which ensures a high degree of public safety.

Objective: Provide lighting in less urbanized areas, which helps to preserve county-wide dark-night skies, and is consistent with more rural lighting standards prevalent in non-urbanized areas of San Diego County.

Implementation:

Lighting within the SPA Plan Area will adhere to City and County ordinances and standards.

Agriculture

Goal: Recognize the presence of important agricultural soils both in areas subject to development and within the preserve.

Objective: Encourage effective utilization of agricultural soils located within the Preserve.

Implementation:

Agricultural practices have ceased in the SPA Plan Area. Erosion control measures will be implemented to prevent soil erosion.

ATTACHMENT 1

UNIT TRACKING TABLE

Village 8 East Unit Tracking Matrix

Total Units Approved to date:	
Units proposed by this application:	
Total estimated unit count:	
Total Units Allowed per SPA:	3,276

Application date:	X/X/XXXX
Applicant:	
Parcel Number(s):	
Approved by Master Developer:	Yes or No
Consistent with density range:	Yes or No
Consistent with Village maximum:	Yes or No

Parcel	Density		Estimated Units			Non-Residential SF	Gross Acres		DR Permit #	
	Site Utilization Plan Permitted Range	Proposed / Approved	Site Utilization Plan	Approved to Date	Proposed by Applicant		Site Utilization Plan	Proposed / Approved	Permit #	Date
Multi-Family Residential (MH)										
R-1	11-18 du/ac	17.39	158	160		N/A	9.1	9.20		
R-2	11-18 du/ac	14.97	163		140	N/A	9.4	9.35		
R-3	11-18 du/ac	-	162			N/A	9.8			
R-4	11-18 du/ac	-	147			N/A	9.0			
R-5	11-18 du/ac	-	155			N/A	8.7			
R-6	11-18 du/ac	-	145			N/A	8.3			
R-7	11-18 du/ac	-	222			N/A	15.4			
R-8	11-18 du/ac	-	176			N/A	12.3			
R-9	11-18 du/ac	-	196			N/A	15.3			
R-10	11-18 du/ac	-	140			N/A	11.5			
Total MH		16.17	1,664	160	140	N/A	108.8	18.55		
Village Core ¹										
VC-1	18-45 du/ac		275				7.6			
VC-2	18-45 du/ac		315				9.8			
VC-3	18-45 du/ac		285				8.8			
VC-4	18-45 du/ac		132				4.5			
VC-5	18-45 du/ac		168				5.7			
VC-6	18-45 du/ac		80				5.3			
VC-7	18-45 du/ac		93				6.0			
Total VC			1,348	-	-	-	47.7	-		
Subtotal			3,012	160	140	20,000	156.5	18.55		
School (H)										
S-1	18-27 du/ac		264				11.3			
OVERALL SPA TOTAL RESIDENTIAL UNITS			3,276	160	140	20,000	167.8	18.55		
OVERALL SPA TOTAL COMMERCIAL SQUARE FEE			20,000							

1. Density range shall only apply to projects where residential is proposed; residential is not a required use in the VC zone.

ATTACHMENT 2

PUBLIC PARK FACILITY AND COMMUNITY PURPOSE FACILITY CAPACITY STUDIES

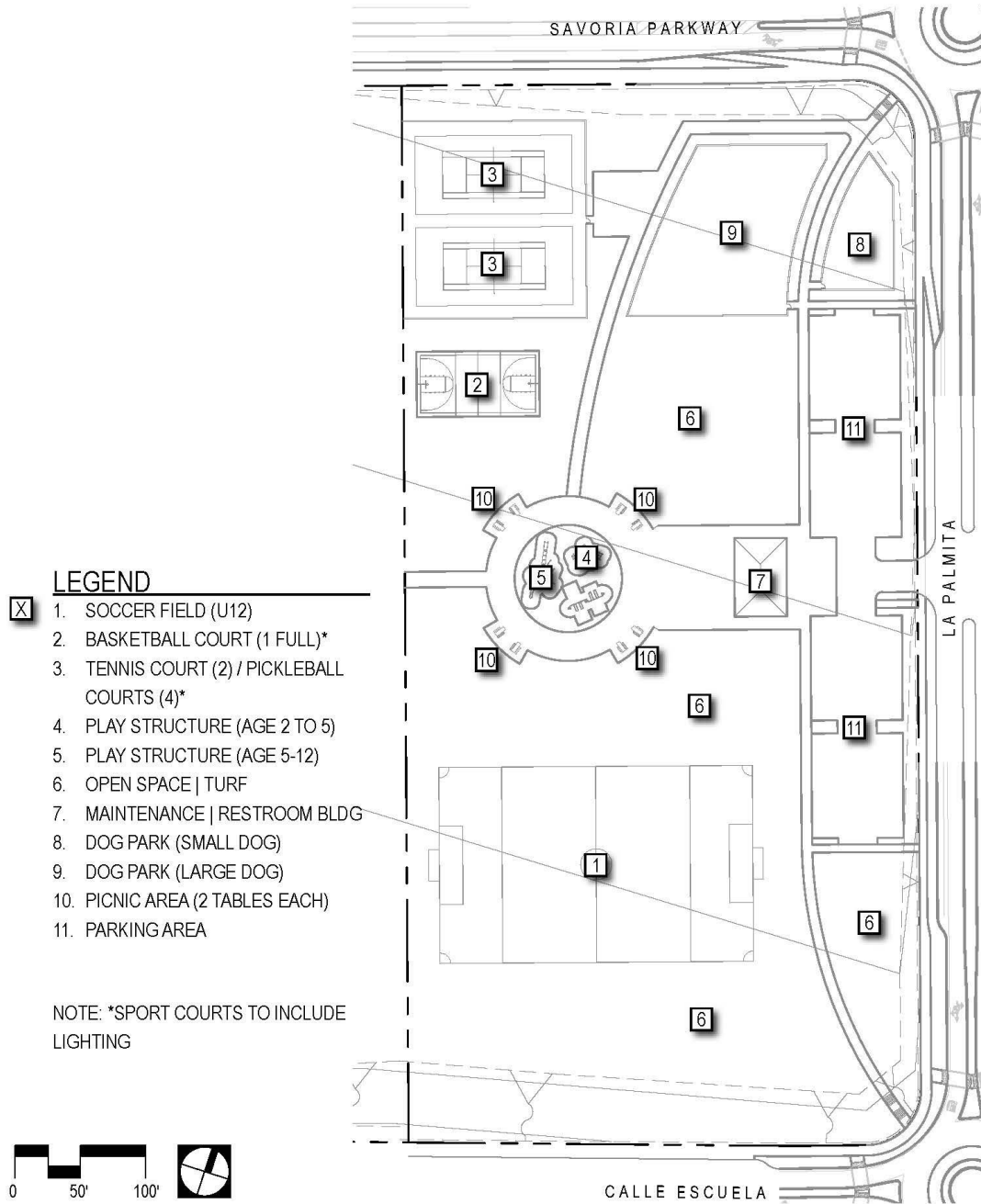
Public Parks

Capacity studies are provided to demonstrate that facilities outlined the Chula Vista Park and Recreation Master Plan for Village 8 East Neighborhood Park P-1 (PRMP Park No. 119) and Community Park P-2 (PRMP Park No. 102) can be accommodated within the Village 8 East public parks. However, as noted in Chapter V, Parks, Recreation, Open Space & Trails Master Plan, the final design of the public parks may be refined or modified during the park planning to include other facilities or amenities that serve evolving demographics and associated outdoor recreational needs and meet the intent of the City's parks mission.

Community Purpose Facility

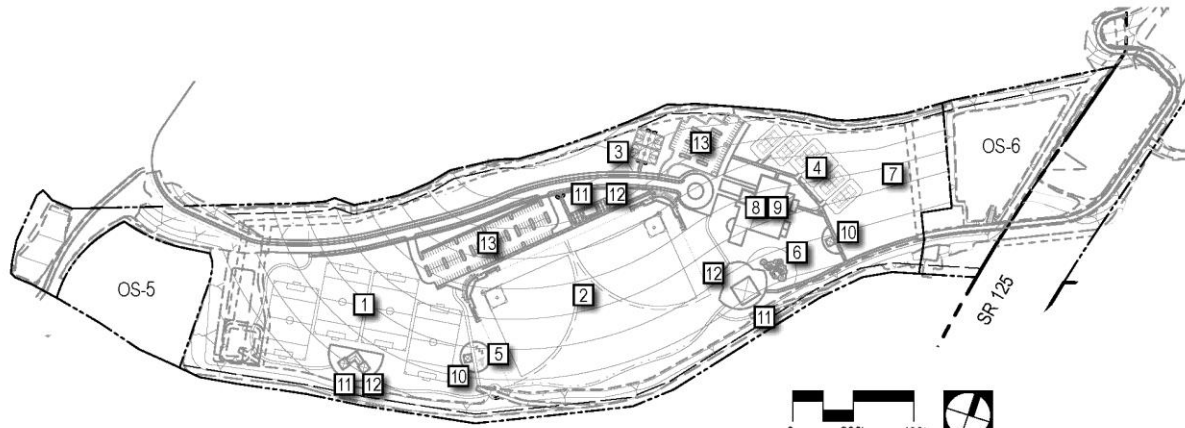
A capacity study is provided to demonstrate that the conceptual plan for the CPF-1 site can accommodate required improvements for a private recreation facility, as defined in CVMC 19.48.025. However, the CPF-1 Concept Plan may be refined or modified during final design.

Neighborhood Park P-1



The P-1 Park Facility Capacity Study is consistent with the PRMP; however, this conceptual plan may be revised during final park design.

Community Park P-2



LEGEND

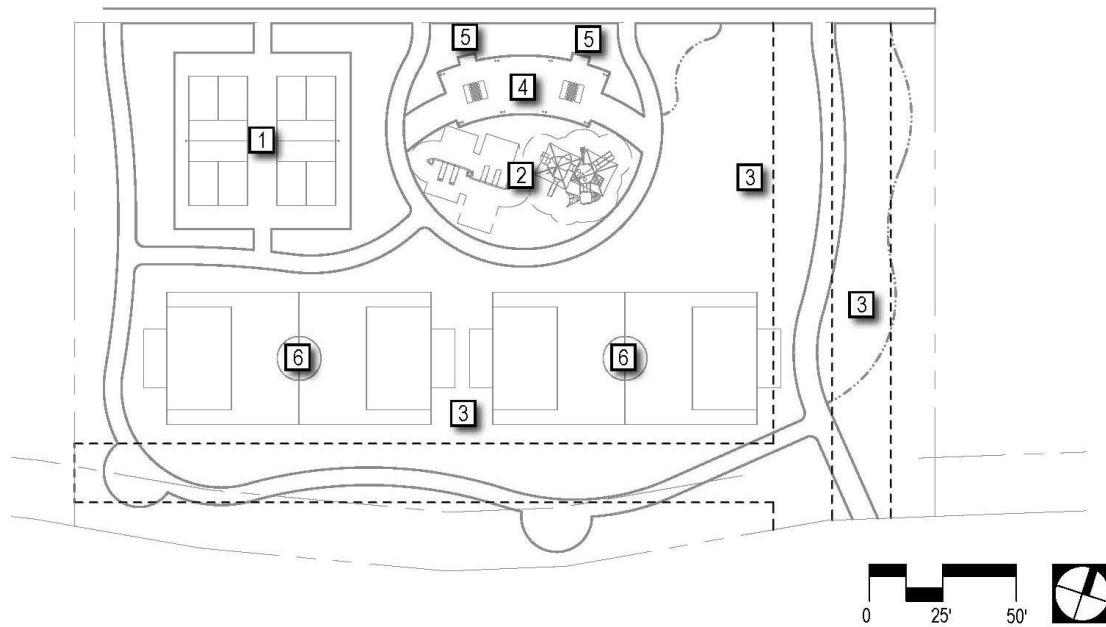
- | | |
|---|--|
| <div style="border: 1px solid black; width: 20px; height: 20px; display: flex; align-items: center; justify-content: center; margin-bottom: 5px;">X</div> | <ol style="list-style-type: none"> 1. SOCCER FIELDS (4 REQ)* 2. SOFTBALL FIELDS (2 REQ)* 3. BASKETBALL COURTS (2 FULL REQ)* 4. TENNIS COURTS (6 REQ) / PICKLEBALL COURTS (12 REQ)* 5. PLAY AREA - AGE 2 TO 5 (2 STRUCTURES REQ) 6. PLAY AREA - AGE 5 TO 12 (2 STRUCTURES REQ) 7. OPEN SPACE TURF 8. REC COMMUNITY CENTER (21,000SF MIN) 9. RESTROOMS (1 REQ) 10. SHADE STRUCTURE - SMALL (2 REQ) 11. SHADE STRUCTURE - LARGE (3 REQ) 12. PICNIC AREA (24 TABLES REQ) 13. PARKING AREA |
|---|--|

NOTES:

1. *SPORTS FIELDS AND COURTS TO INCLUDE LIGHTING
2. VEHICULAR ACCESS TO AR-11 TO BE DETERMINED DURING PARK MASTER PLAN PROCESS

Note: The P-2 Park Facility Capacity Study is consistent with the PRMP; however, this conceptual plan may be revised during final park design. Vehicular access between P-2 Community Park and AR-11 to be designed during final park design.

Community Purpose Facility CPF-1



LEGEND

-  1. HARDCOURT (PICKLEBALL)
- 2. CHILDRENS PLAY AREA
- 3. LEVEL LAWN AREA
- 4. COMMUNITY GATHERING PLACE (SHADE STRUCTURE | PICNIC AREA)
- 5. OUTDOOR COOKING FACILITY (BBQS)
- 6. FULL SIZE SPORT FIELD (YOUTH SOCCER)

OTAY RANCH VILLAGE 8 EAST

Village Design Plan

April 2024

PREPARED FOR:
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Adopted on December 2, 2014
By Resolution No. 2014-235

Amended XX
By Resolution No. XX



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I. Introduction

The following section describes the requirements and purpose of the Village Design Plan, as articulated in the Otay Ranch General Development Plan (GDP), the companion documents, the future Village Core Master Precise Plan requirements and the site plan review process.

A. Village Design Plan

The Otay Ranch General Development Plan (GDP) requires that a Village Design Plan be prepared for each village at the Sectional Planning Area (SPA) level of planning. The Village Design Plan for Village 8 East was originally approved by the Chula Vista City Council in 2014. This Village Design Plan addresses the land plan changes approved by the Chula Vista City Council on _____.

The Village Design Plan guides planning and development by defining intended character and design elements of the village and provides guidance for developers and designers.

The Village 8 East Design Plan guides the design of sites, buildings and landscapes within the village to ensure that the quality of the adopted urban design and architectural concepts established for the overall Otay Ranch community are maintained. The design plan identifies a theme for Village 8 East and delineates that identity through streetscape and landscape design, community-level signage and architectural and lighting guidelines. Sign regulations are provided in the Village 8 East Planned Community District Regulations (PC District Regulations). The design plan also identifies the village core design concepts that will implement Otay Ranch's planned pedestrian orientation.

This introductory section of the Village Design Plan provides a description of the Design Review process for Village 8 East. Section 2 describes the Village 8 East setting, land use plan, and the design theme of the village. The following sections describe the overall village design features and provide guidelines for the Village Core and multi-family residential developments.

Images and graphics presented in this document are for the purpose of communicating intended character and quality and to illustrate potential outcomes of the PC District Regulation standards and the guidelines herein. Neither are suggestive of architectural styles or intended to be interpreted as development standards or regulations.

B. Companion Documents

There are several companion documents that provide guidance for preparation of the Village Design Plan. These documents are described below.

1. Otay Ranch GDP Overall Design Plan

The Otay Ranch GDP Overall Design Plan provides framework guidelines for Otay Ranch implementation. The Overall Design Plan was adopted in 1993 in conjunction with approval of the Otay Ranch General Development Plan and provides general design guidelines appropriate to the pedestrian and transit-oriented village concepts envisioned for the community.

2. Village 8 East Planned Community (PC) District Regulations

The PC District Regulations establish land use development standards and appropriate regulations (zoning) for all construction within the Village 8 East project area. All proposed developments must adhere to the land uses, setbacks, building heights and similar regulatory criteria specified in the PC District Regulations.

3. Village Core Master Precise Plan

Village Core Master Precise Plan will be prepared to provide additional design direction within the Village Core areas. A Master Precise Plan must be approved prior approval of the first Design Review in the Village Core.

As required by the Otay Ranch GDP, the Master Precise Plan shall address the following design considerations:

- ❖ A design concept plan illustration which identifies the landscape concept, conceptual plaza spaces, village core park relationship, linkages to regional open spaces and adjacent villages. The concept plan should identify special setback conditions and treatments (if applicable), on-street parking, parking lots, and transit linkages (as appropriate).
- ❖ Typical building elevations for commercial and residential, identifying the intended character, scale and proportion, massing, compatibility with surroundings and building materials.
- ❖ Demonstrate the adequacy of development with the intention of supporting pedestrian orientation.

C. Administrative Design Review

An Administrative Design Review process has been established in the Village 8 East PC District Regulations to ensure all development within Village 8 East is consistent with Village 8 East PC District Regulations. The process requires preparation of site, landscape and architectural plans that will be reviewed and approved by the Master Developer. Site plans shall be submitted to the City of Chula Vista for review, along with a Master Developer Approval Letter. The Design Review shall be subject to Administrative City approval (Zoning Administrator) and shall solely focus on ensuring compliance with the requirements in the PC District Regulations and the intent of the Village Design Plan. The

Design Review process is described in greater detail in the Village 8 East PC District Regulations, Chapter 10, Implementation and Administration.

1. Design Review Process

The Village 8 East infrastructure and development parcels will be developed by the Master Developer. Most of the elements described in Section II of this document, including landform grading, village entries, community monuments and streets will be implemented by the Master Developer. The development of commercial, community-serving uses and multi-family residential neighborhoods will be by Merchant Builders and/or builder(s) affiliated with the Master Developer. A review process has been created to facilitate development by Merchant Builders within the unique village planning concepts of the Otay Ranch planned community.

The Village 8 East Design Review process includes two integrated procedures: 1) preliminary review by the Master Developer and 2) Administrative Design Review by the City of Chula Vista. The process requires the Merchant Builder (“builder”) to submit the Design Review package consistent with the Village 8 East Design Review Submittal checklist in the PC District Regulations to the Master Developer for review/approval prior to formal application and review by the City. The Master Developer review is intended to ensure that the builder's intended product and designs meet the standards and criteria for the entire planned community as well as the guiding documents. Following review of the Merchant Builder's schematic design, a continuing exchange of information will be expected as the design is finalized in preparation for the City's Development Plan Review process to be initiated. Upon completion of Master Developer review, the Master Developer will provide the builder with a “Master Developer Approval Letter,” which must be submitted to the City with the Design Review Application and submittal package. Upon City approval, the builder shall provide the Master Developer with a copy of the final approved plans and fully executed Zoning Administrator Notice of Decision.

II. Village Identity

Village identity reflects the physical setting and surrounding design influences, including natural and built environments. The identity of a village or community is further communicated along streetscapes, within public spaces such as schools, parks and gathering spaces and the landscape concepts implemented on perimeter and internal slopes and at village entries. The following sections describe the Village 8 East identity and context.

A. Village Setting and Design Influences

Village 8 East is located north of the Otay River Valley within the Otay Valley Parcel of Otay Ranch. The site slopes from north to south and provides view opportunities across the Otay River Valley to the south and mountains to the east.

Otay Ranch Village 7 is located to the north, Village 8 West Area (Cota Vera) is located to the west, SR-125 forms the eastern boundary and the Otay River Valley and future Otay Ranch Community Park South is located to the south. Village 8 East provides additional synergy and population base to support the community-serving Village 8 West Town Center. A Rapid Bus Route is planned along Main Street and a transit stop/station is proposed in the Village 8 West Town Center just west of Village 8 East. The village core is located in the northern portion of Village 8 East, placing neighborhood serving commercial, a public neighborhood park and an elementary school site within walking distance of a majority of village residents. A large community park is planned south of Village 8 East, within the Otay Valley Regional Park. Pedestrian linkages are planned between the southern residential neighborhoods and the community park.

An Illustrative Plan is provided as **Exhibit 1: Village 8 East Illustrative Plan**, depicting a cohesive plan for implementation of the Village 8 East community. This illustrative plan is presented as one possible conceptual plan for Village 8 East; however, the actual design will be based on final site plans approved within Village 8 East.



Exhibit 1: Village 8 East Illustrative Plan

B. Urban Theme and Character

Contemporary European architectural styles, complementing the Village 8 West architecture, provide the inspiration for the Village Design Plan. European architecture is represented by contemporary representations of Mediterranean, Monterey, Spanish, English, French, Italian, San Francisco, and California Craftsman styles. Contemporary European-inspired architecture is well suited to rectilinear multi-family development that has a strong relationship with the street.


The defining design features of European architecture are particularly applicable to the pedestrian-oriented design of the Village Core. The "main street" panned along Savoria Parkway will be designed with outdoor seating and gathering spaces. Design elements may include awnings, arcades, trellises and a variety of street trees to define and highlight the created spaces. In addition to trees, the landscaping may include planting areas with a variety of colorful shrubs, groundcovers, and vines, decorative hardscape as well as potted and hanging accent plants. Architecture in the village core area will allow for variety but maintain a strong basis in contemporary European-inspired architecture. This design theme may extend to village-serving buildings such as the elementary school and recreational facilities.

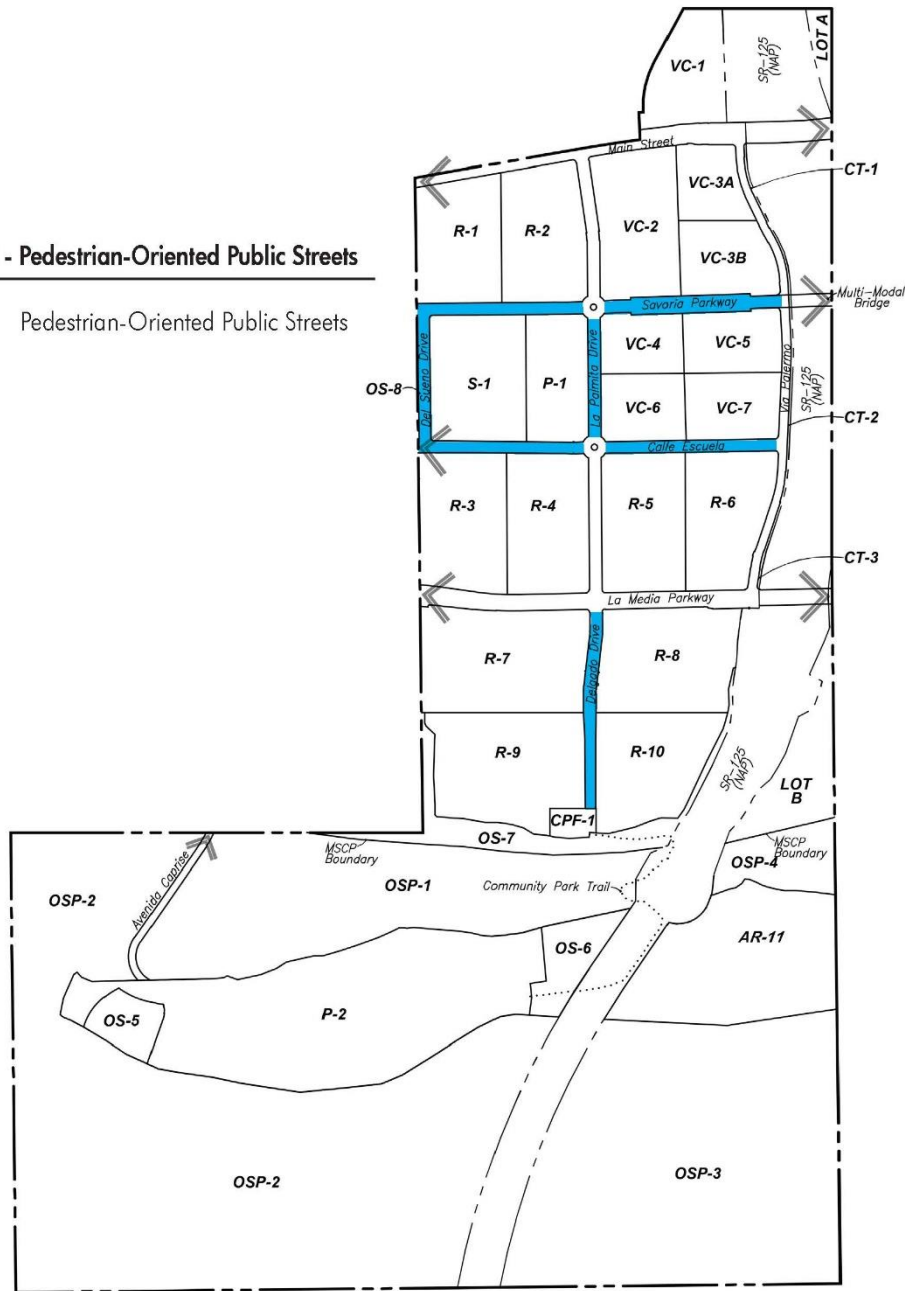
C. Pedestrian Orientation

Village 8 East is designed to be consistent with the GDP's goal of creating vibrant communities with a focus on walkability and pedestrian orientation. The orientation of the built environment along pedestrian-oriented streets is a key design feature of the village. Pedestrian-oriented streets are conceptually planned along internal streets, wherever feasible based on proposed site grading. For non-residential uses, the number and location of entrances, the size and distribution of windows, building setbacks from the street, landscaping, along with building design elements such as lighting and awnings, all contribute to the pedestrian experience. For residential uses front door access from the public street and pedestrian oriented architecture, such as street facing windows, courtyards, porches and stoops will promote connectivity between public and private spaces.

Site layout is also important to facilitating pedestrians, cyclists and transit users. The internal street network features enhanced pedestrian walkways, paths and trails designed to create a safe, pleasant and attractive walking experience. Pedestrian-oriented design also helps to make places more walking friendly by providing a range of transportation options. These can include clear, comfortable pedestrian pathways, bicycle connections, bicycle parking, access trails and walkways, and transit options and access to bus stops. **Exhibit 2: Pedestrian Oriented Streets**, depicts the internal streets where pedestrian oriented features may be implemented, depending on final grades. This exhibit is based on the conceptual grades shown on the Village 8 East Tentative Map; however, grades may change during final engineering which may make implementation infeasible or create additional opportunities along other corridors.

Legend - Pedestrian-Oriented Public Streets

 Pedestrian-Oriented Public Streets



Pedestrian Oriented Public Streets  

Exhibit 2: Pedestrian-Oriented Streets

D. Conceptual Grading

The natural sloping landform provides the opportunity to tier the site and create a fairly level, pedestrian-oriented village core. On the north side of the village, the topography slopes from north to south from Main Street to the Otay River Valley. The Community Park and Preserve open space is located to the south. The site design of the village generally follows the undulating landform of the canyon, with grades dropping from north to south.

Building sites have been created in terraces and streets are located within the topography to adhere to City horizontal and vertical curve standards.

The design plan for the village strives to create an aesthetically pleasing landform. The following are guidelines for grading and slope design:

- ❖ Create elevation changes within the property that strive for a balance of cut and fill grading.
- ❖ Use grade changes to optimize views to the south and a create sense of spaciousness.
- ❖ Use varied-height trees, shrubs and groundcovers to undulate the surface of slopes.
- ❖ Minimize surface runoff and erosion potential by planting slopes with low water consumptive and drought tolerant plants.
- ❖ Use state-of-the-art erosion control, irrigation and water management practices to protect slopes.

E. Landscape Concept

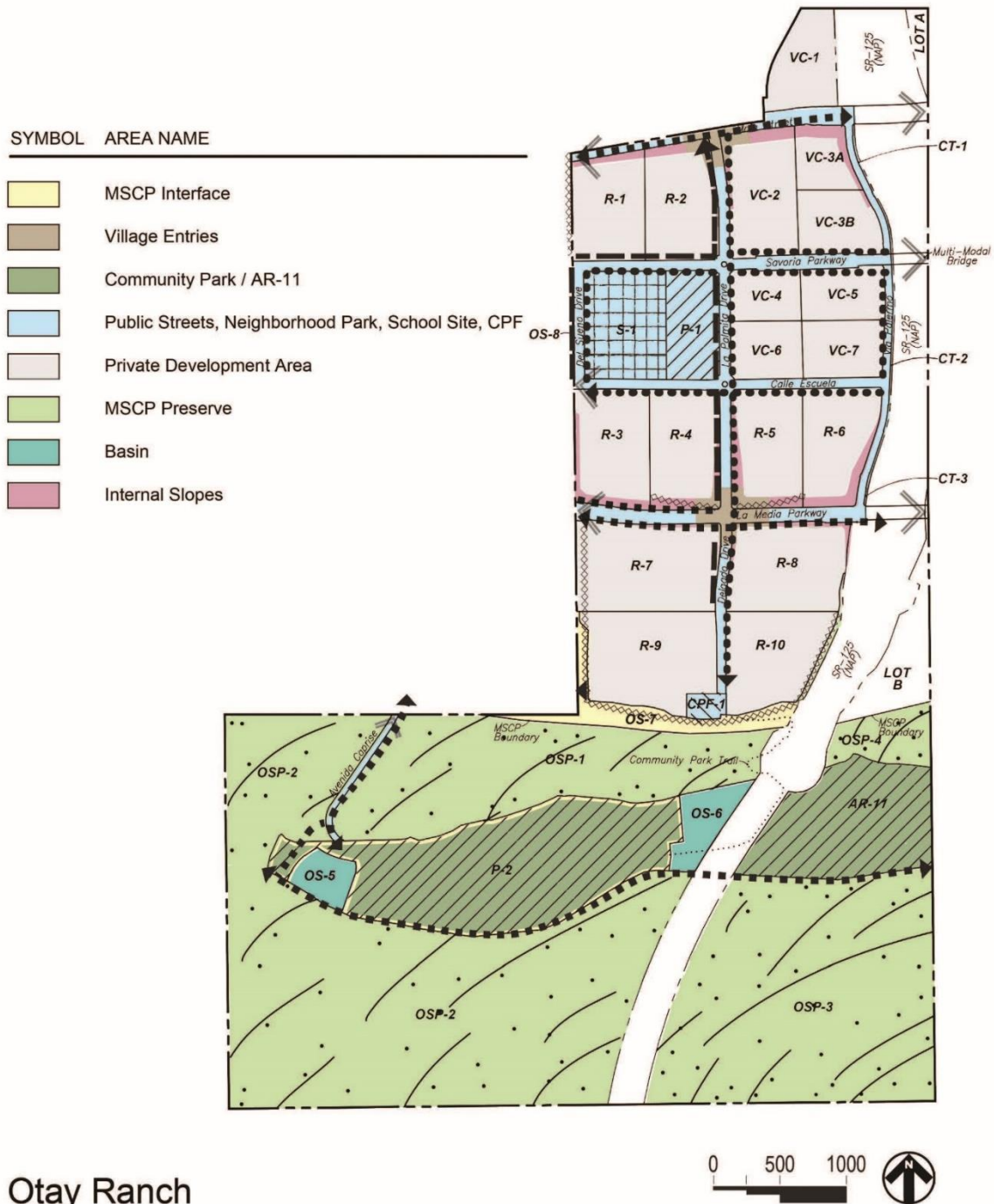
The landscape design is planned to integrate Village 8 East with the overall Otay Ranch design theme and to create a cohesive and well connected village across both Village 8 West and Village 8 East. The Otay Ranch design theme is addressed by extending established arterial streetscape designs and perimeter slope landscape designs into the Village 8 East landscape plan. Within the village, the landscape theme is an assembly of European influences on California's architectural history. Derivatives of the European style including Spanish, Mediterranean, Monterey, French, Italian, San Francisco and California Craftsman Mediterranean, Monterey, Spanish, and California Craftsman styles architecture will complement the landscape.

The use of traditional agrarian trees such as Oak, Olive, fruiting trees and other stately evergreens provide the key linkage between the neighborhoods. Ornate shrubs, groundcovers and vines such as Bougainvillea, Lavender, Rosemary and other vibrant plant materials, accentuate important destinations. The plant palette is a collection of water

efficient material that compliments the diversity in European-inspired architectural styles.

The European-inspired design theme will be created through a comprehensive landscape plan that addresses the design of outdoor spaces, features, furnishings and the use of a wide variety of trees, shrubs and groundcovers. The landscape concept is illustrated in the provided **Exhibit 3: Landscape Concept Plan**. Descriptions of proposed internal and perimeter slopes, streetscape/neighborhood park/Community Purpose Facility, private development areas and the P-2 Community Park landscape design areas are provided in the following sections. Additional information about the Village 8 East landscape plan is provided in the Preserve Edge Plan. The Landscape Master Plan and the Village Core Master Precise Plan, developed after the SPA Plan is approved, will provide more detailed descriptions of the Village landscapes. See Village 8 East Fire Protection Plan, and 2023 addendum and Attachment 2: Approved Plant List, for additional plant palette information.

The Village 8 East landscape theme is a collection of elements reflective of California's and Otay Ranch's agrarian history. Village-wide architectural styles will blend seamlessly with the landscape, providing an elegant and cohesive community.



Otay Ranch
Village 8 East

Exhibit 3: Landscape Concept Plan

F. Slope Landscape Design Concept

The Village 8 East landscape concept is compatible with the established Otay Ranch design theme and the City's Water Conservation Ordinance. Slopes are one of the dominant landscapes visible from public view. The landscape concept for the MSCP Interface slopes balances the need to provide adequate plant cover to minimize erosion, minimize fuel load and water use and ensure compatibility with the adjacent MSCP natural open space areas. The interior slopes are designed to provide for erosion control, while establishing a pleasant backdrop for the village and entry landscape elements. Varied-height trees, shrubs and groundcovers will be utilized to undulate the surface of slopes to create dimension, variation and interest and soften the appearance of slopes visible from the Otay Valley Regional Park.

The following describes the design concepts and approved plant palette that will create slopes complementary to the overall Otay Ranch theme consistent with the Village 8 East Preserve Edge Plan, Otay Valley Regional Park Private Development Guidelines, the Fire Protection Plan University Villages – Village 8 East / 2023 Addendum, the Chula Vista Landscape Water Conservation Ordinance and City of Chula Vista Landscape Manual. Signage within areas adjacent to the MSCP shall be provided and must meet the requirements of the City of Chula Vista and the Otay Ranch Preserve Owner/Manager.

The Otay Valley Regional Park (OVRP) Standards and Guidelines, Section 5, Private Development Guidelines, include principles for private development adjacent to the OVRP. Consistent with these principles, manufactured perimeter slopes adjacent to the OVRP complement and do not negatively impact the park by utilizing the following techniques:

- ❖ Perimeter slopes follow the existing topography to the greatest extent possible, blending the site into natural topography and preserving natural drainages between Village 8 East and the Otay River Valley.
- ❖ Landscape buffers are planted with native plant materials, consistent with the Village 8 East Fire Protection Plan and Preserve Edge Plan.
- ❖ Retaining walls are split into multiple sections to avoid large expanses of blank walls, while providing opportunities to screen the walls with native landscaping in front of the wall and reduce single wall heights.
- ❖ Non-residential fencing at the perimeter is typically post & rail or open tubular steel, permitting views to and from the park.
- ❖ Residential fencing at the perimeter is typically 2' of block with 4' of view fencing, tubular steel or post & rail, permitting views to and from the park.
- ❖ Lighting at the perimeter must be directed away from the Preserve/OVRP by placing light fixtures in appropriate locations and shielding lamps.

1. MSCP Interface Slopes

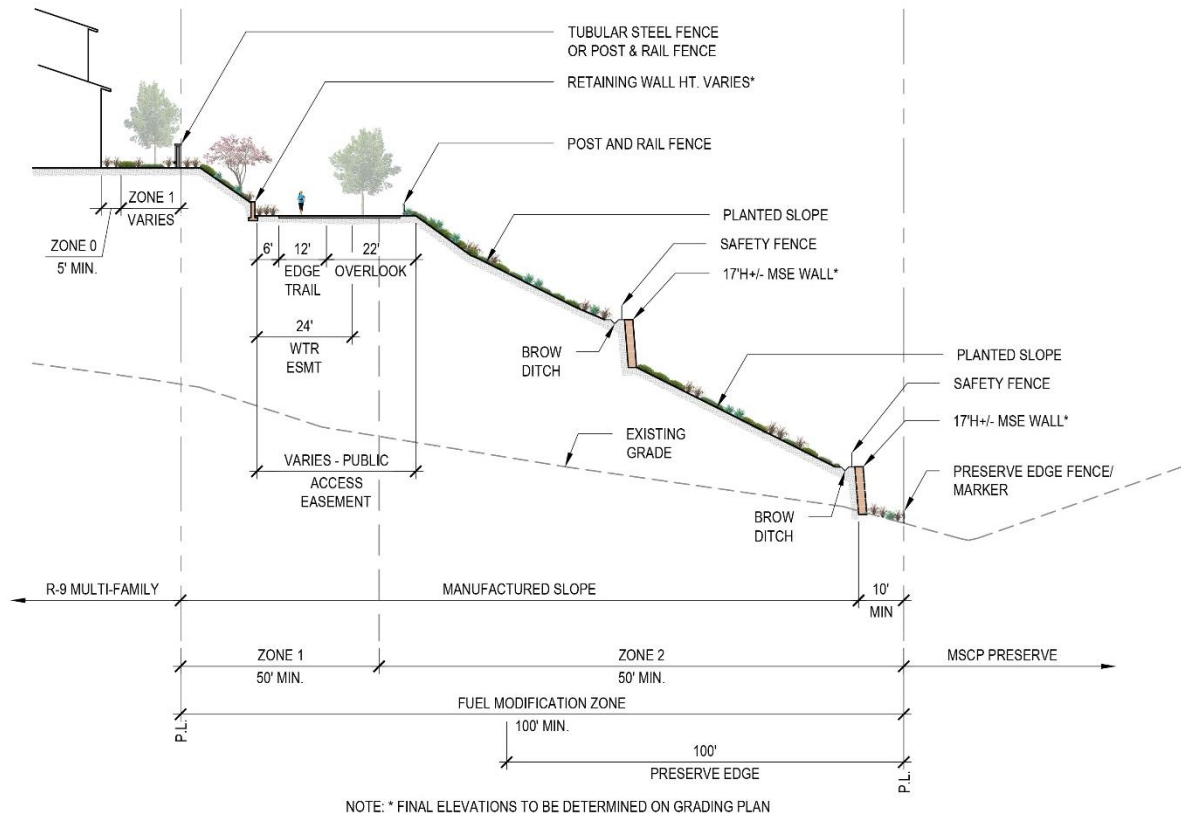
Consistent with the Chula Vista MSCP Subarea Plan, OVRP Design Standards Guidelines (Section 5, Private Development Guidelines) and Preserve Edge Plan, a 100-foot Brush Management Zone (BMZ) / 100-foot Preserve Edge is provided within the development area, outside of the Preserve. The 100-foot BMZ and Preserve Edge overlap in certain portions adjacent to the MSCP Preserve. The BMZ is divided into two zones with a minimum dimension of 50' within each zone. The BMZ is measured from the closest structure outward, with BMZ 1 located adjacent to development and BMZ 2 extending to the MSCP boundary. The 100-foot BMZ is implemented adjacent to residential development parcels R-9 and R-10 and the CPF-1 site, while a 30' BMZ (Zone 2) is implemented at the perimeter of the P-2 Community Park.

The 100' Preserve Edge is measured from the MSCP Boundary toward the development area and is not applicable to the P-2 Community Park, per the City of Chula Vista MSCP Plan and Otay Ranch Resource Management Plan.

Consistent with the Chula Vista MSCP, BMZ Zone 1 will be permanently irrigated and planted with native-compatible plant species. Temporary irrigation may be utilized in BMZ Zone 2 during the plant establishment period, subject to approval of the Director of Development Services or Designee. The "Approved Plant List" is provided in Attachment "A" to this document and is subject to the requirements of the Fire Protection Plan and Addendum and the approval of the Director of Development Services. MSCP Interface Slope Concepts are presented in Exhibits 4 to 7 below.

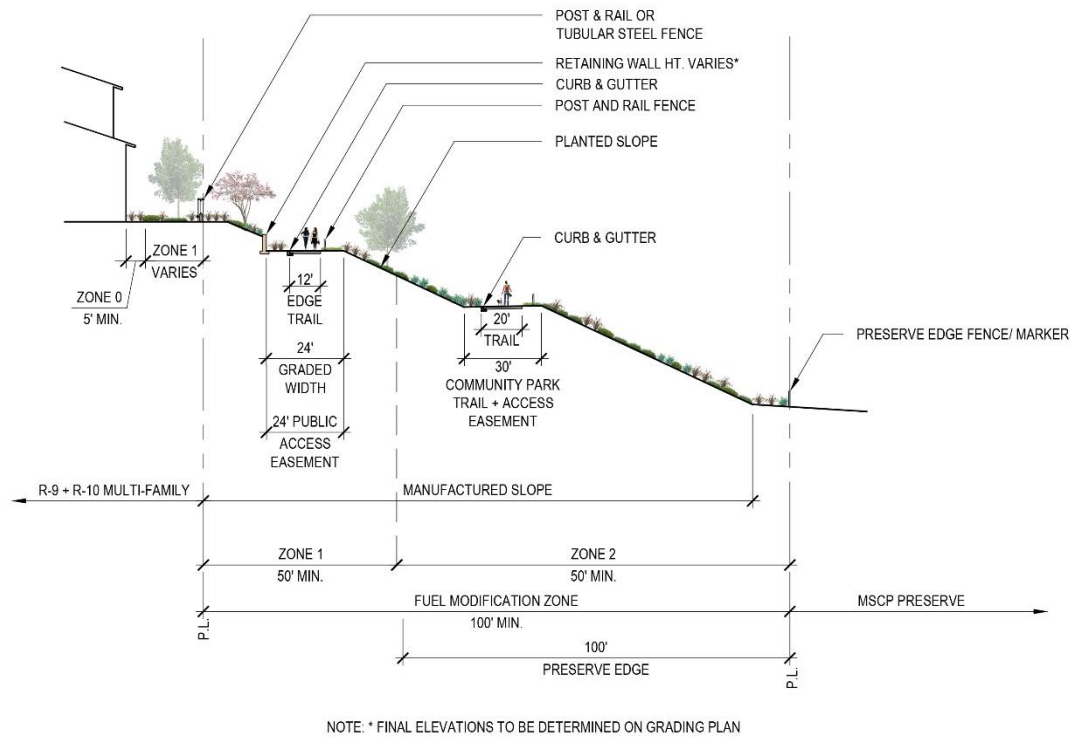
Brush Management Zone Planting Requirements:

Individual trees may be planted in BMZ Zone 1 at an average rate of no less than one tree per 200 lineal feet, no closer than 15 feet from a property line or top of slope (whichever is further) and a minimum of 30 feet between mature canopies. Trees are not permitted within BMZ Zone 2. Planting and irrigation requirements are provided in the Fire Protection Plan and Addendum and Preserve Edge Plan. Slopes adjacent to the MSCP Preserve must be planted with native species and are subject to the Preserve Edge Plan and the "Approved Plant List" provided in Attachment "A" to this document. The primary plant palette for the BMZ includes cacti, shrubs, ground cover and a hydroseed application, compatible with the adjacent natural open space area.



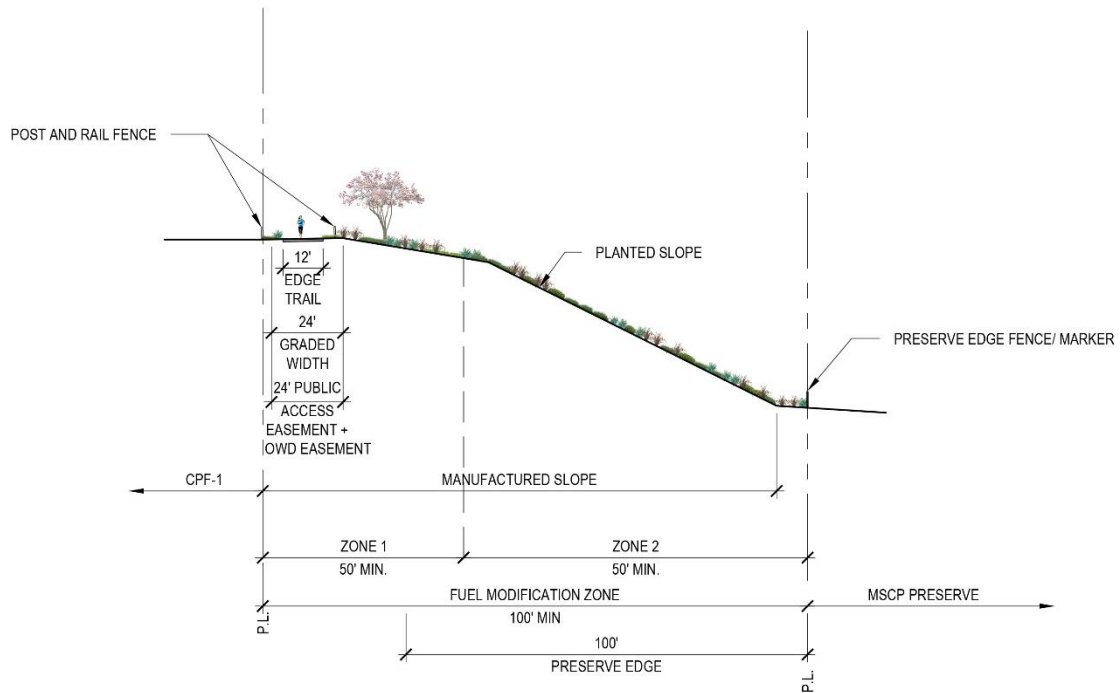
Note: Retaining wall location, height and setback are conceptual, subject to final engineering design.

Exhibit 4: MSCP Interface Slope Concept at R-9 Multi-Family



Note: Retaining wall location, height and setback are conceptual, subject to final engineering design.

Exhibit 5: MSCP Interface Slope Concept at R-9 and R-10 Multi-Family

**Exhibit 6: MSCP Interface Slope Concept at CPF-1**

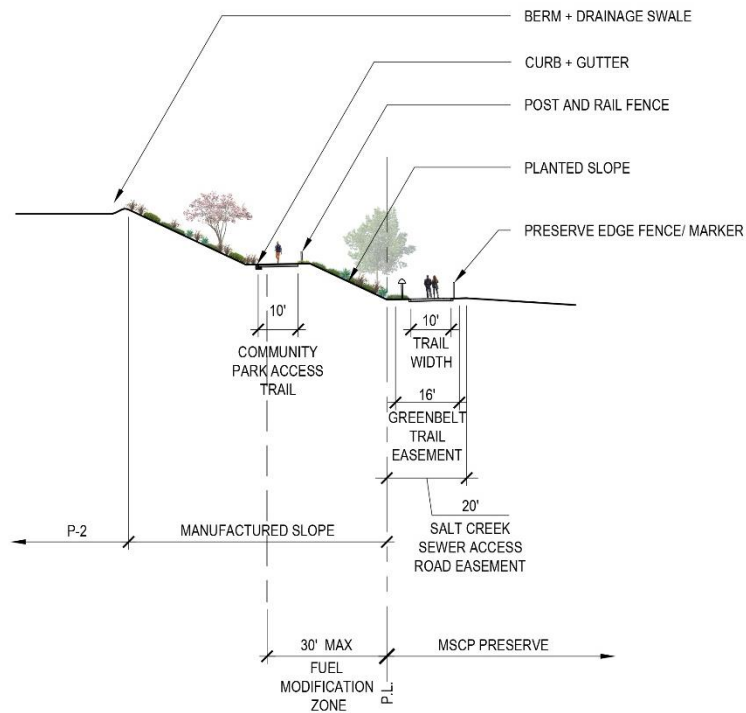


Exhibit 7: MSCP Interface Concept at P-2 Community Park

Plant Palette (MSCP Interface Slopes):

Botanical Name	Common Name
Trees	
<i>Cercis occidentalis</i>	Western Redbud
<i>Heteromeles arbutifolia</i>	Toyon
<i>Parkinsonia</i> x 'Desert Museum'	Desert Museum Palo Verde
<i>Platanus racemosa</i>	California Sycamore
<i>Prosopis chilensis</i>	Chilean Mesquite
<i>Prunus ilicifolia</i> 'ilicifolia'	Hollyleaf Cherry
<i>Quercus agrifolia</i>	Coast Live Oak
<i>Quercus engelmannii</i>	Englemann Oak
<i>Rhus lancea</i>	African Sumac
Shrubs, Cacti & Ground Covers	
<i>Agave attenuata</i>	Foxtail Agave
<i>Atriplex semibacatta</i>	Berry Saltbush
<i>Baccharis pilularis</i> 'Pigeon Point'	Dwarf Coyote Brush

Botanical Name	Common Name
Cotoneaster dammeri 'Lowfast'	Bearberry Cotoneaster
Encelia californica	California Encelia
Encelia farinosa	Brittlebrush
Epilobium californicum	California Fuschia
Epilobium canum	California Fuschia
Galvezia speciosa 'Fire Cracker'	Bush Snapdragon
Heteromeles arbutifolia	Toyon
Isomeris arborea	Bladder Pod
Isocoma menziesii 'Manziesii'	Coast Goldenbush
Ivy hayesiana	San Diego Marsh Elder
Limonium perezii	Statice
Myoporum parvifolium 'Putah Creek'	Creeping Myoporum
Nassella pulchra	Purple Needle Grass
Opuntia littoralis	Coastal Prickly Pear Cactus
Opuntia oricola	No Common Name
Phyla nodiflora	Kurapia
Rhamnus crocea	Redberry
Rhus integrifolia	Lemonade Berry
Rhus ovata	Sugarbush
Salvia apiana	White Sage
Simmondsia chinensis	Jojoba
Trichostema lanatum	Woolly Blue Curls
Viguiera laciniata	San Diego Sunflower
Yucca schidigera	Mojave Yucca
Yucca whipplei	Our Lord's Candle

Hydroseed Application

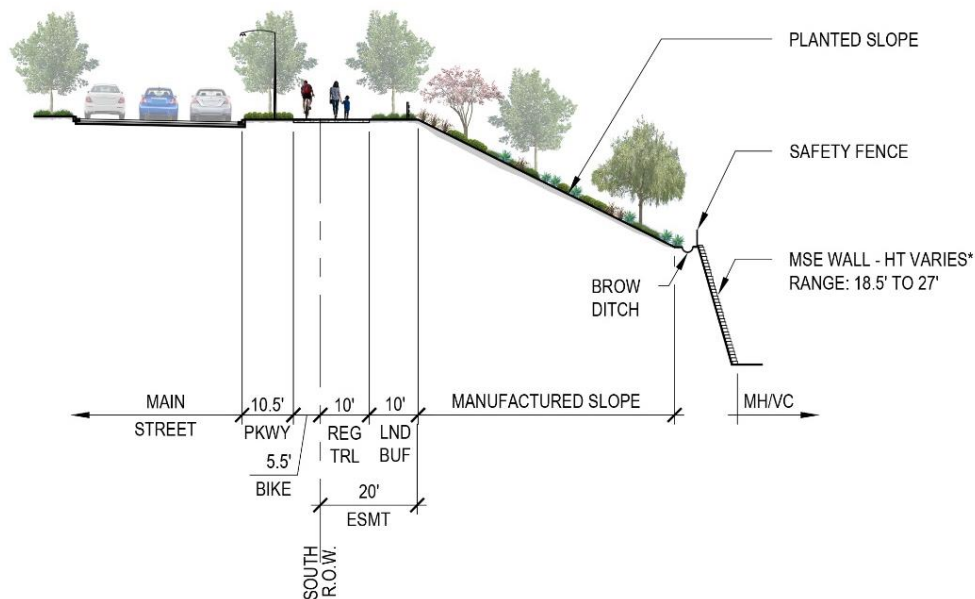
Acmispon americanus	Purshing's lotus
Acmispon heermannii	Heerman's lotus
Corethrogyne filaginifolia	Sand Aster
Cryptantha intermedia	Common cryptantha
Encelia farinosa	California Encelia
Ericameria palmeri	Palmer's goldenbush
Eriophyllum confertiflorum	Golden Yarrow
Eschscholzia californica	Coastal California Poppy
Galium angustifolium	Narrow leaved bedstraw
Hazardia squarrosa	Sawtooth goldenbush
Helianthemum scoparium	Sun Rose
Hemizonia fasciculata	Common Tarplant
Isocoma menziesii	Menzies' goldenbush
Iva hayesiana	San Diego Marsh Elder
Lasthenia californica	Dwarf goldfields
Lasthenia gracilis	California Goldfields

Botanical Name	Common Name
Lupinus bicolor	Miniature Lupine
Lupinus excubitus	Grape soda lupine
Sisyrinchium bellum	Blue Eyed Grass
Viguiera laciniata	San Diego Sunflower

2. Internal Slopes

La Palmita Drive at Main Street

The slopes along La Palmita Drive at Main Street follow the grades within Village 8 East as they drop from north to south. At the northern edge, the top of the slope is at grade with Main Street and the slope design is integral to the Village Entry. The landscape concept within this corridor will incorporate the thematic Olive Tree from Village 8 West as it transitions into the community. **See Exhibit 8: Internal Slopes at La Palmita Drive and Main Street** for additional details. The plant palette for internal slopes is provided below. Varied-height trees, shrubs, and groundcovers will be utilized to undulate the surface of slopes and create dimension, variation and interest.



Note: Regional Trail/sidewalk and cycle track may meander in both north and south right-of-way and landscape buffer. Final alignment to be determined during final engineering.

Exhibit 8: Internal Slopes at Main Street and Palmita Drive

La Media Parkway at La Palmita Drive

The internal slopes within this corridor extend down from the residential development parcels north of La Media Parkway. The landscape concept will be a continuation of the landscape palette within Village 8 West. More ornamental shrubs, trees planted in a grove pattern and stone retaining walls will be utilized at the La Palmita Drive intersection to create a sense of arrival and entry and the Secondary Village Entry.

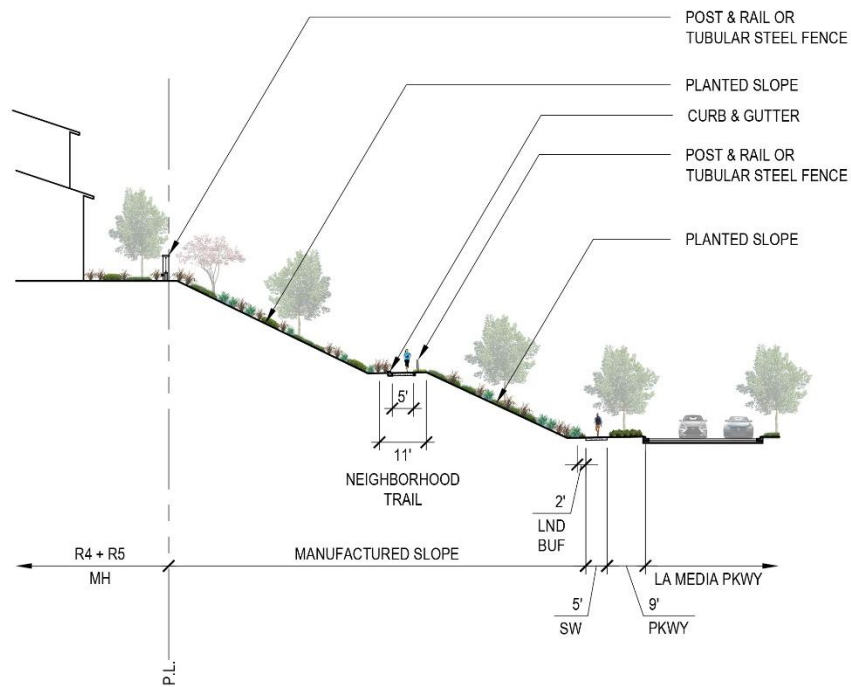


Exhibit 9: Internal Slopes at La Media Parkway and Palmita Drive

Plant Palette (Internal Slopes):

Botanical Name	Common Name
Trees	
Arbutus 'Marina'	Marina Strawberry Tree
Geijera parviflora	Australian Willow
Lophostemon confertus	Brisbane Box
Metrosideros excelsa	New Zealand Christmas Tree
Parkinsonia x 'Desert Museum'	Desert Museum Palo Verde
Platanus racemosa	California Sycamore
Prosopis chilensis	Chilean Mesquite
Prunus ilicifolia 'ilicifolia'	Hollyleaf Cherry
Quercus agrifolia	Coast Live Oak
Rhus lancea	African Sumac
Shrubs, Ornamental Grasses & Ground Covers	
Agave attenuata	Foxtail Agave
Aloe species	Aloe
Atriplex semibacatta	Berry Saltbush
Baccharis pilularis 'Pigeon Point'	Dwarf Coyote Brush
Bougainvillea 'Oo-La-La'	Prostrate Bougainvillea
Carissa macrocarpa 'Green Carpet'	Prostrate Natal Plum
Ceanothus cultivars	Ceanothus
Cistus species	Rockrose
Cotoneaster dammeri 'Lowfast'	Bearberry Cotoneaster
Echium fastuosum	Pride of Maderia
Encelia californica	California Encelia
Heteromeles arbutifolia	Toyon
Lantana 'Spreading Yellow'	Yellow Lantana
Leymus condensatus 'Canyon Prince'	Canyon Prince Wild Rye
Limonium perezii	Seafoam Statice
Myoporum parvifolium 'Putah Creek'	Creeping Myoporum
Nassella pulchra	Purple Needle Grass
Phormium species	New Zealand Flax
Phyla nodiflora	Kurapia
Portulcaria afra 'Minima'	Elephant's Mat
Rhus integrifolia	Lemonade Berry
Rhus ovata	Sugarbush
Rosmarinus officinalis 'Huntington Carpet'	Prostrate Rosemary
Salvia apiana	White Sage
Simmondsia chinensis	Jojoba
Trachelospermum jasminoides	Star Jasmine
Hydroseed Application	
Baileya multiradiata	Desert Marigold

Botanical Name	Common Name
Camissonia cheiranthifolia	Beach Evening Primrose
Encelia farinosa	Brittlebrush
Eriophyllum confertiflorum	Golden Yarrow
Eschscholzia californica	California Poppy
Gaillardia pulchella	Indian Blanket
Gazania splendens	Gazania Splendens
Lasthenia californica	Dwarf goldfields
Limonium californicum	Coastal Statice
Linaria maroccana	Toad Flax
Lobularia maritima	Sweet Alyssum
Lupinus excubitus	Grape Soda lupine
Verbena tenuisecta	Moss Verbena
Viguiera laciniata	San Diego Sunflower

III. Community and Village Monument Concept

Entry landscape, features and monument signs identify the village and contribute to the establishment of the village design theme. A hierarchy of entries has been established to help direct visitors to community, village and neighborhood areas of the village. Community entry features include community monuments within the eastern portion of the Main Street and La Media Parkway medians and at the western entry plaza at the Multi-Modal Bridge. Unifying design elements will be utilized at the Main Street / La Palmita Drive intersection consistent with the established Village 8 West gateway entry theme at the La Media Parkway couplet. A complementary entry feature is planned at the intersection of La Media Parkway and La Palmita Drive. The conceptual locations are provided in **Exhibit 10: Conceptual Community and Village Monument Location Plan.**



A. Community Entry Monuments

Cota Vera community entry monuments are planned within the medians along Main Street and La Media Parkway west of the SR-125 interchange. This monument announces entry into the larger Cota Vera Community (Villages 8 West and East) and features a curved wall with the “Cota Vera” identification on the north side of the wall. Enhanced shrub planting and columnar planting frame the entry wall. The monument is flanked by trees and shrubs.

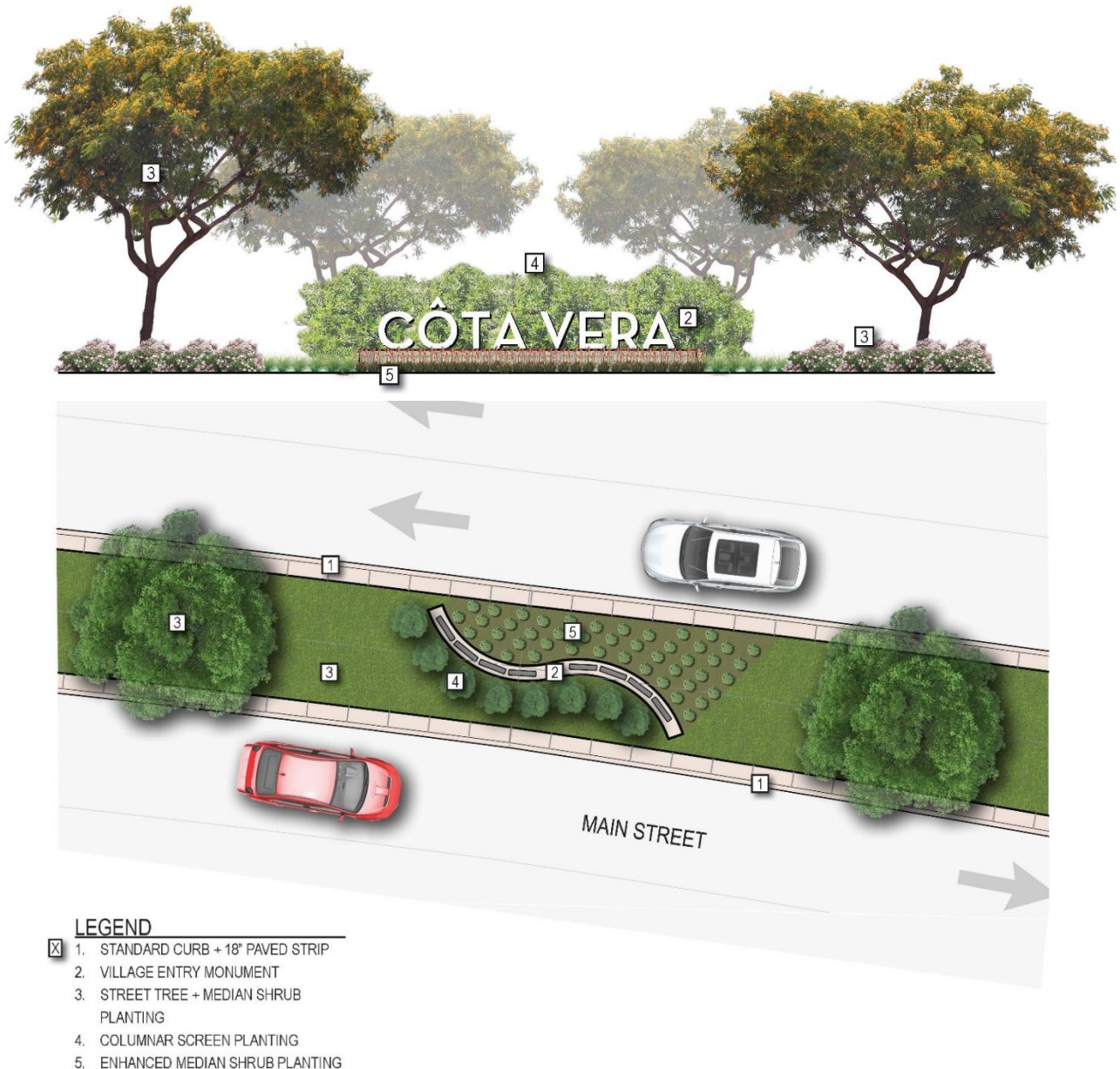


Exhibit 11: Conceptual Community Entry Monument

B. Village Entry – North Grove (Main Street)

The North Grove Village Entry at Main Street and La Palmita Drive comprised of a grove of olive trees and stone veneer retaining walls and pilasters marks the northern gateway into the community. This entry frames the south portion of the intersection and brings residents and visitors into the community through the heart of the Village Core. A variety of plant species representative of the agrarian landscape theme will be used to complement the European-inspired architectural theme of Village 8.



LEGEND

- ☒ 1. VILLAGE PATHWAY
- 2. SIDEWALK
- 3. ENHANCED CROSSWALK
- 4. BIKE PATH / LANE
- 5. ENTRY WALL WITH STONE VENEER & GROVE TREE PLANTING
- 6. ENTRY PILASTER WITH STONE VENEER
- 7. REGIONAL TRAIL
- 8. BUS TURNOUT / EMERGENCY PARKING
- 9. MSE WALL

Exhibit 12: Village Entry Concept Plan (North Grove)

C. Secondary Village Entry – South Grove (La Media Parkway)

The Secondary Village Entry at La Media Parkway and La Palmita Drive is comprised of a grove of olive trees and a series of stone veneer retaining walls and pilasters marking the southern gateway into the community. This entry frames the north portion of the intersection and brings residents and visitors into the community through the heart of the Village Core. A variety of plant species representative of the agrarian landscape theme will be used to complement the European-inspired architectural theme of Village 8.

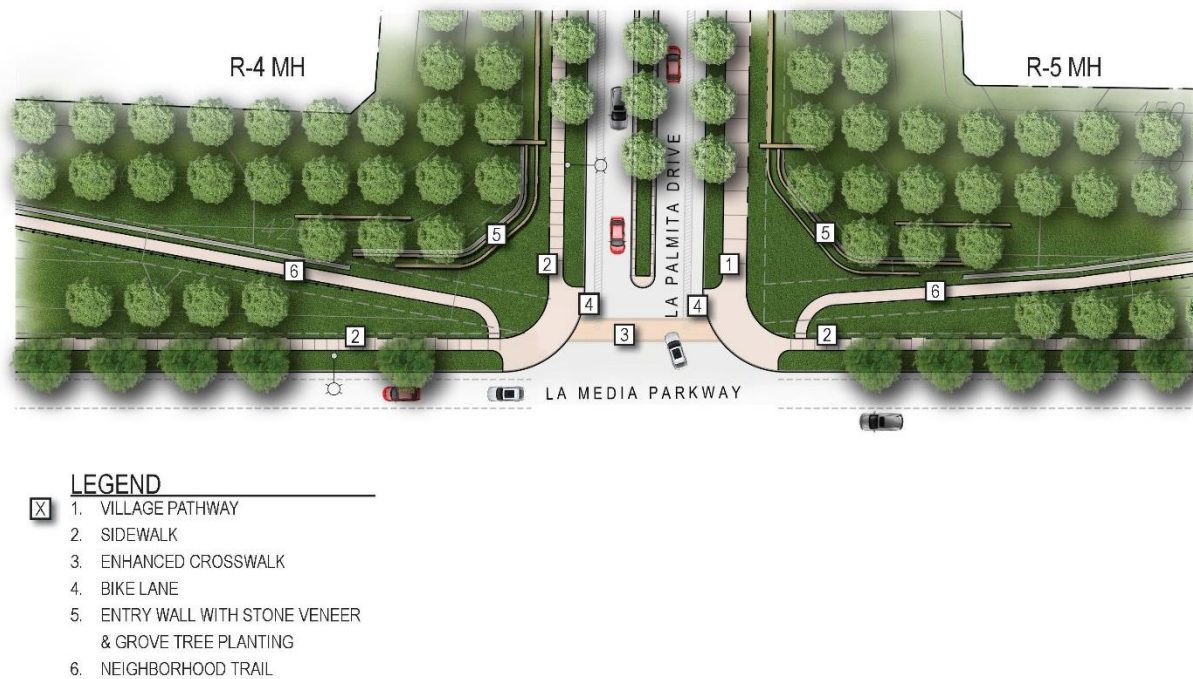


Exhibit 13: Secondary Village Entry Concept Plan (South Grove)

D. Village Entry – Multi-Modal Bridge

The future multi-modal bridge will accommodate pedestrian, bicycle and NEV travel connecting the Village 8 East Village Core to future Village 9. This entry concept would create whimsical entry elements located in a plaza at the western end of the bridge. The plaza planned on the east side of the intersection of Savoria Parkway and Via Palermo will create a “landing” and gathering space and direct users to the signalized Via Palermo crossings. The conceptual design for the entry element may feature bright colors and patterns, lighting and the “Cota Vera” village identification. A “green” wall is planned as the backdrop to the village entry identification signage.

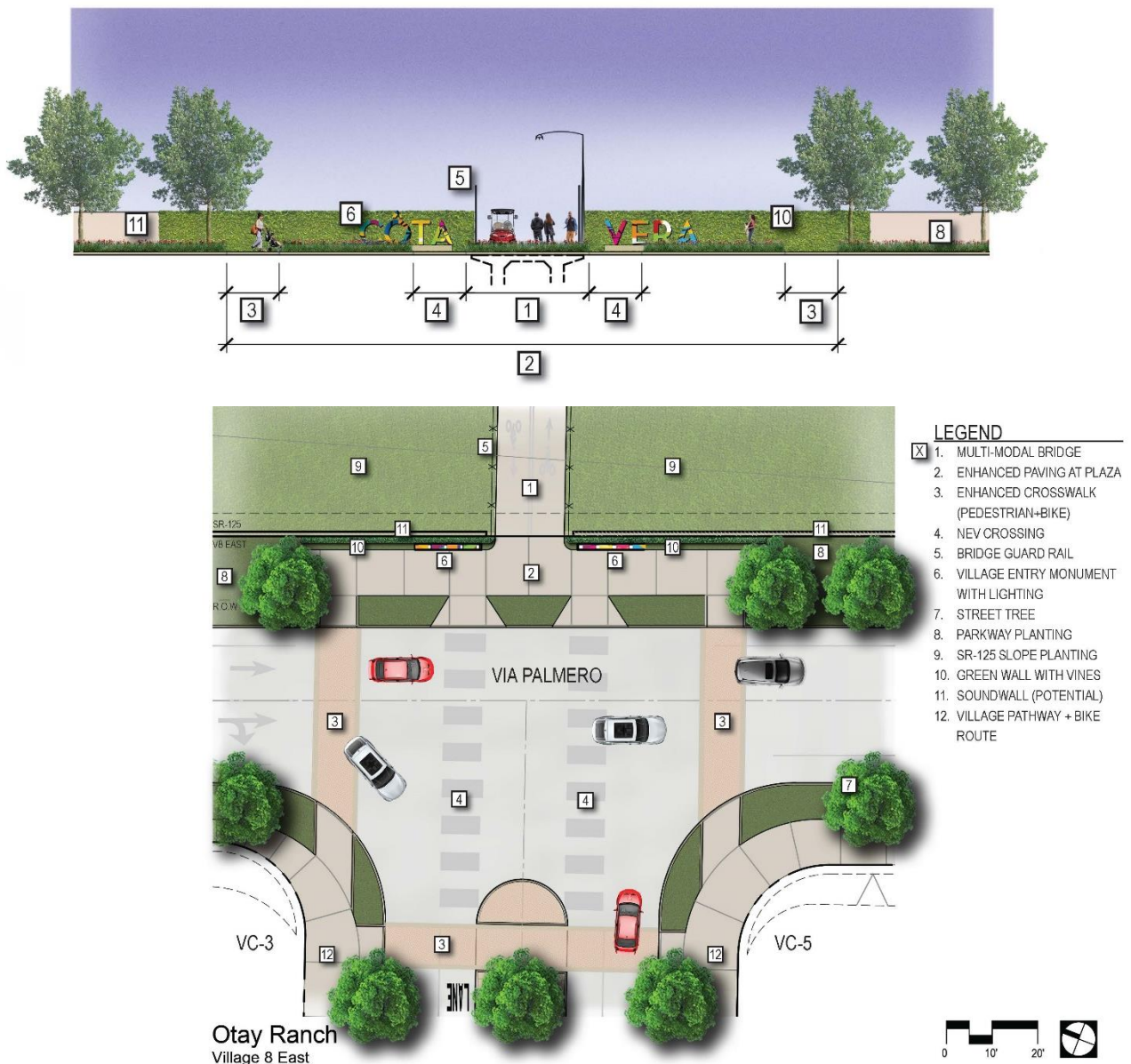


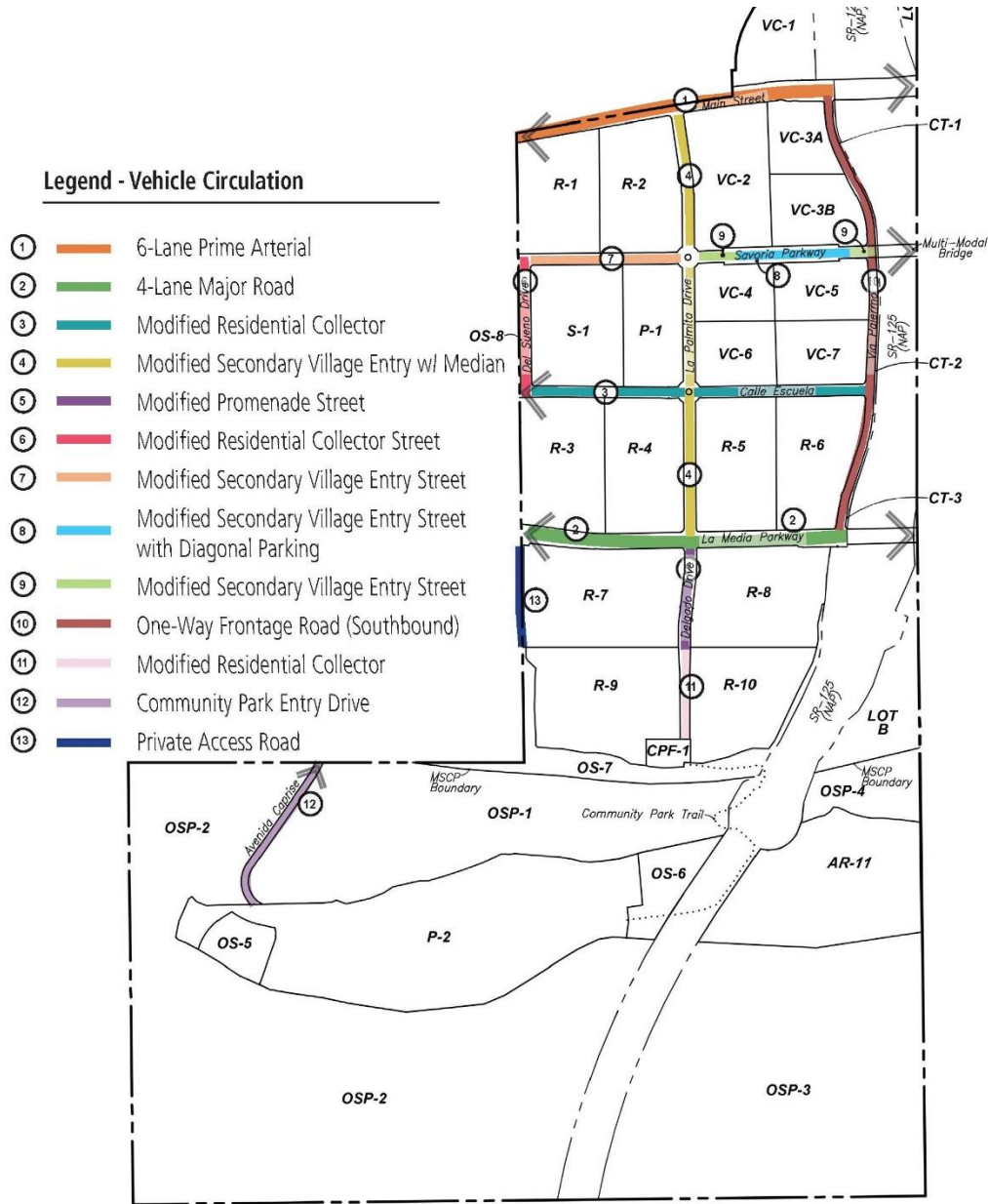
Exhibit 14: Village Entry Concept Plan (Multi-Modal Bridge)

Plant Palette (Village Entry):

Botanical Name	Common Name
Trees	
Arbutus 'Marina'	Marina Strawberry Tree
Lagerstroemia indica 'Natchez'	Natchez Crape Myrtle
Lagerstroemia indica 'Tuscarora'	Tuscarora Crape Myrtle
Magnolia grandiflora	Magnolia
Olea europea 'Willsonii'	Fruitless Olive
Pyrus calleryana 'Aristocrat'	Aristocrat Pear
Quercus agrifolia	Coast Live Oak
Quercus ilex	Holly Oak
Tipuana tipu	Tipu Tree
Ulmus parvifolia 'Drake'	Drake Evergreen Elm
Shrubs, Ornamental Grasses & Ground Covers	
Carissa macrocarpa 'Green Carpet'	Prostrate Natal Plum
Dianella species	Flax Lily
Lantana 'Spreading Yellow'	Yellow Lantana
Leymus condensatus 'Canyon Prince'	Canyon Prince Wild Rye
Festuca 'Marathon II'	Dwarf Tall Fescue
Phyla nodiflora	Kurapia
Senecio mandraliscae	Blue Chalksticks

IV. Streetscape Design Concept

Streetscapes are an important component in creating the village design theme. Streetscapes identify the edges of Village 8 East and major points of entry and serve as the unifying design theme. The streetscapes for the surrounding major streets will adhere to the Otay Ranch “ranch theme” landscape and must comply with the City Landscape Water Conservation Ordinance and Shade Tree Policy. Within the village, the design of the streetscapes will emphasize the village pedestrian-oriented concept by providing tree-shaded walkways, lighting, and shortened or enhanced crosswalks. The Conceptual Vehicular Circulation Plan shows the surrounding and internal street designations for the village. A description of each street classification and cross sections are provided to illustrate the conceptual street landscape plan. A comprehensive plant palette has been established for all streets within the SPA Plan area. In addition, a Street Tree Master Plan was prepared that connects Village 8 West and Village 8 East through a complementary street tree program. The conceptual design of proposed traffic calming measures is also provided.

**Exhibit 15: Conceptual Vehicular Circulation Plan**

TREE LEGEND

SYMBOL BOTANICAL NAME

COMMON NAME

	<i>Lagerstromia indica</i> 'Natchez'	Natchez Crape Myrtle
	<i>Magnolia grandiflora</i> 'Variety'	Magnolia
	<i>Olea europea</i>	Olive
	<i>Platanus acerifolia</i> 'Columbia'	London Plane Tree
	<i>Pyrus calleryana</i> 'Aristocrat'	Callery Pear
	<i>Quercus Ilex</i>	Holly Oak
	<i>Tipuana tipu</i>	Tipu Tree
	<i>Ulmus parvifolia</i> 'Drake'	Drake Elm

**Exhibit 16: Conceptual Street Tree Master Plan**

A landscape palette comprised of trees, shrubs, ornamental grasses, turf and ground cover has been prepared for the streetscape. This palette will be utilized across all of the streets described below.

Plant Palette (Streetscape):

Botanical Name	Common Name
Trees	
Arbutus 'Marina'	Marina Strawberry Tree
Lagerstroemia indica 'Natchez'	Natchez Crape Myrtle
Lagerstroemia indica 'Tuscarora'	Tuscarora Crape Myrtle
Magnolia grandiflora	Magnolia
Olea europea 'Willsonii'	Fruitless Olive
Pyrus calleryana 'Aristocrat'	Aristocrat Pear
Quercus agrifolia	Coast Live Oak
Quercus ilex	Holly Oak
Tipuana tipu	Tipu Tree
Ulmus parvifolia 'Drake'	Drake Evergreen Elm
Turf	
Festuca Aquawise Sportsclub Mix (from seed)	Dwarf Tall Fescue (sod)
Cynodon dactylon 'Bandera'	Bandera Bermuda Turf
Paspalum vaginatum 'Seashore'	Aloha Seashore Paspalum
Shrubs, Ornamental Grasses & Ground Covers	
Carissa macrocarpa 'Boxwood Beauty'	Thornless Natal Plum
Dianella species	Flax Lily
Lantana 'Spreading Yellow'	Yellow Lantana
Leymus condensatus 'Canyon Prince'	Canyon Prince Wild Rye
Festuca 'Marathon II'	Dwarf Tall Fescue
Phyla nodiflora	Kurapia
Senecio mandraliscae	Blue Chalksticks

Thematic Street Trees:



Marina Arbutus



Natchez Crape Myrtle



Holly Oak

A. Six-Lane Prime Arterial - Main Street

The Main Street landscape design will be compatible with the established Otay Ranch design themes for arterial streets and the City's Water Conservation Ordinance. The thematic street trees will be planted in the parkways and medians in consistently spaced rows. Community Entry monumentation and enhanced landscaping is also planned within the median west of SR-125.

Thematic Street Tree:



Tuscarora Crape Myrtle

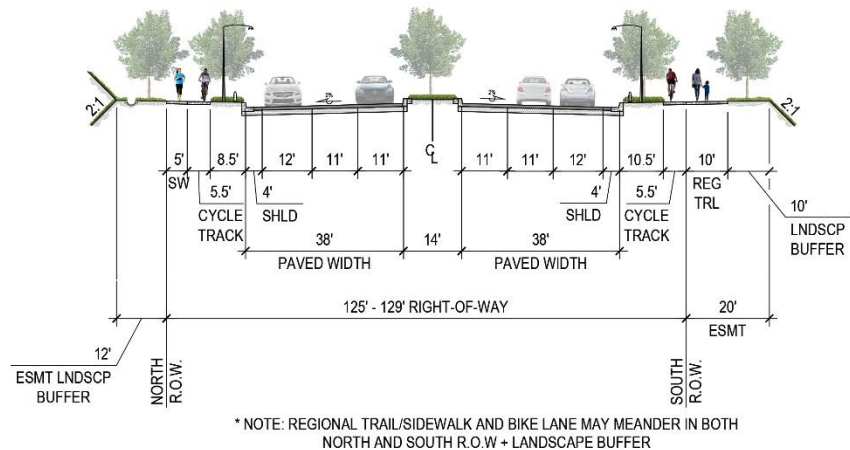


Exhibit 17: Six Lane Prime Arterial

Not to Scale

Main Street

B. Four-Lane Major Road – La Media Parkway

La Media Parkway is a four-lane major road that connects Village 8 West, Village 8 East and future Village 9. La Media Parkway includes an expanded 17-foot-wide Chula Vista Regional Trail, designed to provide a two-way NEV / cycle track and a separate pedestrian walkway on the south side. The thematic street trees will be planted in the parkways and medians in consistently spaced rows. Community Entry monumentation and enhanced landscaping is also planned within the median west of SR-125.

Thematic Street Tree:



Tipu Tree

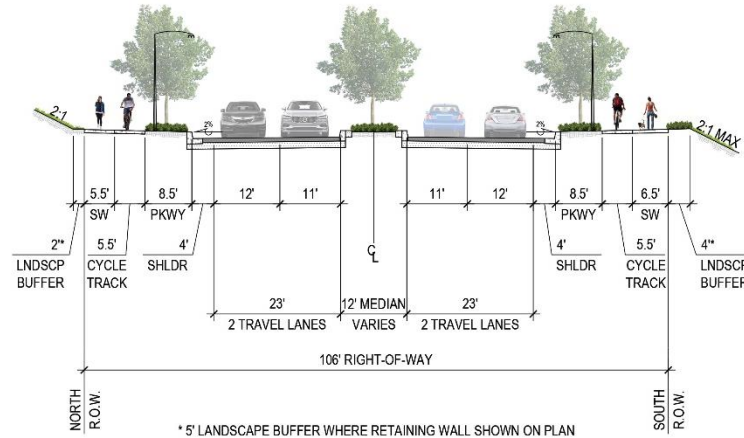
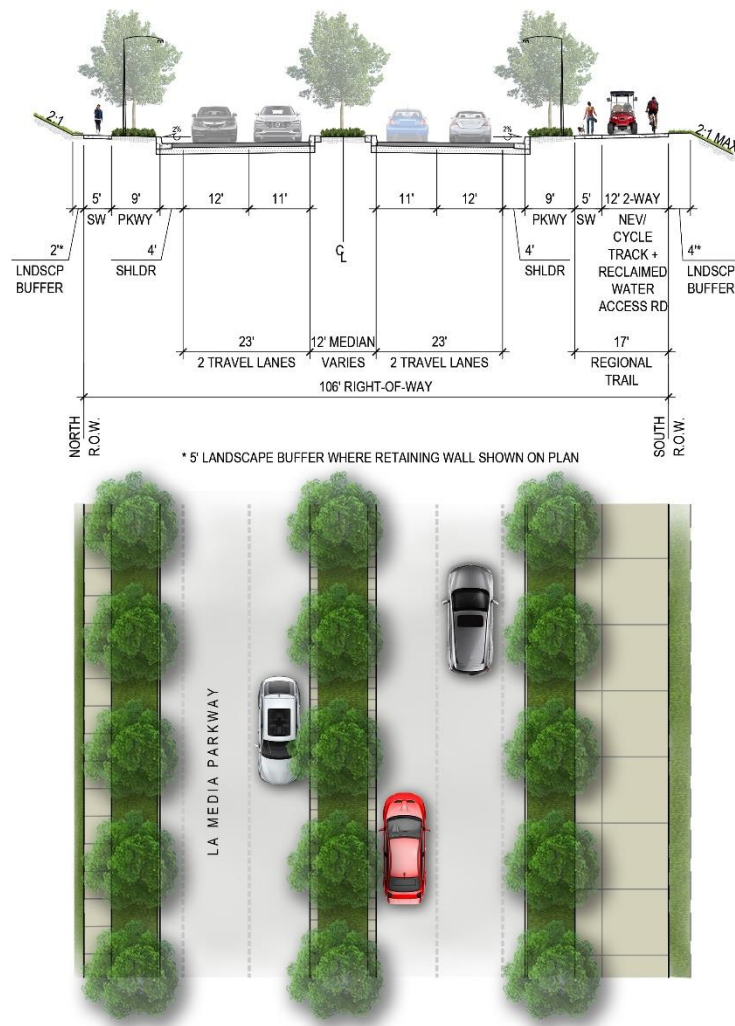


Exhibit 18: Four Lane Major Road

Not to Scale

La Media Parkway – Westerly project boundary to La Palmita Drive

**Exhibit 18: Four Lane Major Road (continued)**

Not to Scale

La Media Parkway –La Palmita Drive to easterly project boundary

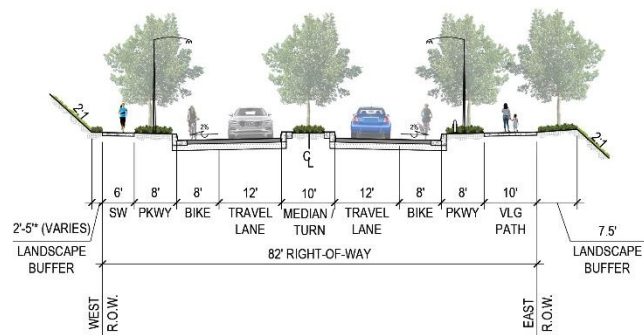
C. Modified Secondary Village Entry Street with Median - La Palmita Drive

La Palmita Drive is the primary north-south circulation street through Village 8 East. This street unifies the varied village land uses with a continuous village theme streetscape. The Village Pathway is the primary circulation route for pedestrian travel and provides a bicycle path separate from the roadway. The street design includes two travel lanes and Class 2 bike lanes. Trees will be planted in the parkways and medians in consistently spaced rows. The Village Pathway is located on the east side of the street and the Promenade Trail is on the west side.

Thematic Street Tree:



Callery Pear



*LANDSCAPE BUFFER VARIES DEPENDING ON SLOPE CONDITION

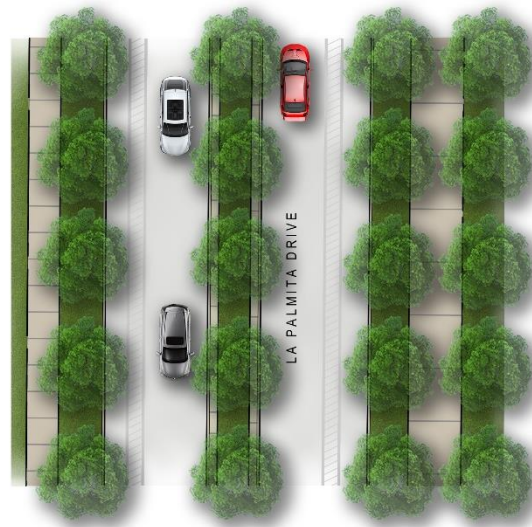


Exhibit 19: Modified Secondary Village Entry with Media

Not to Scale

La Palmita Drive

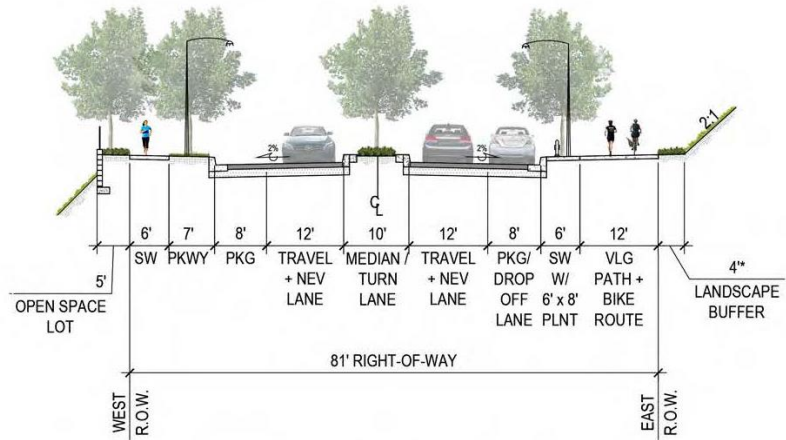
D. Modified Residential Collector - Del Sueño Drive

Del Sueño Drive is located along the western edge of the school site. This street features two travel lanes, a 10-foot median, the 12-foot-wide Village Pathway that accommodates a Class I Bike Lane and pedestrian access and parking / drop off lane. Trees will be planted in the parkways and medians in consistently spaced rows.

Thematic Street Tree:



Drake Elm



*5' MIN. LANDSCAPE BUFFER WHERE RETAINING WALL SHOWN ON PLANS



Exhibit 20: Modified Residential Collector

Not to Scale

Del Sueño Drive

E. Modified Secondary Village Entry Street -Savoria Parkway

Savoria Parkway is a key vehicular and east/west multi-modal link through the Village Core area that provides one of two connections to Via Palermo. Along the school and park, Savoria Parkway includes a 12-foot Village Pathway designed to accommodate an off-street Class I Bike Lane and pedestrians along the south side. The promenade trail is provided along the north side. Two travel lanes, parking/drop off-lane and a landscaped median and parkways are also planned. East of the roundabout, Savoria Parkway is expanded to provide for on-street NEV and vehicular, a 12-foot Village Pathway on both sides and head in parking. Trees will be planted in the parkways and medians in consistently spaced rows.

Thematic Street Tree:



Magnolia

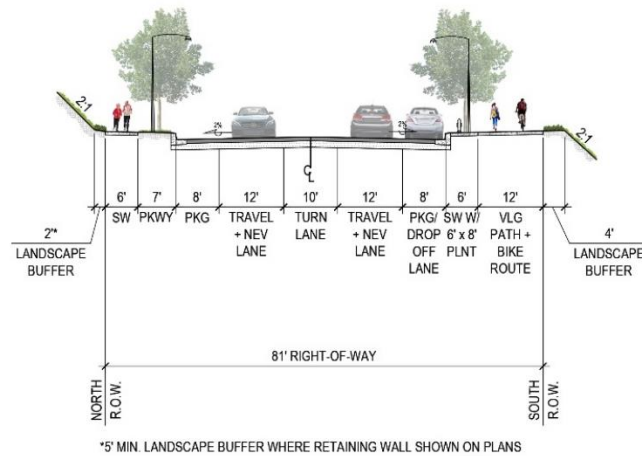
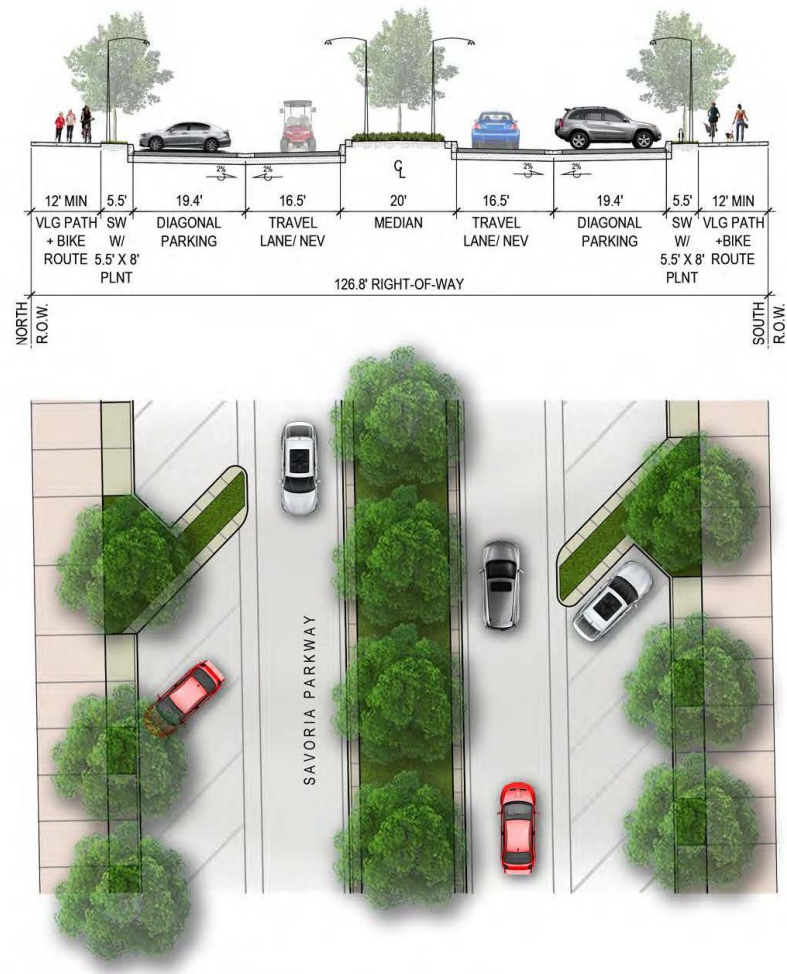


Exhibit 21: Modified Secondary Village Entry Street

Not to Scale

Savoria Parkway – west of La Palmita Drive

**Exhibit 16: Modified Secondary Village Entry Street (Continued)**

Not to Scale

Savoria Parkway – East of La Palmita Drive

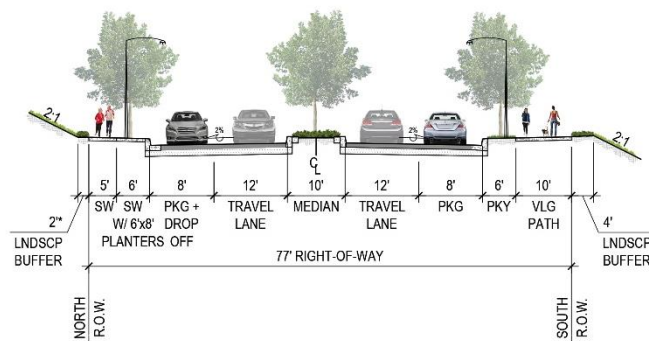
F. Modified Residential Collector - Calle Escuela

Calle Escuela is an east-west link from Village 8 West, through Village 8 East and providing one of two connections to Via Palmero, the SR-125 southbound frontage street. The Village Pathway provides an off-street pedestrian and bicycle connection adjacent to the elementary school and the neighborhood park. Parkway with tree planters and walkways extended to the curb are planned along the school and park site located adjacent to parking/drop off areas to facilitate pedestrian circulation. Parking is also permitted along the south side of Calle Escuela. Trees will be planted in the parkways and medians in consistently spaced rows.

Thematic Street Tree:



Natchez Crepe Myrtle



*5' MIN. LANDSCAPE BUFFER WHERE RETAINING WALL SHOWN ON PLAN

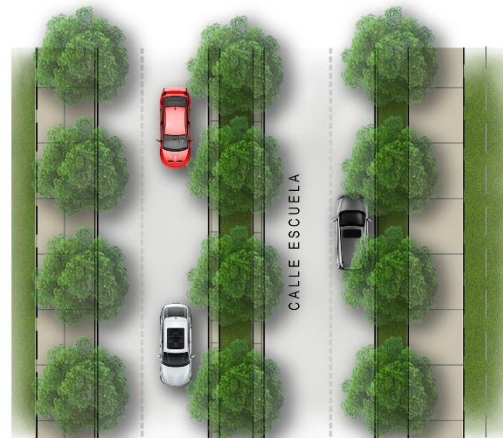


Exhibit 22: Modified Residential Collector

Not to Scale

Calle Escuela

G. Modified Promenade Street - Delgado Drive

Delgado Drive provides primary access to the residential neighborhoods located south of La Media Parkway. This two-lane roadway features a landscaped median and parkways, and the Village Pathway with parking provided on both sides of the street. The Promenade Trail is provided on the west side. Trees will be planted in the parkways in consistently spaced rows. The median is eliminated and the Promenade Trail transitions to a standard sidewalk south of Parcel R-7.

Thematic Street Tree:



Callery Pear

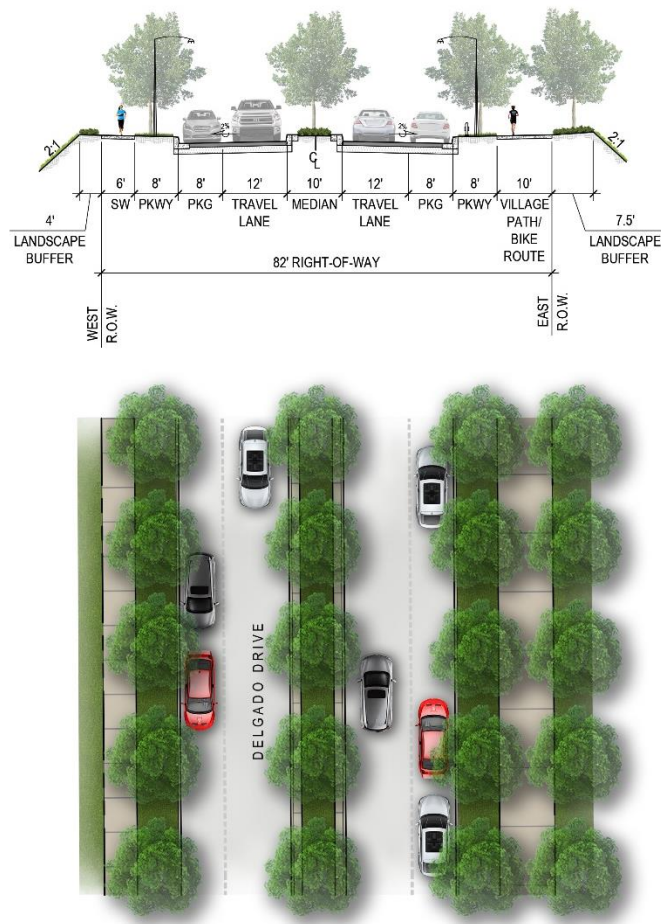
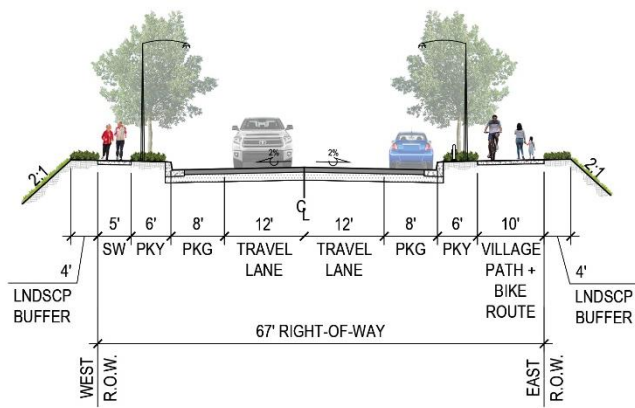


Exhibit 23: Modified Promenade Street

Not to Scale

Delgado Drive – La Media Parkway to R-7

**Exhibit 23: Modified Promenade Street (Continued)**

Not to Scale

Delgado Drive – R-7 to CPF-1

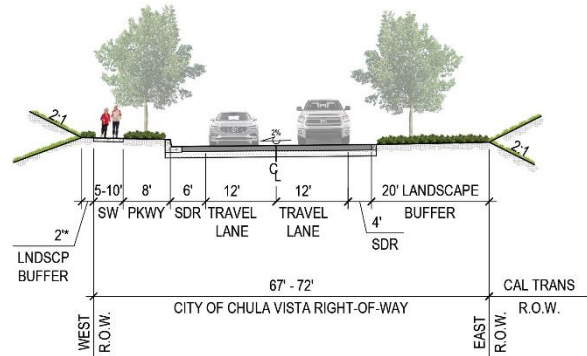
H. One-Way Frontage Road – Via Palermo

Via Palermo is a two-lane one-way frontage road providing southbound access to SR-125. Located along the eastern edge of Village 8 East, Via Palermo includes a 5/10-foot-wide Village Pathway/Sidewalk and a landscaped parkway on the west side. The eastern right-of-way includes a 20-foot-wide landscape buffer area designed to accommodate a plaza at the terminus of the multi-modal bridge, circulation and access for NEVs, bicycles and pedestrians and potential noise attenuation walls.

Thematic Street Tree:



Holly Oak



*5' MIN. LANDSCAPE BUFFER WHERE DOWN SLOPE OR RETAINING WALL SHOWN ON PLANS



Exhibit 24: One-Way Frontage Street (South Bound)

Not to Scale

Via Palermo

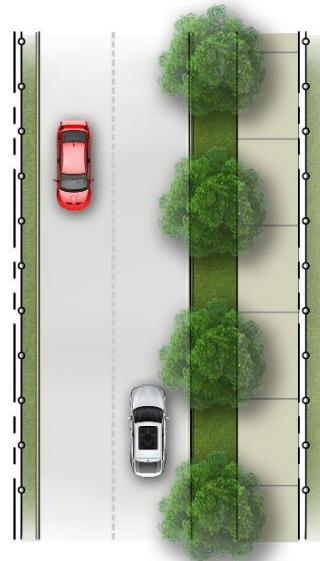
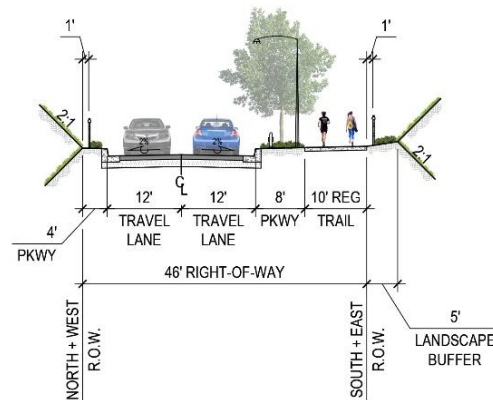
I. Community Park Entry Drive – Avenida Caprise

The Community Park Entry Drive provides a pedestrian and vehicular connection to the community park south of Village 8 East. The road features two travel lanes and the 10' Chula Vista Regional Trail on the east side of the road providing views of the Otay Valley. A landscaped parkway on one side of the street and narrowed travel lanes are designed to slow traffic and create a comfortable pedestrian experience along this road. Landscaping on slopes created along the Community Park Entry Drive must be landscaped with native species consistent with the Village 8 East Preserve Edge Plan and the Approved Plant List (Attachment A).

Thematic Street Tree:



Holly Oak



Note: The Community Park Entry Drive (Avenida Caprise) was included in the adopted Village 8 West SPA and Tentative Map as an off-site improvement. This illustrative representation is consistent with the Village 8 West approved design and is provided for reference only.

Exhibit 25: Community Park Entry Drive

Not to Scale

Village 8 West Avenida Caprise

J. Private Access Road

The proposed Private Access Road is planned along the western edge of Parcel R-7. The proposed private road provided secondary access to the residential development parcels south of La Media Parkway. This two-lane private road includes a landscaped parkway and the Edge Trail on the western side, providing an additional connection to the Regional Trail along the south side of La Media Parkway.

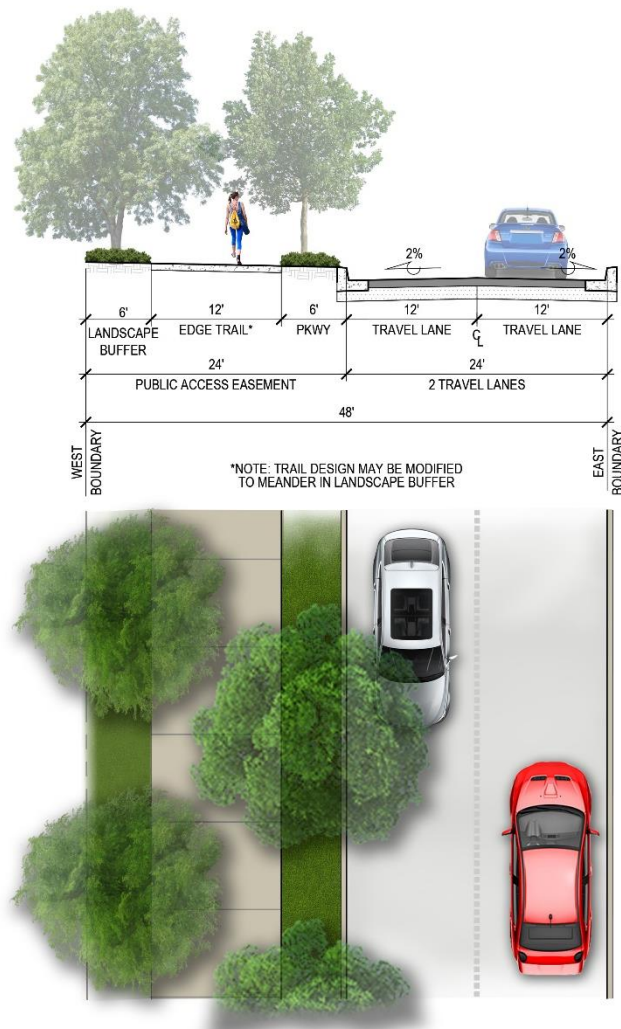


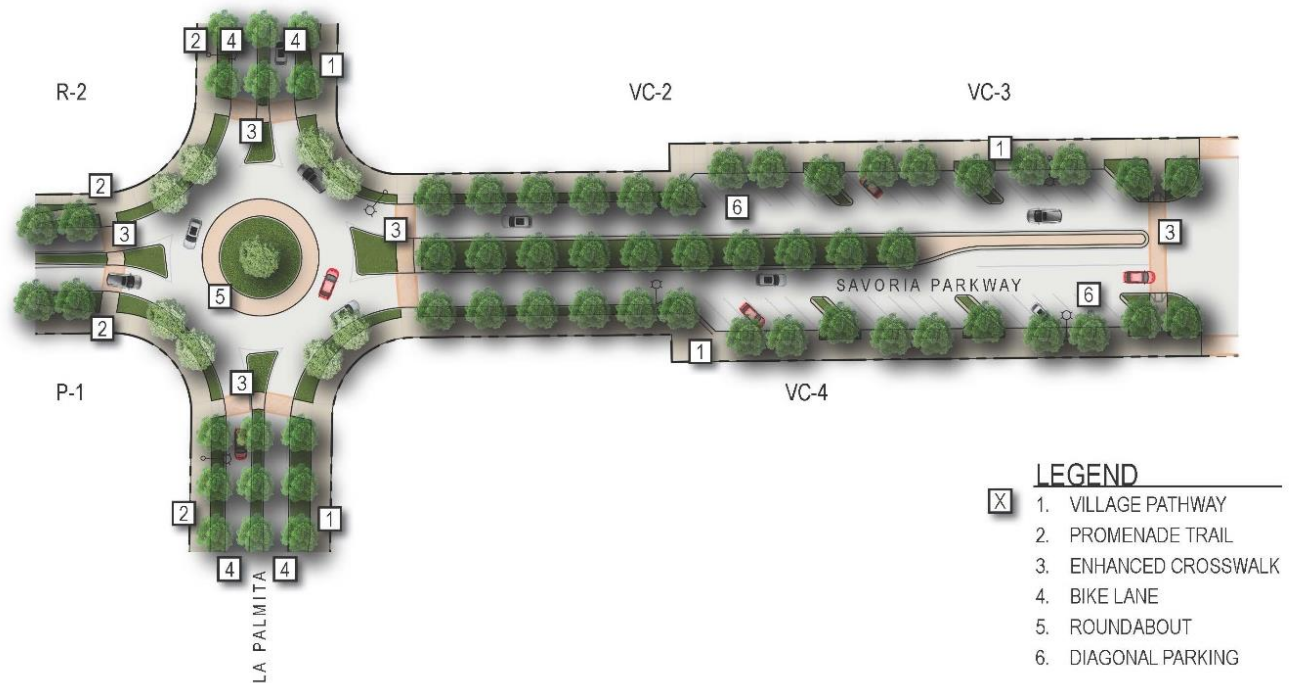
Exhibit 26: Private Access Road

Not to Scale

Western Edge of R-7 to La Media Parkway

K. Traffic Calming Measures

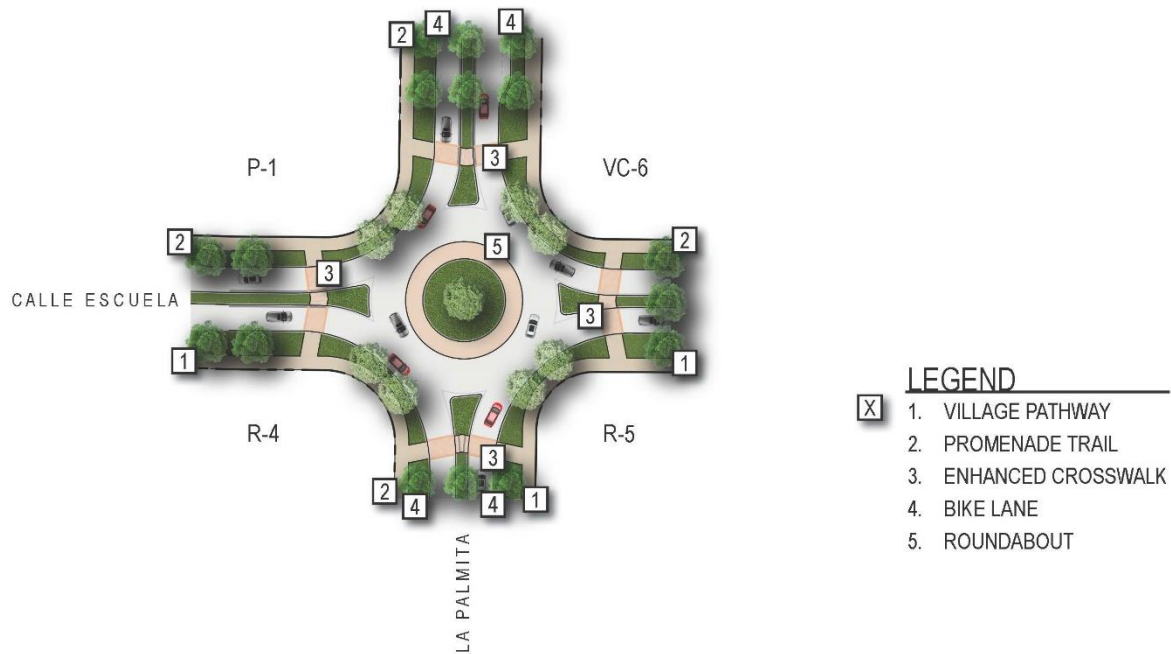
Traffic calming measures are planned along internal streets in Village 8 East. Roundabouts are planned at the intersections of La Palmita Drive and Savoria Parkway and La Palmita Drive and Calle Escuela. Roundabouts are designed to slow traffic through the roundabout but provide continuous movement through the roundabout. Roundabouts include a raised center landscaped island, special paving, splitter islands, accessible pedestrian crossings and pedestrian/bike refuge islands and ramps. The roundabout at Savoria Parkway creates a gateway into the Village Core. The conceptual roundabout designs are provided below.



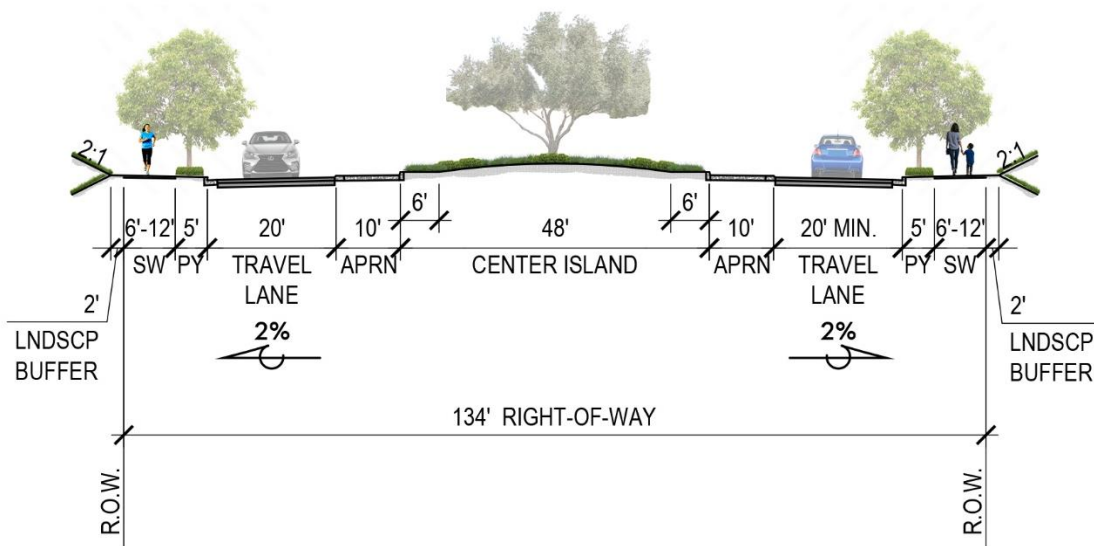
Roundabout at La Palmita Drive & Savoria Parkway

Exhibit 27: Conceptual Traffic Calming Measures

Not to Scale



Roundabout at La Palmita Drive & Calle Escuela



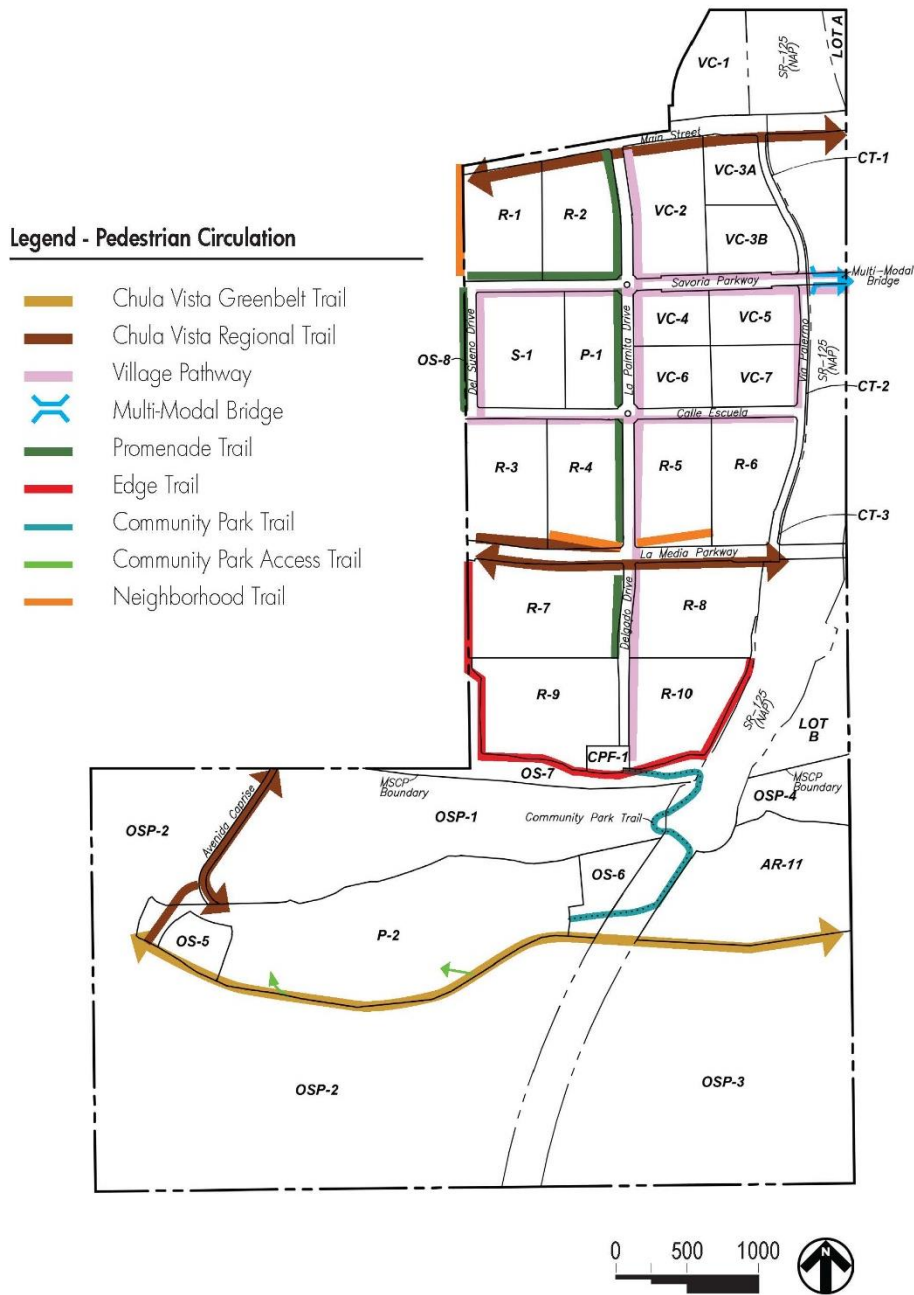
Typical Roundabout Cross Section

Exhibit 27: Conceptual Traffic Calming Measures (Continued)

Not to Scale

V. Conceptual Pedestrian Circulation Plan

A well-designed pedestrian circulation system is a fundamental component of the village concept. The previous Streetscape Design Concept section includes illustrations of pedestrian amenities including sidewalks and shade trees. This section describes the pedestrian circulation system in terms of the Otay Ranch, City and OVRP trail systems. An overall plan is provided as well as descriptions of the types of pedestrian paths provided in the Plan area.



Note: Retaining wall location, height and setback are conceptual, subject to final engineering design.

Exhibit 28: Conceptual Pedestrian Circulation Plan

A. Chula Vista Greenbelt Trail/Otay Valley Regional Park (OVRP) Trail

As described in the Chula Vista Greenbelt Master Plan, planned multi-use trails, including equestrian trails, would extend south from Salt Creek on the east side of Village 11, connecting with the Otay Lakes Trail just south of Village 11. At least one trail will extend westerly, on a maintenance road for the Salt Creek Sewer, on the north side of the Otay River Valley. This portion of the Greenbelt Trail is located south of Village 8 East. Access to this trail network from Village 8 East is provided via the Community Park Trail and the Regional Trail planned along Avenida Caprise. Access to the Community Park from the Greenbelt Trail is provided via Community Park Access Trail segments.

The OVRP Concept Plan also identifies a multi-use trail system through the Otay River Valley. The portion of the Greenbelt Trail described above coincides with the OVRP trail. Consistent with the Chula Vista MSCP, this trail is co-located within the existing Salt Creek Sewer maintenance road to avoid impacts to sensitive habitat in the river valley and control access along the Otay Ranch Preserve edge. A 3/4-mile segment of the Greenbelt Trail is within the Village 8 East SPA boundary. The surface treatment within the existing Salt Creek Sewer Easement is PMB – Processed Miscellaneous Base. The Greenbelt Master Plan requires surface treatment comprised of “Decomposed Granite / Concrete / Asphalt/Soil-stabilized treatment” and the OVRP Trail Guidelines require “D.G. or Native Soil” on Type “A” Trails. The existing surface treatment is consistent with these requirements. Proposed trail improvements are limited to fencing and signage within the easement area, to the satisfaction and approval of the Director of Development Services. Trail signage shall conform to the Greenbelt Master Plan.

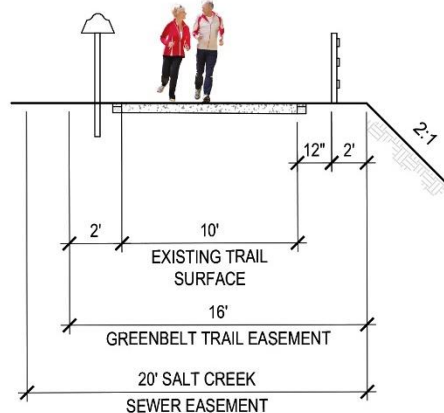
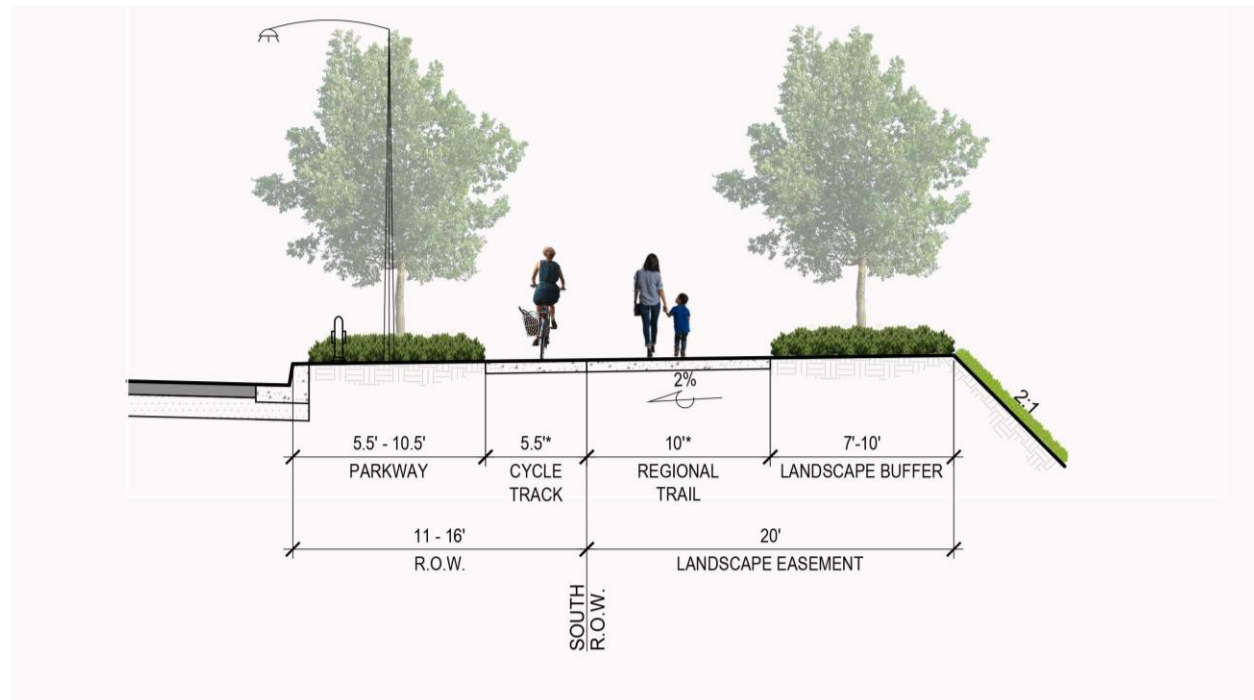


Exhibit 29: Chula Vista Greenbelt Trail

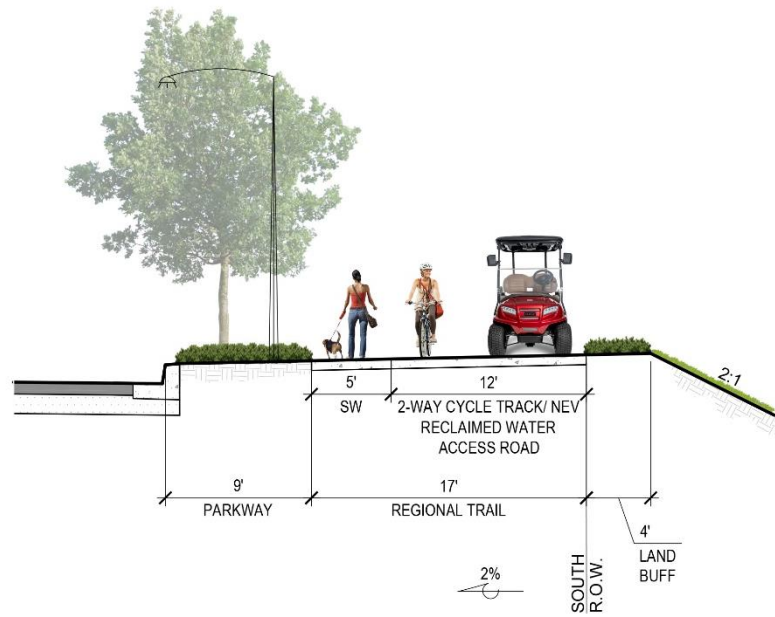
B. Chula Vista Regional Trail

The Chula Vista Regional Trail provides off-street pedestrian and bicycle connections throughout Chula Vista. Chula Vista Regional Trails are located on the south side of Main Street and south side of La Media Parkway. These trails are located adjacent to the roadways within landscape buffers. The trails are 10 - 17 feet wide and may be decomposed granite or concrete. Regional Trail segments serve a variety of users including pedestrians, bicyclists and NEVs as shown below. The Regional Trail along Main Street will meander within the 10' buffer to accommodate the bus turnout and the location of potential trail amenities. Trail signage shall be subject to Director of Development Services approval.

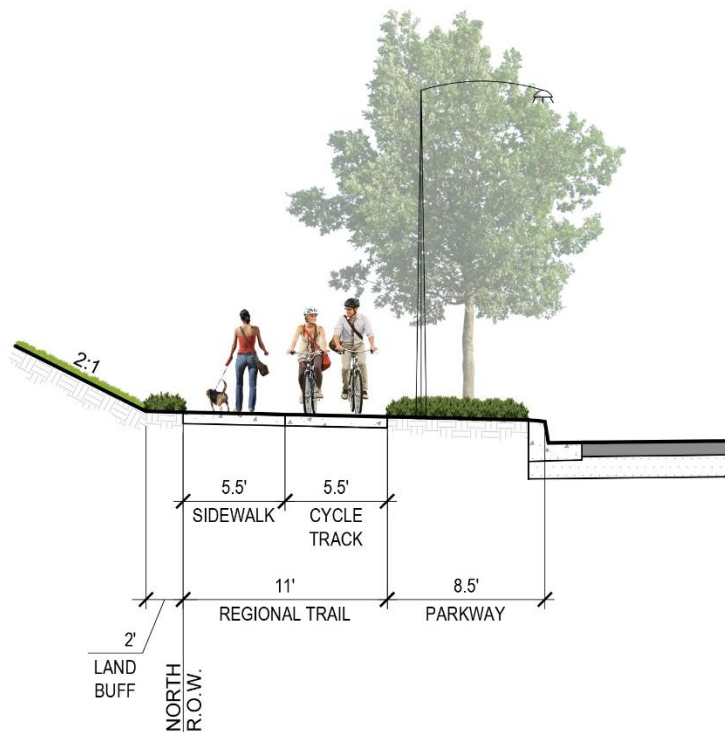


Main Street (South ROW)

Exhibit 30: Chula Vista Regional Trail

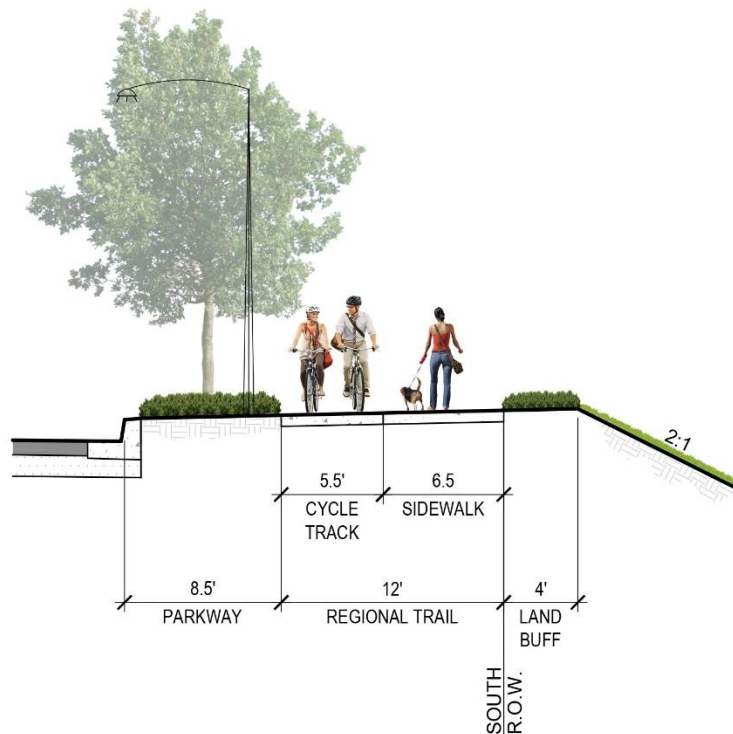


La Media Parkway – La Palmita Drive to easterly project boundary (South ROW)

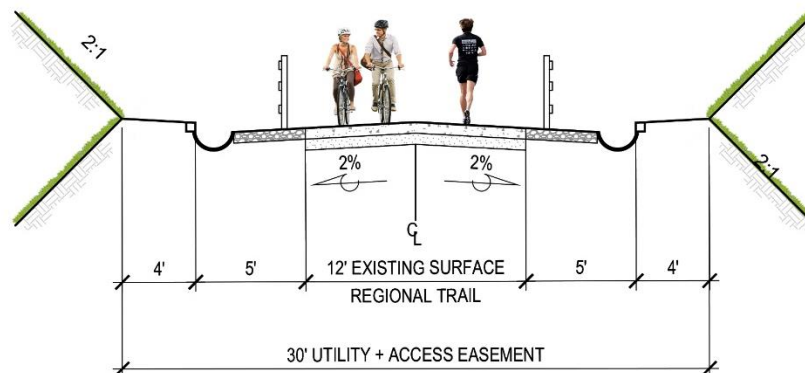


La Media Parkway – Westerly project boundary to La Palmita Drive (North ROW)

Exhibit 30: Chula Vista Regional Trail (Continued)



La Media Parkway – Westerly project boundary to La Palmita Drive (South ROW)



NOTE: * POST AND RAIL FENCE LOCATIONS
TO BE DETERMINED IN FIELD

South of Avenida Caprise to Chula Vista Greenbelt Trail

Note: Grading and surface improvements within the 30' Utility & Access Easement were approved with the Village 8 West SPA, Tentative Map and Grading Plan as an off-site improvement. Implementation of the Regional Trail component within the 30' utility corridor is limited to fencing, to be determined based on field conditions. This illustrative representation is consistent with the approved design and is provided for reference only.

Exhibit 30: Chula Vista Regional Trail (Continued)

C. Village Pathway

Village Pathways are inter-village multi-purpose paths that link all of the Otay Valley Parcel villages and provide access to the regional transit stations. The Village Pathway is a 10 to 12 feet concrete path, separated from the street by a landscaped, tree-lined parkway. The Village Pathway may be colored concrete (Davis, Otay Ranch Tan) with a light brush finish.

The Village Pathway is proposed to extend through the village core along both sides of Savoria Parkway. Both pedestrians and bicyclists are accommodated off-street through the core area. The Village Pathway also extends through Village 8 East along La Palmita Drive, from Main Street south to La Media Parkway and then south along Delgado Drive to the CPF-1 Site. The pedestrian network continues via the optional Edge Trail and the Community Park Trail, providing a continuous connection to the P-2 Park and the Chula Vista Greenbelt Trail. Additional segments of the Village Pathway are also planned adjacent to the school and park to provide for off-street pedestrian and bicycle access.

A Multi-Modal bridge over SR-125 provides a NEV, bicycle and pedestrian connection to neighboring Village 9.

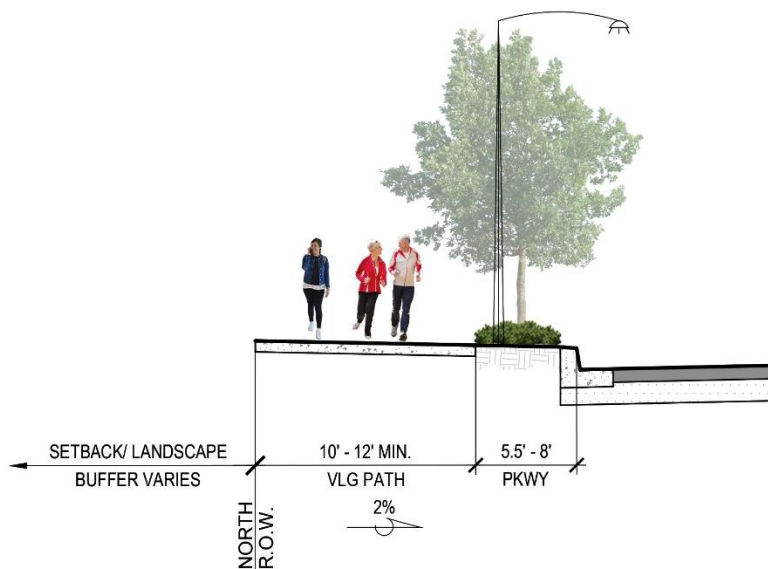
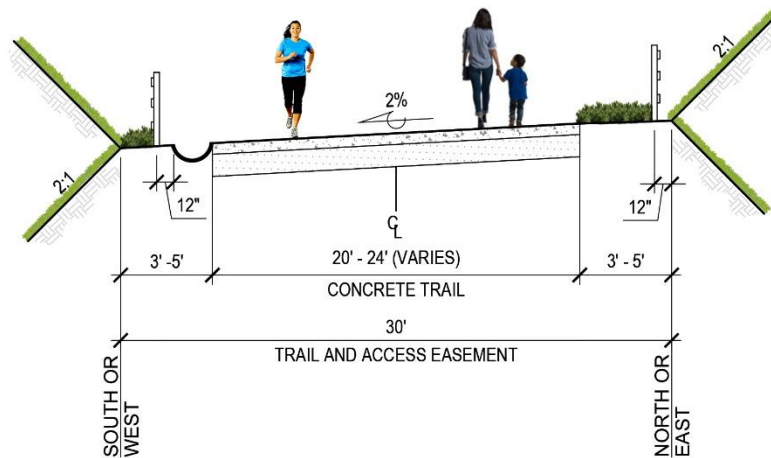


Exhibit 31: Village Pathway

D. Community Park Trail with Emergency/Maintenance Access

The Community Park Trail provides direct pedestrian access between Village 8 East, the Community Park and the Chula Vista Greenbelt Trail system located in the Otay River Valley. This trail is co-located with utilities necessary to serve Village 8 East and the Community Park and AR-11 and is comprised of a 20 foot concrete surface and post and rail fencing, as necessary. Secondary emergency access to the Community Park and maintenance access for the public utilities are also provided along this corridor. The facility is widened to 24 feet to provide vehicular access between P-2 and AR-11. Portions of the Community Park Trail are within the MSCP Preserve. Please see Village 8 East Preserve Edge Plan for additional details.



Note: Utilities shown for reference only – Trail co-located with utility corridor

Exhibit 32: Community Park Trail

E. Community Park Access Trail

The Community Park Access Trail segments are planned within the Community Park to provide direct access to the Chula Vista Greenbelt Trail. These trails are located along the southern edge of the Community Park. Trail improvements include a 10' minimum trail surface, post and rail fencing, as necessary and trail signage. The final design to be determined during final park design and may be modified to address drainage.

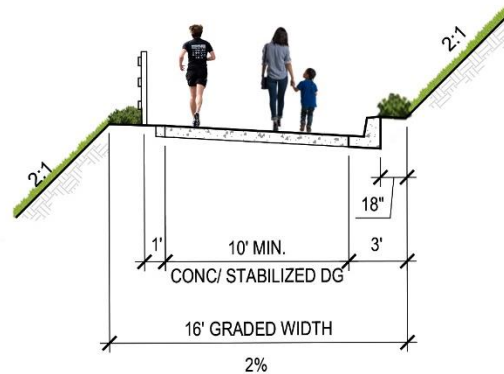
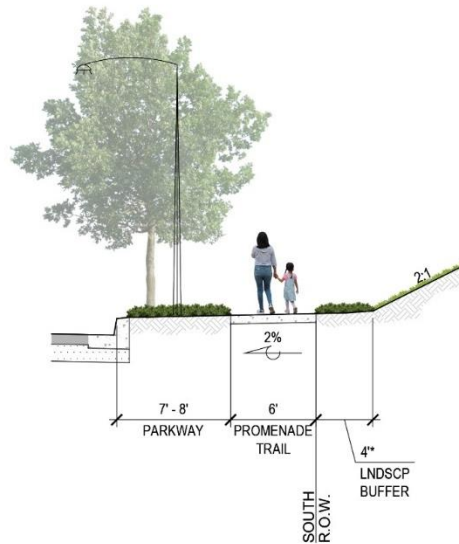


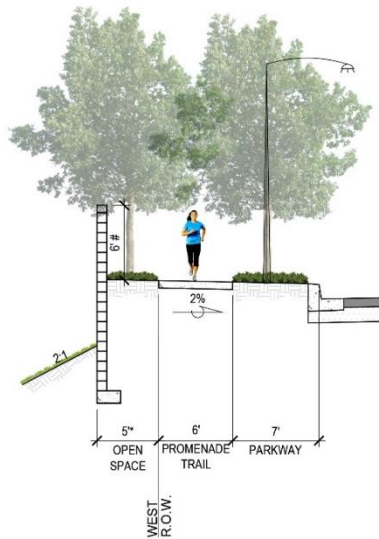
Exhibit 33: Community Park Access Trail

F. Promenade Trail

The Promenade Trail is a 6-foot-wide paved sidewalk enhanced with shade trees and may include pedestrian-scaled lighting. Promenade Trails in the village provide wider tree-lined walks designed to enhance the pedestrian experience and convenience throughout the village.



Promenade Trail along La Palmita Drive



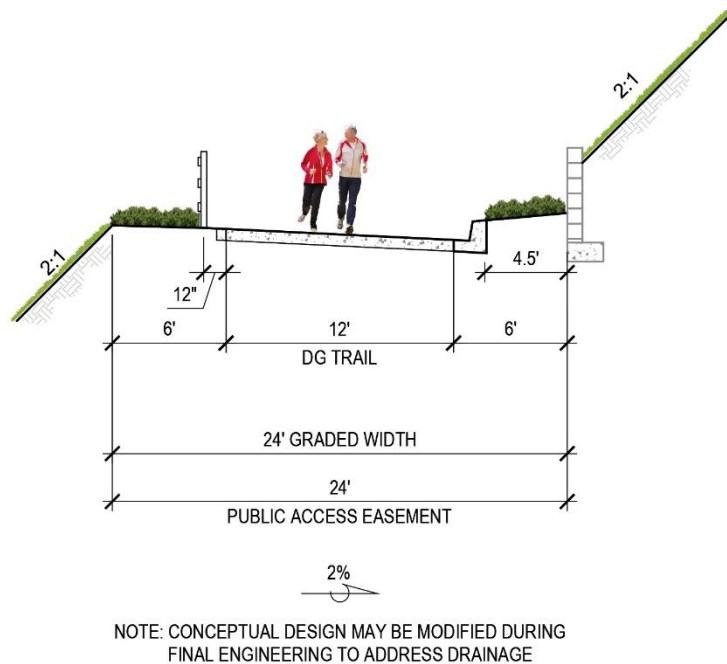
*5' MIN. LANDSCAPE BUFFER WHERE RETAINING WALL SHOWN ON PLANS
FINAL WALL HEIGHT TO BE DETERMINED BY SOUND STUDY

Promenade Trail along west side of Del Sueno Drive

Exhibit 34: Promenade Trail

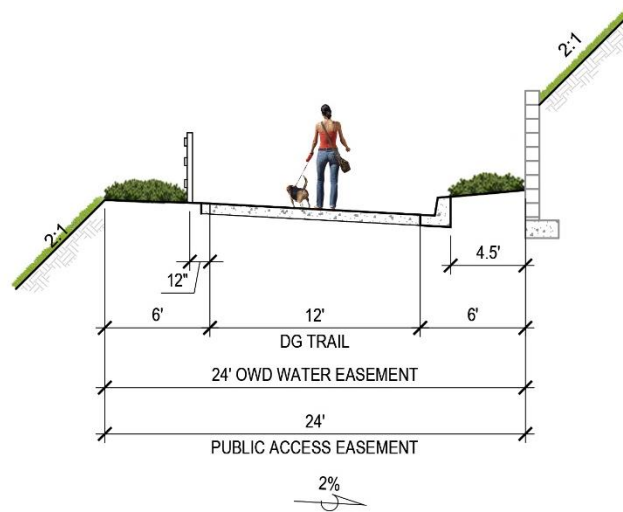
G. Edge Trail

The Edge Trail is comprised of 12-foot-wide D.G. trail within a 24-foot wide Public Access Easement at the perimeter of the neighborhoods south of La Media Parkway (R-7, R-9 and R-10) and provides a pedestrian linkage between the Regional Trail on La Media Parkway and the Community Park Trail leading to the Community Park and Chula Vista Greenbelt Trail system in the Otay River Valley. A portion of this trail segment will be located within a 24-foot wide utility easement along the southern edge of Village 8 East. The Edge Trail is conceptual. The design may be refined during final engineering to address drainage.



Edge Trail at perimeter R-7, R-9 and R-10. See TM Street Section 13 for Edge Trail condition at R-7.

Exhibit 35: Edge Trail



Edge Trail within OS-7

Note: If trail grade exceeds 5%, trail surface may be concrete. Conceptual design may be modified during final engineering to address drainage.

Exhibit 36: Edge Trail

H. Neighborhood Trail

The Neighborhood Trail is a 5-foot-wide trail connects neighborhoods R-4 and R-5 to the Chula Vista Regional Trail along La Media Parkway. If trail grade exceeds 5%, the trail surface shall be concrete. The Neighborhood Trail design is conceptual. The design may be modified during final engineering to address drainage.

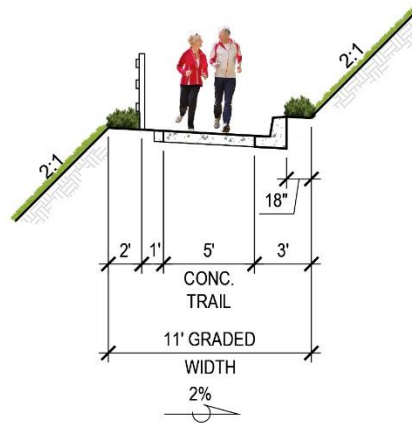
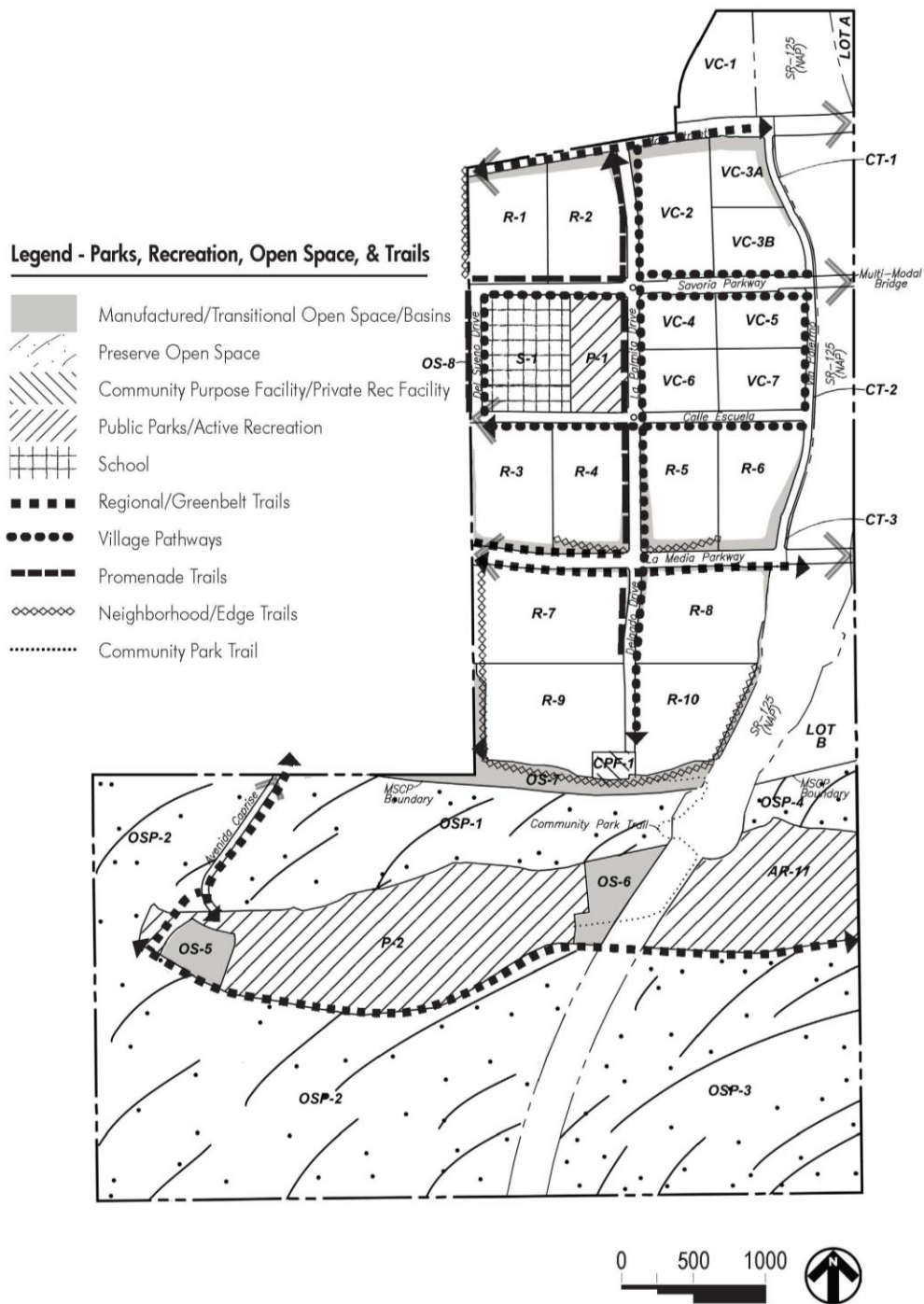


Exhibit 37: Neighborhood Trail

VI. Village Park Concept

As described in the Chula Vista Parks and Recreation Master Plan, Village 8 East is planned to include a public neighborhood and community park. The P-1 neighborhood park is located adjacent to the Village Core area adjacent to the site designated for an elementary school. The P-2 Community Park is located south of Village 8 East, adjacent to the Otay River Valley. The Active Recreation (AR-11) site is located southeast of Village 8 East, within the SPA boundary; however, the design will be addressed by the City of Chula Vista (property owner) in the future. Public park facilities within Village 8 East are further described below. The final design of the public parks may be refined or modified during the Park Master Plan process to include other facilities or amenities that serve evolving demographics and associated outdoor recreational needs and meet the intent of the City's parks mission.

**Exhibit 38: Parks, Recreation, Open Space and Trails Plan**

A. P-1 Neighborhood Park

The 6.5 acre (net) public neighborhood park located adjacent to the elementary school will provide active and passive recreational opportunities. The location adjacent to the elementary school creates an expanse of open space and combines active recreational activities conveniently located within the village core. Access to the adjacent school site should be coordinated with park site design and be appropriate for the street grades, potentially along the northern and eastern edges. Park amenities will be in conformance with the requirements of the City Park and Recreation Master Plan (2018) and may include multi-purpose open lawn areas, ball field(s), sports courts, picnic shelters, a dog park, tot lot(s) and restroom and maintenance buildings. Parking will be accommodated on-site and/or on adjacent streets. The final design of the public parks may be refined or modified during the Park Master Plan process to include other facilities or amenities that serve evolving demographics and associated outdoor recreational needs and meet the intent of the City's parks mission. The Village 8 East Tentative Map includes an alternative configuration for the S-1 School Site and P-1 Park, which would increase the school site from 11.3 (10.0 net) to 13.4 (12.0 net) acres and reduce the P-1 Park from 7.3 (6.5 net) acres to 5.2 (4.6 net) acres.

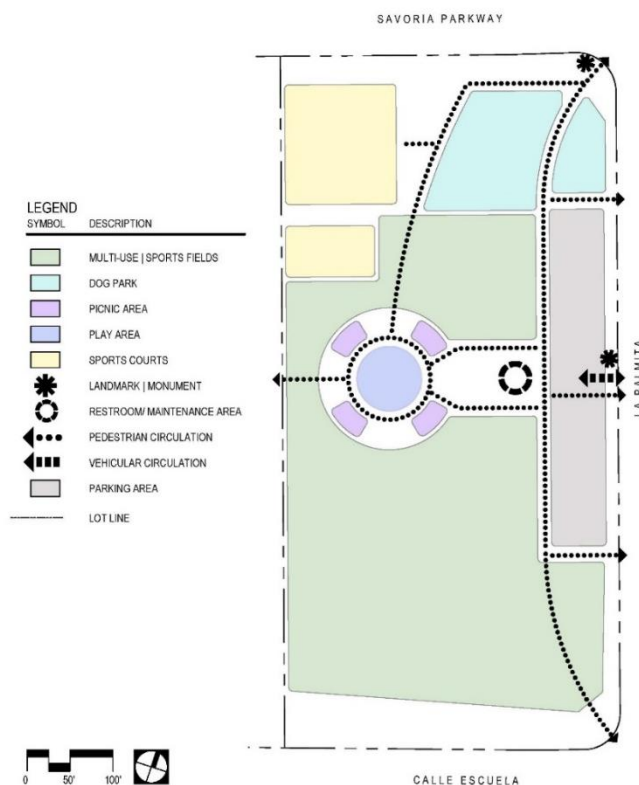


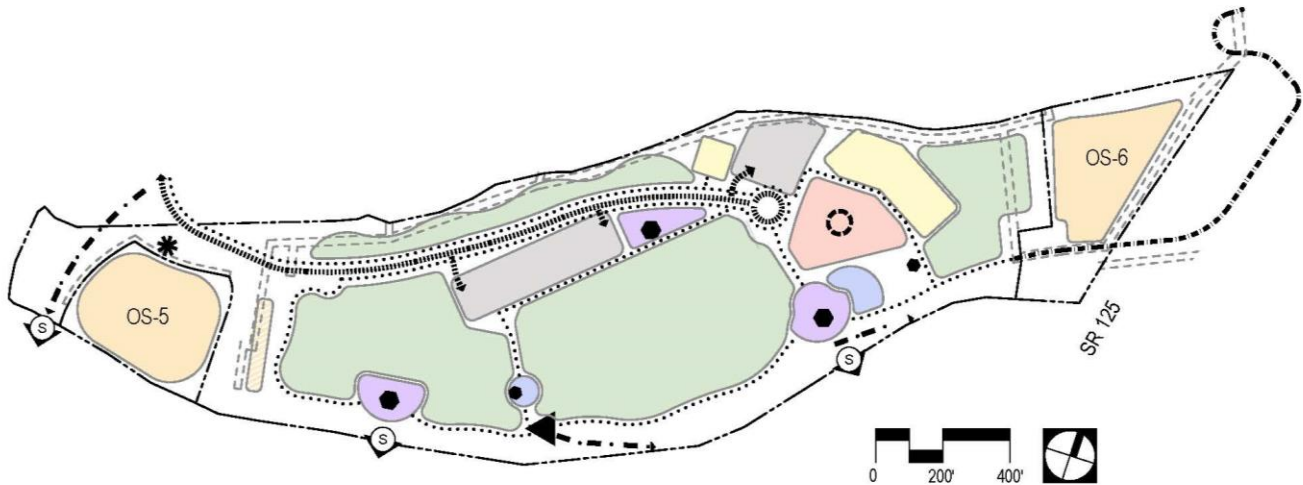
Exhibit 39: P-1 Neighborhood Park Concept Plan

B. P-2 Community Park – Otay Ranch Community Park South

The 36.3 acre (net) P-2 Community Park is located south of Village 8 East within the Otay River Valley. The MSCP Preserve area surrounds the park and provides opportunities for views to expanded open space. The park serves the active recreational needs of the southern Otay Ranch villages with lighted play fields and sport courts, a community center, children's play areas and parking areas. Passive recreational areas will be located adjacent to the Otay River Valley as a transition between developed and natural open space. This park will contain amenities and facilities described in the City of Chula Vista Parks and Recreation Master Plan (2018). Two points of access are planned from the north via the Community Park Entry Drive and Community Park Trail. Access between the community park and the Chula Vista Greenbelt Trail is provided at two points along the southern park edge. Vehicular access between the P-2 Community Park and AR-11 to be determined during final park design.

Landscaping within the P-2 Community Park shall be consistent with the 2023 Fire Protection Plan Amendment Approved Plant List and Attachment A to this plan. A 30-foot wide BMZ Zone 2 (vegetation thinning zone) will be implemented along the perimeter of the Community Park and a 100-foot wide BMZ Zone 1 will be implemented around all structures. The Community Park will likely be developed by the City of Chula Vista; accordingly, all design standards and guidelines shall be determined by the City. A trail staging area will also be provided within the community park to direct trail users to the Chula Vista Greenbelt Trail/OVRP Trail. As required in the project EIR, lighting within the P-2 Park shall be directed away from adjacent Preserve areas and shielded to prevent light spillage. The final design of the public parks may be refined or modified during the Park Master Plan process to include other facilities or amenities that serve evolving demographics and associated outdoor recreational needs and meet the intent of the City's parks mission.





LEGEND	
SYMBOL	DESCRIPTION
	COMMUNITY CENTER
	MULTI-USE SPORTS FIELDS
	PICNIC AREA
	PLAY AREA
	SPORTS COURTS
	WATER QUALITY DETENTION BASIN
	CONCEPTUAL PARK WATER QUALITY DETENTION BASIN
	LANDMARK MONUMENT
	RESTROOM MAINTENANCE
	PEDESTRIAN CIRCULATION
	VEHICULAR CIRCULATION
	COMMUNITY PARK TRAIL (MAINTENANCE + EMERGENCY ACCESS)
	GREENBELT TRAIL CONNECTION
	PARKING AREA
	SCENIC OVERLOOK
	LARGE SHADE STRUCTURE
	SMALL SHADE STRUCTURE
	TRAIL STAGING AREA
	30' FUEL MOD ZONE
	LOT LINE
	EASEMENT

Exhibit 40: P-2 Community Park Concept Plan

Plant Palette (Community Park):

Botanical Name	Common Name
Trees	
Arbutus 'Marina'	Marina Strawberry Tree
Brachychiton populneus	Bottle Tree
Cassia leptophylla	Gold Medallion Tree
Citrus species	Citrus
Cupaniopsis anacardioides	Carrotwood
Dracaena draco	Dragon Tree
Eriobotrya deflexa	Bronze Loquat
Geijera parviflora	Australian Willow
Jacaranda mimisifolia	Jacaranda
Koelreuteria bipinnata	Chinese Flame Tree
Lagerstroemia indica	Crape Myrtle
Ligustrum lucidum	Glossy Privet
Lophostemon confertus	Brisbane Box
Magnolia grandiflora	Magnolia
Metrosideros excelsa	New Zealand Christmas Tree
Olea europea 'Willsonii'	Fruitless Olive
Parkinsonia x 'Desert Museum'	Desert Museum Palo Verde
Platanus acerifolia	London Plane Tree
Platanus racemosa	California Sycamore
Quercus agrifolia	Coast Live Oak
Quercus engelmannii	Englemann Oak
Quercus ilex	Holly Oak
Rhus lancea	African Sumac
Tipuana tipu	Tipu Tree
Ulmus parvifolia 'Drake'	Drake Evergreen Elm
Shrubs, Cacti, Ornamental Grasses & Ground Covers	
Agave attenuata	Foxtail Agave
Aloe species	Aloe
Anigozanthos species	Kangaroo Paw
Baccharis pilularis 'Pigeon Point'	Dwarf Coyote Brush
Bougainvillea species	Bougainvillea
Callistemon citrinus 'Little John'	Little John Bottlebrush
Carex species	Sedge
Ceanothus cultivars	Ceanothus
Chondropetalum tectorum	Cape Rush
Cistus species	Rockrose
Clematis species	Evergreen Clematis Vine
Cordyline australis 'Atropurpurea'	Bronze Dracena
Cotoneaster dammeri 'Lowfast'	Bearberry Cotoneaster
Crassula species	Crassula

Botanical Name	Common Name
Cynodon dactylon 'Bandera'	Bandera Bermuda Turf
Dietes vegeta	Fortnight Lily
Echium fastuosum	Pride of Maderia
Encelia californica	California Encelia
Encelia farinose	Brittlebrush
Euonymus species	Euonymus
Feijoa sellowiana	Pineapple Guava
Festuca species	Fescue
Festuca Aquawise 'Sportsclub Mix'	Aquawise Sports Turf
Festuca 'Marathon II'	Dwarf Tall Fescue
Ficus pumila	Creeping Fig
Grevillea 'Noellii'	Noel Grevillea
Grewia occidentalis	Lavender Starflower
Helichrysum petiolare 'Limelight'	Limelight Licorice Plant
Hesperaloe species	Red Yucca
Heteromeles arbutifolia	Toyon
Ilex species	Holly
Lantana species	Lantana
Leucophyllum species	Texas Ranger
Leymus condensatus 'Canyon Prince'	Canyon Prince Wild Rye
Ligustrum japonicum 'Texanum'	Texas Privet
Limonium perezii	Seafoam Statice
Mahonia aquifolium	Oregon Grape
Mimulus cardinalis	Scarlet Monkeyflower
Muhlenbergia rigens	Deergrass
Myoporum parvifolium 'Putah Creek'	Creeping Myoporum
Myrtus communis	Myrtle
Nassella pulchra	Purple Needle Grass
Nephrolepis cordifolia	Sword Fern
Phormium species	New Zealand Flax
Paspalum vaginatum 'Seashore'	Aloha Seashore Paspalum
Phyla nodiflora 'Campagna Verde'	Kurapia S1
Phyla nodiflora	Kurapia
Pittosporum crassifolium 'Compactum'	Evergreen Pittosporum
Pittosporum tobira 'Wheeler's Dwarf'	Wheeler's Dwarf Pittosporum
Podocarpus 'Icee Blue' (Columnar)	Icee-Blue Yellow-Wood
Podocarpus macrophyllus 'Maki'	Shrubby Yew Pine
Portulacaria afra	Elephant's Food
Prunus caroliniana	Carolina Cherry
Pyracantha species	Firethorn
Rhaphiolepis indica	Indian Hawthorn
Rhaphiolepis umbellata 'Minor'	Dwarf Yedda Hawthorne

Botanical Name	Common Name
<i>Rhus integrifolia</i>	Lemonade Berry
<i>Rhus ovata</i>	Sugarbush
<i>Rosmarinus species</i>	Rosemary
<i>Salvia apiana</i>	White Sage
<i>Scaevola</i> 'Mauve Clusters'	
<i>Strelitzia nicolai</i>	Giant Bird of Paradise
<i>Strelitzia reginae</i>	Bird of Paradise
<i>Tecoma species</i>	Esperanza
<i>Tecomaria capensis</i>	Cape Honeysuckle
<i>Thuja occidentalis</i> 'Degroots Spire'	Degroots Spire Arbovitae
<i>Trachelospermum jasminoides</i>	Star Jasmine
<i>Tulbaghia violacea</i>	Sweet Garlic
<i>Westringia fruticosa</i> 'Mundi'	Low Coast Rosemary
<i>Wisteria sinensis</i>	Chinese Wisteria
Turf	
<i>Festuca</i> Aquawise Sportclub Mix (from seed)	Sports Field Fescue Mix
Dwarf Tall Fescue (sod)	Marathon II
<i>Cynodon dactylon</i> 'Bandera'	Bandera Bermuda Grass
Hydroseed Application	
<i>Acmispon americanus</i>	Purshing's lotus
<i>Acmispon heermannii</i>	Heerman's lotus
<i>Cryptantha intermedia</i>	Common cryptantha
<i>Eschscholzia californica</i>	Coastal California Poppy
<i>Helianthemum scoparium</i>	Sun Rose
<i>Lasthenia gracilis</i>	California Goldfields
<i>Lupinus bicolor</i>	Miniature Lupine
<i>Sisyrinchium bellum</i>	Blue Eyed Grass
<i>Corethrogyne filaginifolia</i>	Sand Aster
<i>Encelia farinosa</i>	California Encelia
<i>Ericameria palmeri</i>	Palmer's goldenbush
<i>Eriophyllum confertiflorum</i>	Golden Yarrow
<i>Galium angustifolium</i>	Narrow leaved bedstraw
<i>Hazardia squarrosa</i>	Sawtooth goldenbush
<i>Hemizonia fasciculata</i>	Common Tarplant
<i>Isocoma menziesii</i>	Menzies' goldenbush
<i>Iva hayesiana</i>	San Diego Marsh Elder
<i>Lasthenia californica</i>	Dwarf goldfields
<i>Lupinus excubitus</i>	Grape soda lupine
<i>Viguiera laciniata</i>	San Diego Sunflower

Note: Refer to Attachment A – Village 8 East Approved Plant List for BMZ 2 plant palette applicable to 30-foot vegetation thinning zone at perimeter of the P-2 Community Park.

VII. Community Purpose Facilities

Community purpose facilities are defined in Chula Vista Municipal Code 19.48 PC – Planned Community Zone, with uses and development standards defined in the Village 8 East PC District Regulations. A portion of the Village 8 CPF obligation is satisfied through the provision of an on-site CPF site. The balance of the Village 8 CPF obligation is pursuant to a separate agreement between the Applicant and the City of Chula Vista.

The 1.2-acre CPF-1 site is a Private Recreation Facility (“PRF”) located at the southern portion of Village 8 East and is planned to provide recreational amenities with view and trail access to the Otay River Valley and the P-2 Community Park. The CPF-1 facility will be privately maintained by the HOA. The facility creates a focal point in the village and is connected through the village pedestrian circulation system. The CPF-1 facility will be designed to complement the surrounding neighborhood and amenities will be tailored to the specific needs of the neighborhood. The concept plan for the CPF-1 site is provided below and represents one design; however, the concept plan may be modified during final design.

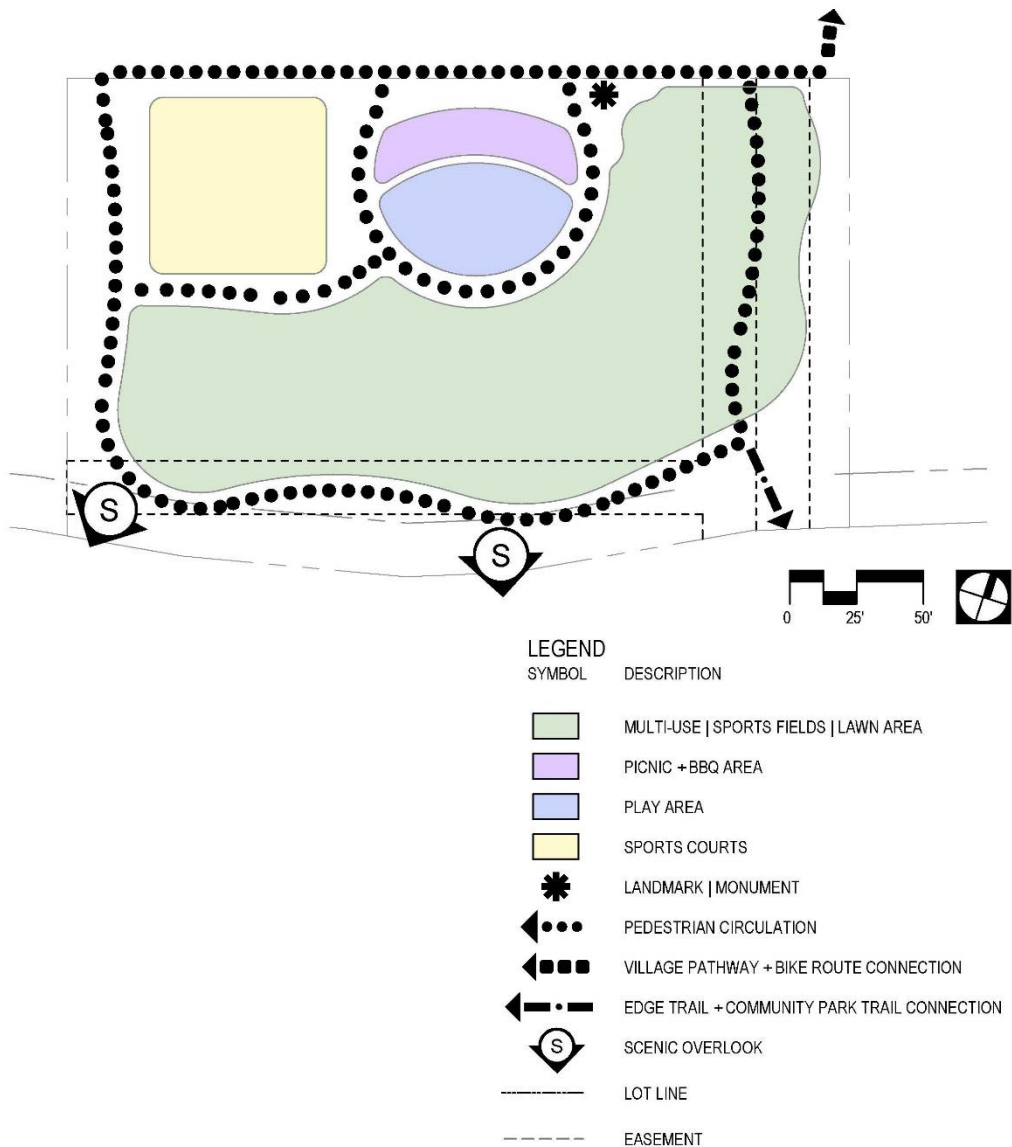


Exhibit 41: CPF-1 Concept Plan

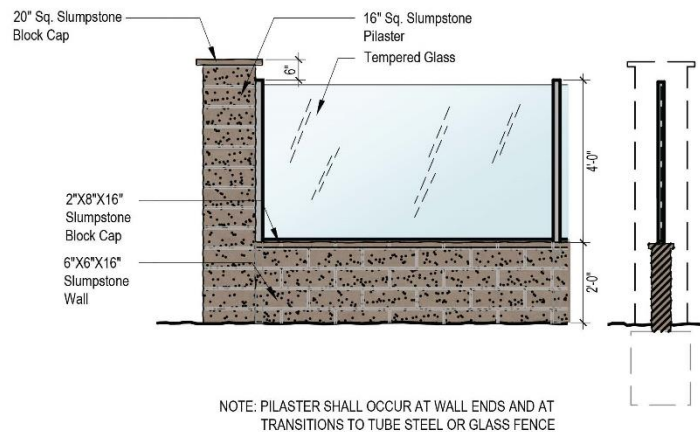
VIII. Wall and Fence Concepts

The Ranch-wide theme will be maintained through a comprehensive system of walls and fences. Walls at the Village entry will be designed to accent the entries and establish the European inspired architectural character. Entry monumentation and architectural walls will be comprised of a light stucco finish and will provide screening, sound attenuation, security and neighborhood identity. Community perimeter walls will be constructed of integral color concrete block. An enhanced wall design may be implemented at key locations within the village core and at community entries. Wall type and location to be determined during the Development Plan Review process.

A. Community Walls

The following represents the conceptual community wall details. The final materials, colors and details to be determined during preparation of the Landscape Master Plan.

6' Perimeter View Fence (Exterior View)



6' Perimeter Wall (Side Yard Conditions)

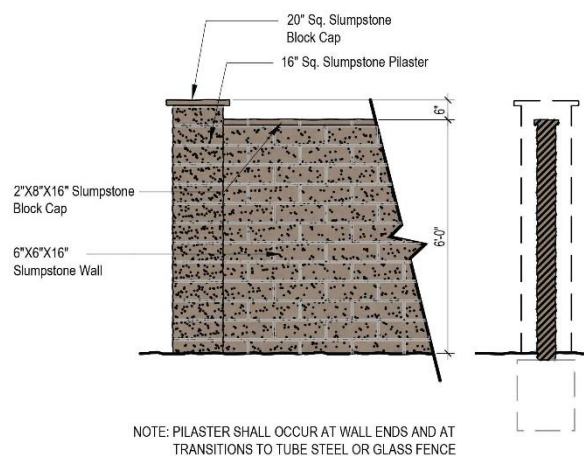
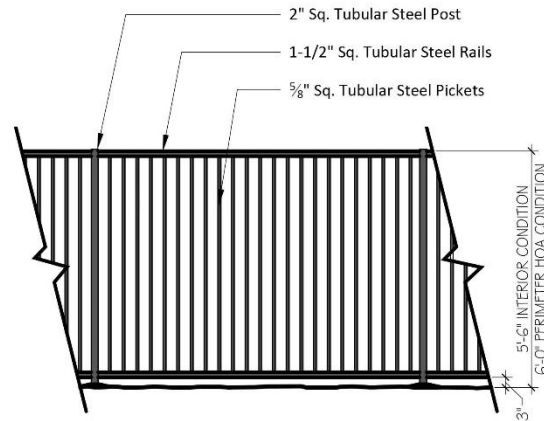


Exhibit 42: Community Wall Details

B. Community Fencing

The following represents the conceptual community fencing details. The final materials, colors and details to be determined during preparation of the Landscape Master Plan and preparation of Design Review plans.

Production Tubular Steel Fence (Perimeter Conditions)



5'6\"/>

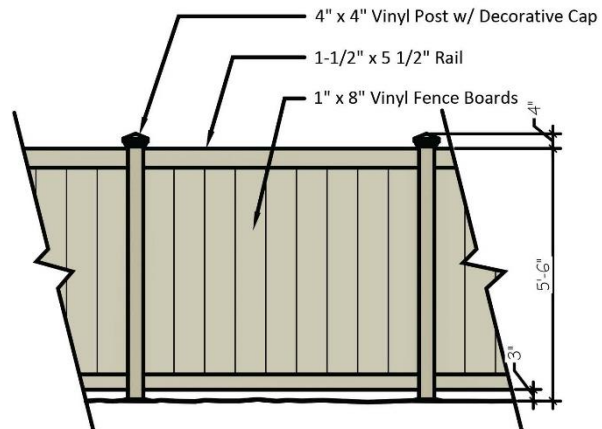
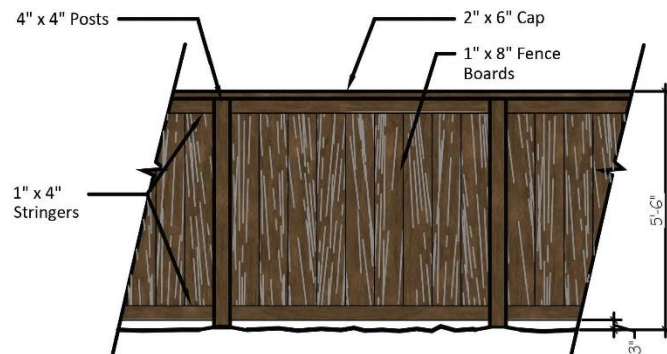
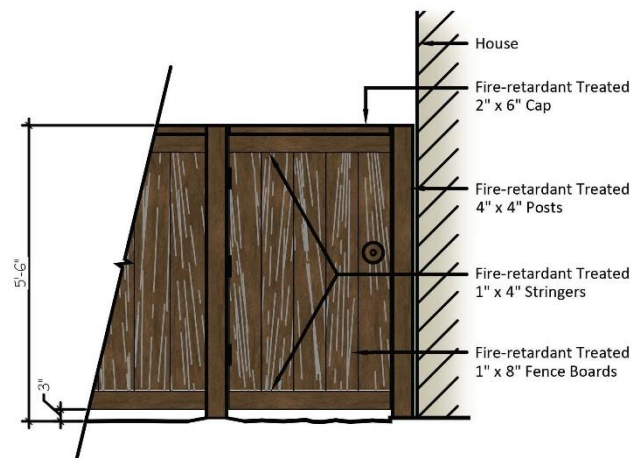
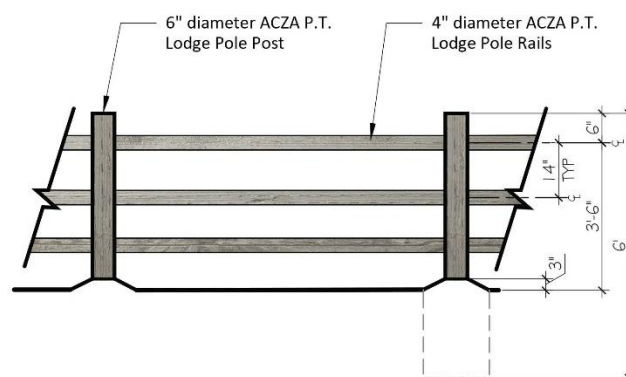


Exhibit 43: Community Fencing Details

5'6" Production Wood Fence (Side Yard Condition)**5'6" Fire Retardant Wood Fence Return (Side Yard Condition)****48" High Trail Fencing (Trail & Preserve Edge Conditions)****Exhibit 42: Community Fencing Details (Continued)**

C. Retaining Walls

The project includes both interior and perimeter retaining walls. Interior retaining walls will be compatible in color and materials with the freestanding community walls described above. The final materials, colors and details to be determined during preparation of the Landscape Master Plan. MSE walls located along the southern perimeter of the project, will be constructed of Belgard Diamond Pro Stone Cut materials in a 3-color blend (Toscana, Bella and Montecito), as depicted below. The 3-color blend was chosen to blend with the natural setting and minimize the appearance of the walls from the Otay Valley Regional Park.



IX. Lighting Concepts

The village lighting design concept focuses on the quality of light along specific corridors and areas. Light standards must have a distinctive character to relate to the corridors they serve. Lighting along pedestrian corridors must be human in scale, closer spaced and lower than is typically found on an urban street. Light standards should be manufactured of high-quality materials that are visually pleasing. The base, pole and light fixture must be attractive and suitable to the design theme of the village. Street light and Village Pathway fixtures, within the Village Core, shown below are conceptual. Final fixture design will be determined in the Village 8 East Master Precise Plan. The objectives for exterior lighting are as follows:

- ❖ To contribute to the safe and efficient use of all public and private areas in the village.
- ❖ To increase the perception of personal and property safety.
- ❖ To complement and reinforce the architectural and landscape character of public and private spaces.
- ❖ To contribute to the ease of way finding through the village.
- ❖ To meet all applicable public and environmental standards, including energy conservation.

- ❖ To provide a consistent quality of lighting throughout the village.
- ❖ To avoid adverse impacts such as excessive glare and light spill.
- ❖ To reinforce the identity of each component of the village, including private and public space improvements.
- ❖ To avoid adverse impacts to sensitive biological resources within the adjacent Otay Ranch Preserve by directing light away from Preserve areas through the placement and shielding of light fixtures.
- ❖ Special accent lighting may be proposed within the Village Core commercial uses, parks and the CPF site (See Exhibit 43). Special accent lighting may include architectural, pathway and/or lighting on signage. All special accent lighting proposed within the 100' Preserve Edge must be shielded and directed away from the Preserve to minimize/avoid light spillage into Preserve areas. Detailed lighting plans and photometric analyses will be provided at the improvement/site plan level, as appropriate.



A. Public Park Lighting

Public parks may include lighting of sports fields and courts. Pathway/sidewalk, parking lot and architectural lighting may also occur within public parks. As determined during the park master plan process, sport court and field lighting may be provided to accommodate night-time use of sports fields and courts. Light fixtures must be shielded to minimize light spillage into Preserve areas and other adjacent land uses. Final lighting design and specific lighting fixtures and lamps will be determined during the park master planning process and preparation of park construction budgets.



Note: Lighting within the Community Park and along the Community Park Entry Road and Community Park Trail is subject to MSCP Adjacency Guidelines and EIR Mitigation Measures. Special accent lighting to be determined in conjunction with improvement/site plans and must be accompanied by a photometrics analysis demonstrating light spillage into the MSCP is avoided to the greatest extent possible.

B. Village Core Street Lighting

Special street lights will be placed in an alternating pattern in the median and parkways along Savoria Parkway to minimize impacts to pedestrian circulation and planting areas. Pedestrian-scaled light may be provided along the Village Pathway.

1. Street Lights

Street Light Pole: Concrete, approximately 22 feet tall for street lights and painted metal theme character.

Fixture Type: Street lights – Standard “Cobra Style” with cut-off shield for street light; concrete pole; reduced arm length.

2. Pathway Lights

Pathway lights: Design and color complimentary to the Village design theme.

Lamp Type: LED Lamp

All light fixtures, including trail lighting (if any) located adjacent to Preserve Open Space areas shall include shields to direct light away for Preserve areas.

C. Parking Lot Lighting

Parking lot lighting is to be consistent throughout the village, in terms of fixture height, spacing, light source and performance characteristics. Fixture style may differ between projects. Parking lots should be adequately lit with pole mounted fixtures. Parking lot lighting adjacent to residential uses should be located to minimize light intrusion and be adequately shielded.

Pole: Painted metal, 20 feet tall, triangularly spaced.

Fixture Type: Single or double mount, full cut-off fixtures.

Lamp Type: LED Lamp



Note: Light fixtures presented for thematic design only. Final fixtures to be determined during final design.

Exhibit 444: Conceptual Light Fixtures

X. Village Core Design Concept

The unique character intended within the Village Core precludes the use of fixed or mandated design solutions. Instead, the critical elements of the Village Core, general character statements and identification of important design and site planning features are utilized to create a high-quality setting.

The following design guidelines are not standards or requirements but rather provide design guidance for the creation of Village Core parcels with a mix of uses or single uses. It is important to provide design flexibility to respond to changing market conditions that may occur between initial project planning and final site planning.

A vibrant, walkable community provides residents with the opportunity to shop, work and enjoy entertainment and services close to their homes. The Village Core provides a location for these activities by allowing a mix of retail, commercial and residential uses in a pedestrian-focused urban environment. In a pedestrian scaled urban environment, the relationship of the buildings to the street plays the primary role in defining public pedestrian spaces including sidewalks, plazas and courtyards. These outdoor settings provide a comfortable, pedestrian atmosphere and activate the overall street scene for aesthetic, pedestrian and commercial interest.

A Village Core Master Precise Plan will be prepared subsequent to this SPA/Design Plan approval. The Master Precise Plan will expand on the design concepts and themes of this document and provide more detailed guidelines for architecture, signage, lighting, street furnishings and landscape.

A. Village Design Features

This section highlights important features that contribute to the creation of a quality village core and provides guidelines to inform merchant builder submittals to the Master Developer. Characteristics contributing to a successful Village Core include consideration of the following:

- ❖ Buildings define the street edge, public plazas and pedestrian spaces to create quality pedestrian environments and opportunities for seating, dining and social gathering.
- ❖ Building facades include variety and spontaneity that activate the pedestrian experience.
- ❖ Building entries and common areas remain the primary emphasis of the public street elevation while parking is located to the side and rear of buildings to minimize the visual impact of parking lots on the public streetscape.
- ❖ Building and site design anticipates and accommodates pedestrian and vehicle circulation to reduce traffic impacts on neighboring streets and jointly optimize

- pedestrians and vehicles.
- ❖ Individual entries for commercial spaces and shops appropriately define each interior unit to create individuality and uniqueness.
 - ❖ Building mass and differentiation of roof forms, materials, color and apparent floor heights reduce building bulk and create variety within the building façade.
 - ❖ Enhanced architecture on all four sides conveys high quality design.
 - ❖ Building and site design promote connections between indoor and outdoor spaces.
 - ❖ Massing and architectural elements define street corners for Pedestrian-Oriented Streets and primary building entries.

B. Site Planning and Pedestrian Orientation

The character of the Village Core will be established by the site design and placement of high-density residential and potentially commercial buildings with a mix of uses that form the streetscape, define pedestrian pathways, and establish urban spaces. Within the Village Core, individual parcels may be designed with a single use or multiple uses, as permitted in the Village 8 East Planned District Regulations. See **Exhibit 45: Village Site Planning Concept** for a conceptual representation of how site design may be implemented in the Village, with a more detailed focus in the Village Core area.

Providing a variety in building type and form will foster the vertical and horizontal mixed-use nature of the Village Core to provide a range of residential, retail, commercial and neighborhood serving uses. The following should be considered:

- ❖ Orient larger buildings and tenant entries toward the pedestrian-oriented street frontage, whenever possible.
- ❖ Where pedestrian-oriented building placement is not possible or desirable based on grade considerations or potential noise impacts, design building form to be visually interesting and present a unified architectural theme for the Village Core.
- ❖ Parking or utilities areas may be sited adjacent to noise generating uses (i.e., SR-125) to provide a buffer.
- ❖ Arrange buildings to create connective outdoor pedestrian spaces including paseos, courtyards, plazas, squares, eating areas, arcades and/or usable open spaces with a strong relationship to the public streets.
- ❖ Site buildings to define pedestrian-oriented streets and scale the street scene.
- ❖ Design open areas that are large enough to be useable but not so large they appear empty or deserted.

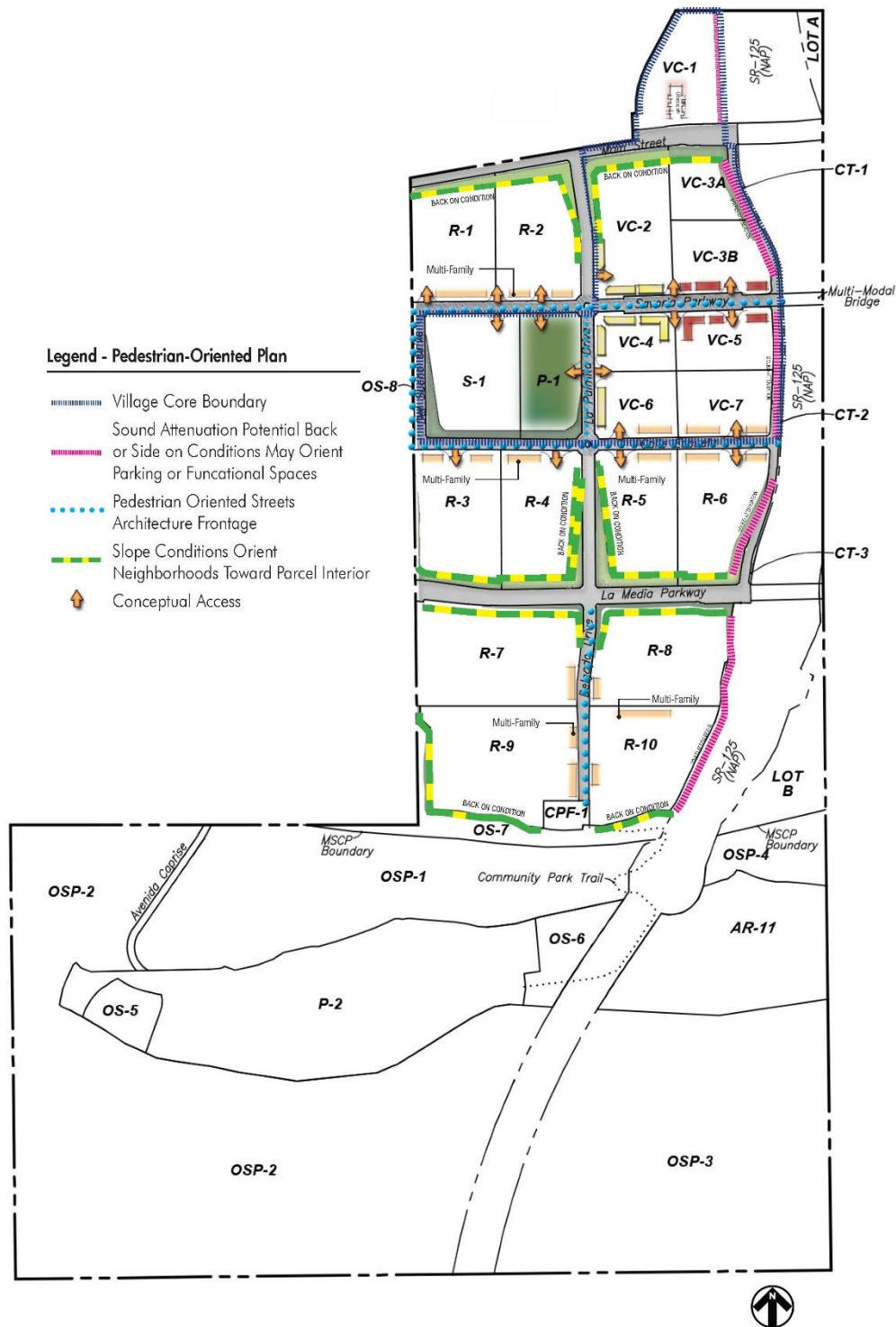


Exhibit 45: Village Site Planning Concept

- ❖ Design pedestrian and vehicular circulation routes that are intuitive, well-defined and easily discernible for appropriate and functional and safe maneuverability and activity levels.
- ❖ Provide well-planned pedestrian linkages that are as direct as possible between key sites such as the neighborhood park, schools, and the CPF site that support walkability and the economic viability of the Village Core.

C. Building and Roof Form

Architectural building and roof forms greatly impact how light strikes and frames the building, having a significant impact on how the space is perceived in the pedestrian environment. The following elements should be considered to facilitate and create dynamic interrelationships between light, depth and place along the streetscape and within other pedestrian spaces:

- ❖ Buildings that include courtyards, plazas and other usable pedestrian spaces are encouraged.
- ❖ Provide pedestrian paseos or sidewalks on each block to connect parking areas to the street/commercial frontage, where feasible.
- ❖ Design building forms to be aesthetically pleasing and well-proportioned, resulting in a balanced composition of elements along public streets.
- ❖ Layer wall planes and volumes to provide a rhythm of dynamic building forms and shadows.
- ❖ Provide massing elements at major corners, project entries, building entries, pedestrian nodes or major pedestrian-oriented street intersections.
- ❖ Incorporate elements that enhance publicly visible frontages to provide architectural relief. Two of the following elements should be considered:
 - Planter walls
 - Seating opportunities
 - Accent or festive lighting
 - Focal objects (water, murals, sculpture, topiary)
 - Outdoor dining spaces
 - Awnings
 - Building overhangs
 - Bay windows
 - Openings and entry ways
- ❖ Design roofs for functionality while enhancing or complementing the overall architectural design of the building.

- ❖ Integrate form, materials, fascia and/or cornice elements into the overall design vocabulary, where appropriate.
- ❖ When used, create contiguous parapets and incorporate them into side/rear elevation returns.
- ❖ Use roof forms to screen mechanical equipment from public view to the greatest extent possible.
- ❖ Encourage the use of cool roofs, photovoltaics, or other energy saving materials and features.
- ❖ Design roof decks to activate the street and consider privacy of residents, as applicable.

D. Facade Treatments

The following should be considered to facilitate the creation of interesting and attractive façade treatments:

- ❖ Articulate buildings and/or provide architectural detailing along public streets to enhance pedestrian scaling and visual interest along the pedestrian-oriented streetscapes and internal private streets.
- ❖ Avoid monolithic buildings of singular form, height, wall plane or materials visible to the public to the greatest extent possible. When buildings of a single form and height are used, consider articulating the building with layered wall planes, banding, architectural details and/or materials.
- ❖ Use projections, overhangs, recesses, banding and other architectural details to provide shadow, articulation, and scale to building elevations as appropriate to the architectural style.
- ❖ Avoid identical architectural appearance or use of the same materials or color palette in the design of adjacent buildings containing a mix of uses unless mirrored architecture is an integral feature of the project design vocabulary.
- ❖ Incorporate façade design techniques to enhance building architecture and reduce overall mass. Two of the following design techniques should be considered:
 - Color change/color variation
 - Combination of different exterior materials
 - Change in textures
 - Vertical/horizontal wall plane projections/recesses
 - Variation of roofline (height or form)
 - Architectural elements significantly different from main building in mass or height
 - Projections
 - Balconies

- Window groupings or treatment
- ❖ Express a unified design for all elevations of a single building visible from a public street or pedestrian space; however, elements and materials are not required to wrap the building on elevations that are not visible to the public.
- ❖ Enhance entries through massing, articulation architectural design elements, and/or signage.
- ❖ Where appropriate, utilize glass at the ground level.

E. Mechanical Equipment, Service, Waste, and Utility Areas

Due to the strong emphasis on pedestrian activity within the Village Core, location and screening of unsightly service and utility areas is critical to ensuring the creation of a comfortable pedestrian atmosphere. The placement of service and utility areas and equipment are subject to City standards. The following should be considered in the location and design of mechanical equipment, utilities, service and loading areas and waste collection facilities:

- ❖ Provide appropriate loading and service areas for each building/tenant.
- ❖ Locate above-ground equipment, outdoor storage, trash/recycling storage, and loading and service areas on lanes, to the side or rear of the building, or within parking areas or structures. The precise location of trash/recycling storage area(s) to be included on the site plan.
- ❖ Shield loading, service, and storage areas with walls, berms or landscaping to limit visibility from public streets or pedestrian spaces, as feasible.
- ❖ Integrate screening of mechanical equipment, waste enclosures, service areas and other service-oriented building necessities into the site and building design.
- ❖ Incorporate similar colors and materials as the principal building into the design of the screening, enclosures and/or service buildings.
- ❖ Locate waste containers away from the public rights-of-way of pedestrian-oriented streets, building entries, and pedestrian spaces and screen from public view to the greatest extent feasible.
- ❖ Screen all roof-mounted equipment from public view with parapets, screen walls, fencing, equipment wells, structural enclosures or similar features.
- ❖ Install exterior, on-site utilities underground, where feasible. For utilities required to be above ground, screen and incorporate into the landscaping to the greatest extent possible.
- ❖ Mount electrical equipment onto the interior of a building whenever practical. When interior mounting is impractical, screen electrical equipment from public view with walls, berms, or landscaping.

F. Landscaping Design Guidelines

Design landscape and open space areas to be an integral part of the overall site plan design, with a style and amenity level consistent with the surrounding environment and preserve edge.

- ❖ Utilize a plant palette that maximizes visibility, while providing a positive pedestrian experience and includes canopy or accent trees, low shrubs and ground covers. Turf is prohibited as a ground cover, except as permitted per City standards.
- ❖ Use of urban landscape forms such as raised planters, containers, tree grates, and green walls is encouraged.
- ❖ Utilize consistent tree planting patterns. Trees shall be limbed up to 8 feet minimum in pedestrian areas and 13'6" in vehicular areas.
- ❖ Incorporate social spaces with outdoor seating areas and sidewalk cafes fronting pedestrian-oriented streets.
- ❖ Changes in paving texture, color or material in access areas, pedestrian spaces or along internal pathways are encouraged.
- ❖ Include focal elements such as specimen plantings, water features or public art.
- ❖ Street tree planting must comply with the City of Chula Vista Shade Tree Policy Number 576-19. The objective is to maximize shade cover to the greatest extent possible.
- ❖ Landscaping should reinforce the urban character of the area and reflect ordered, formal plantings rather than random, natural appearing materials. Trees should be incorporated into the pedestrian path, planted flush to ground level with overhead branches to create overhead canopies.

G. Surface Parking Area Landscape Guidelines

- ❖ Provide parking in surface lots, parking structures, below grading parking garages, podium parking or any combination of these.
- ❖ Utilize shared parking to the maximum amount feasible to reduce areas devoted to parking.
- ❖ Generally located surface parking lots, podium parking and above-ground structured parking behind or to the side of buildings to reduce their frontage on pedestrian-oriented streets. It is understood that some parking frontage along pedestrian-oriented streets is necessary for circulation functionality.
- ❖ Subterranean parking garages that encroach into public rights-of-way are subject to City Engineer approval and shall require an encroachment permit/agreement. Enhanced street construction may be required and utility coordination is necessary.

- ❖ Surface parking lots should be landscaped and maintained with a combination of trees, shrubs and groundcover.
- ❖ Trees should be distributed throughout the surface parking area.
- ❖ Shade trees must be provided for all new parking lots that will achieve 50% canopy cover over the parking stall areas five to 15 years after planting, pursuant to Chula Vista Shade Tree Policy Number 576-19 (May 22, 2012).

H. Lighting, Signing and Street Furnishings

- ❖ The Village Core commercial retail street should be well lit to encourage evening use. Street lighting fixtures should relate to the pedestrian scale.
- ❖ Architectural accent lighting is encouraged.
- ❖ Illumination of walkway/trail connections should be provided through the use of low intensity fixtures for safety and comfort. The lighting pattern and intensity should become more intense at path intersections and vehicular crossings.
- ❖ Within building groups, architectural and accent lighting should be indirect and subtle. Increased lighting levels should highlight pedestrian areas to clearly define the pedestrian path. Service area lighting should be contained within the service area boundaries/enclosure. Lighting should be designed to minimize glare and intrusion into neighboring land uses.
- ❖ Thematic street furnishings are provided below; however, final street furnishing selections shall be made during preparation of street improvement plans (for furnishings within the public right-of-way and/or during site plan preparation for parcels within the Village Core).
- ❖ A Village Core Planned Sign Program will be developed to establish design parameters for signage within the Village Core. Signage should inform and direct but not dominate the visual character of the area.



Exhibit 46: Conceptual Street Furnishings

XI. Multi-Family Residential Design Guidelines

The following design guidelines are not standards or requirements, but rather provide guidance for the design of multi-family parcels. Multi-family residential neighborhoods are intended to be much like small villages. Each neighborhood should be cohesively designed, using a blend of building types, complementary architectural styles and a tastefully balanced palette of colors and materials to provide subtle contrast for diversity and variation within each neighborhood. A variety of housing types and building configuration/types can be provided within the same attached multi-family residential community.

A. Design Fundamentals

Quality attached residential neighborhoods generally follow these design fundamentals:

- ❖ Common buildings, facilities or open spaces serve as focal points for the neighborhoods.
- ❖ Building entries and common areas, not parking, should be the primary emphasis of the public street elevation.
- ❖ Individual entries define each unit appropriate to the building form.
- ❖ Building mass and differentiation of roof forms reduce the apparent building bulk and define common and pedestrian spaces.
- ❖ Color and material changes define architectural styles, highlight massing differentiation and create diversity between buildings.
- ❖ Enhanced architecture on all publicly visible elevations conveys high quality design.
- ❖ Architecture on all publicly visible elevations conveys high quality design.
- ❖ Connections between indoor and outdoor spaces are enhanced in building and site design.
- ❖ All buildings, common facilities, maintenance structures, and service area enclosures express compatible architectural style, color, and materials.

B. Neighborhood Design Guidelines

The design of multi-family neighborhoods should focus on two primary placemaking goals:

1. Creating active architectural edges facing Pedestrian-Oriented Public Streets to support an engaging and walkable village, and
2. Creating a livable neighborhood setting internal to the parcel in a manner that supports a neighborhood identity.

The following neighborhood design guidelines, as illustrated in Exhibit 47, apply to residential parcels within the RM-1 and RM-2 zoning districts with the intent to achieve the placemaking goals of Village 8 East.

Design residential products and the site plan to enable front doors and/or active architecture as the predominant features facing Pedestrian-Oriented Public Streets.

- ❖ Orient front doors, porches, stoops, courtyards (private or shared), cluster access, balconies, primary windows, massing offsets, or similar active architectural features toward Pedestrian-Oriented Public Streets.
- ❖ Variation in massing, rooflines or forms, building heights, wall planes, or plotting of color and/or architectural style facing Pedestrian-Oriented Public Streets is encouraged.
- ❖ Pedestrian pathways are encouraged to provide connections through the neighborhood (direct or indirect) that connect to the Pedestrian-Oriented Public Streets.
- ❖ Carefully design fencing along public streets to maintain walkability and neighborhood engagement. Perimeter fences or walls adjacent to Pedestrian-Oriented Public Streets are discouraged where the street setback is less than 6 feet unless walls are required for sound attenuation.

Design neighborhoods to have a fine grain texture through mixing of products and architectural design that creates interest and variation of the streetscape.

- ❖ Parcels or projects (two parcels planned together) are encouraged to include two or more product types into a cohesive site plan.
- ❖ Products should be differentiated by lifestyle, price point, or unit types.
- ❖ Residential products should be designed to have massing, building height, and color variation that set them apart from each other in an architecturally compatible manner.
- ❖ Lower scale buildings or massing elements should be plotted along the Pedestrian-Oriented Public Streets and village edges wherever feasible.
- ❖ Pedestrian walkways should be integrated into the site plan to create internal neighborhood circulation is encouraged and can be counted as CUOS when minimum dimensions are met.

Parcel or projects should feature a Private Drive as the primary circulation and central organizing feature to support wayfinding and livability of each neighborhood.

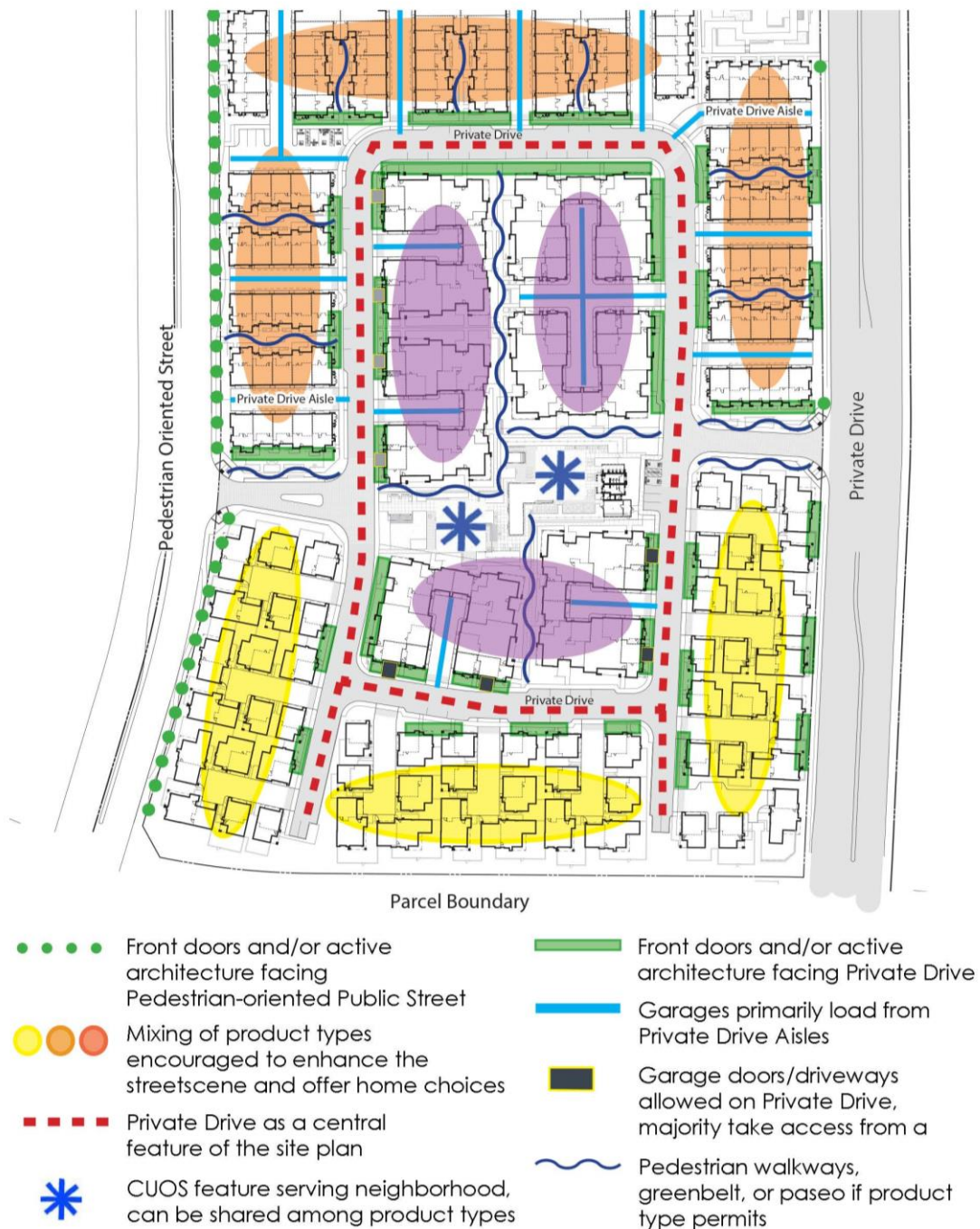
- ❖ The Private Drive should be extended further into the parcel/project than the neighborhood entry statement.
- ❖ Private Drive Aisles should not be the primary circulation feature in a

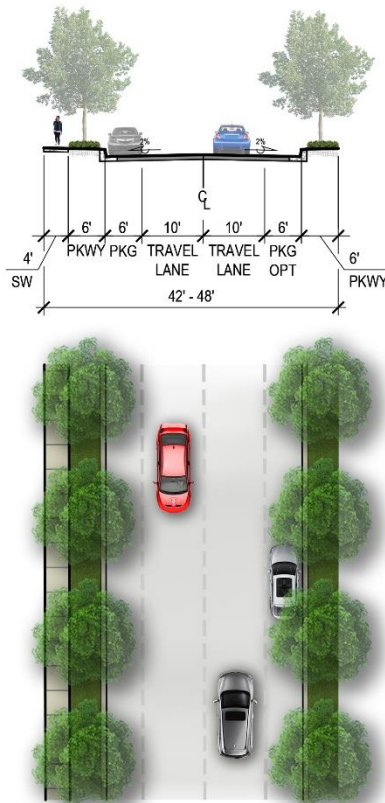
parcel/project.

- ❖ The majority of Private Drive Aisles should take access from a Private Drive (See **Exhibit 48: Conceptual Private Drive**).
- ❖ The majority of garages should take access from a Private Drive Aisle.
- ❖ Front doors and active architecture are encouraged to face or front on the Private Drive.
- ❖ Large CUOS features should be visible and accessed from a Private Drive.

CUOS is encouraged to be designed as a central gathering space shared among products, or as a sequence of CUOS spaces distributed throughout the neighborhood.

- ❖ When multiple products are mixed in a neighborhood, combined central CUOS is encouraged.
- ❖ Where central or combined larger open spaces is not feasible, CUOS is encouraged to be designed as a sequence of meaningful spaces that create gathering and livability options for residents.
- ❖ Consistent with the PC District Regulations, CUOS is not required to be allocated to separate product areas.

**Exhibit 457: Conceptual Neighborhood Design**



Note: The Private Drive diagram is conceptual and parking on one side is optional.

Exhibit 48: Conceptual Private Drive

B. Site Planning and Building Plotting

Site planning and building placement play an important role in reinforcing the small village feel by defining the common areas that unify the community. The following should be considered in site planning and building placement:

- ❖ Orient buildings to provide a front door presence along the pedestrian-oriented streets. Internally, orient buildings toward private streets, common open space areas and major pathways whenever possible.
- ❖ Create a sense of arrival at major vehicular and pedestrian entries through landscaping, location of common areas and/or placement and design of common buildings.
- ❖ Design pedestrian and vehicular circulation routes that are intuitive, well-defined and easily discernible for appropriate and functional maneuverability, safety and activity levels.

- ❖ Emphasize a front door presence along the pedestrian-oriented streets, pedestrian access and connections to public sidewalks, trails, open space systems and adjacent neighborhoods to avoid creating a walled enclave.
- ❖ Arrange buildings to define common areas in centralized and convenient locations.
- ❖ Design open areas which are usable for a variety of purposes and are sized appropriately for the neighborhood.
- ❖ When surface parking or carports are utilized, minimize large parking areas through thoughtful building placement and site design.
- ❖ Where appropriate, provide architectural treatments, structures and/or landscaping that shelters pedestrian walkways, such as arbors or pergolas.
- ❖ Integrate non-residential uses (where permitted or located in adjacent parcels) into the community in a manner that preserves the residential character.
- ❖ Design private and common open spaces areas in attached residential developments to substantially confirm to the City's Multi-Family Open Space Guidelines, except as modified in the PC District Regulations.

C. Form and Massing

Massing and roof forms play an important role in establishing variation along the skyline and distinguishing individual units, common areas, and primary entries. The following should be considered to create dynamic interrelations of light, depth and place along the streetscape, within common areas and along internal pathways:

- ❖ Minimize blank, singular planes oriented toward public views unless it is true to the architectural style. Provide enhanced elevations on all sides of the building visible from streets, lanes, common areas, and other public and common spaces by incorporating architectural elements similar to those found on the front elevation.
- ❖ Consider intended styles in conjunction with the development of building plans, massing forms, architectural elements, details and colors.
- ❖ Carefully consider the building massing, materials, details and color in developing the architectural character of the project.
- ❖ Design buildings to define outdoor spaces with floor plans that have a logical and functional relationship between indoor and outdoor spaces.
- ❖ Articulate roof lines to express a variety of conditions to minimize the visual impact of repetitious flat planes, building mass and similar ridge heights.
- ❖ Provide vertical roof plane breaks, changes in building/ridge height or other accent roof forms as appropriate to style.
- ❖ Use a variety of front-to-rear and side-to-side gables, hipped roofs, and/or the introduction of articulated stories.
- ❖ Integrate form, materials, fascia and/or cornice elements into the overall design

vocabulary.

- ❖ Encourage the use of cool roofs, photovoltaics or other energy saving materials and features.

D. Facade Elements

Facade treatments play an important role in defining individual units and reinforcing the overall design character of the neighborhood. Typically, the location of windows and doorways are determined by the practical considerations of room layout, furniture placement, views and privacy. Design emphasis here is of particular concern as windows and doors play an important role in the exterior architectural character of buildings. Materials and colors help to reduce overall mass and provide visual interest.

- ❖ Use entries to create an initial impression, locate and frame the doorway, and act as an interface between public and private spaces.
- ❖ Wherever possible, orient front doors and provide access toward the pedestrian-oriented street, internal private street or entry courtyard.
- ❖ Incorporate appropriate roof elements, columns, feature windows and/or architectural forms in the entry statement to emphasize the building character and the location of individual doorways as appropriate to building configuration.
- ❖ Within the appropriate style requirements, group and coordinate windows with other design elements to create a composition and order.
- ❖ Where appropriate to style, building configuration and window form use of multi-paned windows is encouraged.
- ❖ Use appropriate scale and proportion typical of the architectural style in window and door design to strengthen the elevation style.
- ❖ Use color, materials, windows, doors and architectural details to provide variation and articulation and avoid unrelieved, continuous walls.

E. Trash Enclosures, Utilities, and Service Areas

Since common utility and service areas can often create a nuisance, their design and placement must be carefully considered. The design and placement of trash enclosures, utilities and serves areas is subject to City standards. The following guidelines are intended to reduce the impact of service and utility areas on the community:

- ❖ Provide an adequate number of enclosures to accommodate the volume and types of refuse and recycling containers required by the local disposal company.
- ❖ Locate enclosures in a convenient area for the majority of residents.
- ❖ Minimize impact on adjacent residences and neighborhood developments by keeping enclosures away from the parcel edges so that they are not visible from the pedestrian-oriented streets.

- ❖ Construct trash enclosures with substantial masonry walls in a style and wall finish that is consistent with the overall architectural character of the development.
- ❖ Equip all trash enclosures with complementary gates of durable construction, hinged to self-supporting steel posts.

F. Landscape Design

Street facing and street visible landscaping is most impactful to the community and will be designed to adhere to the overall Village design theme. Design of landscape internal to the site (common and private outdoor spaces) promotes multi-family livability. All guidelines in this section are intended to be consistent with the Chula Vista Landscape Water Conservation Ordinance, Chula Vista Design Manual and Landscape Manual. Interior landscapes are encouraged to maintain the tranquil, courtyard style landscapes established by the village design theme. The following landscape guidelines apply to the setbacks, common areas and pathways of attached residential neighborhoods:

- ❖ Use planting to reinforce design patterns and serve as unifying elements.
- ❖ Utilize plant materials consisting of trees, shrubs and ground covers.
- ❖ Provide permanent irrigation systems for planting areas.
- ❖ Landscape street yard areas in a manner complimentary to the village streetscape design
- ❖ Design mailbox structures and trash/recycling enclosures to complement adjacent residential homes.
- ❖ Locate utility boxes and equipment as unobtrusively as possible and screen with landscaping, berms or fencing.
- ❖ Common open space areas may include amenities such as outdoor eating and seating areas, play grounds, swimming pools and sport courts. Decorate water features are permitted, subject to water budget calculations.
- ❖ Use trees to define streets, neighborhoods and corridors to accent entries and landmarks.
- ❖ Avoid large expanses of asphalt paving, softening the appearance through the use of landscaping where possible.

G. Plotting Examples

A broad range of residential product types are allowed and encouraged within the village design theme. Home types may range from small lot detached units, multi-plex buildings (duplex, triplex, etc.), cluster homes, townhomes, wrap buildings, podium buildings, or other multi-family configurations. A broad range of typologies intentionally fosters a vibrant village with multi-family variety that is adaptable to evolving architectural technology, ingenuity, demographics and market economics. Exclusion of a product type, garage configuration or vehicle storage solution from these guidelines or the PC District

Regulations shall not be considered rationale for denying such a solution; only the development standards of the PC District Regulations (density, height, street setback, building separations) shall limit the types of configurations allowed in each Zoning District.

The following plotting examples represent potential design solutions and plotting based on the PC District Regulations; however, they do not limit product types, configurations or other architectural solutions not represented.

Example Multi-family detached home type: Alley Home

Alley-loaded detached configuration that orients front doors to the street, internal private drive, and/or potentially a paseo or street frontage. Typically, three to four stories. May or may not have a private yard; PUOS typically provided in a porch, balcony, or roof deck. Appropriate in any Multi-family or Village Core zoning district.



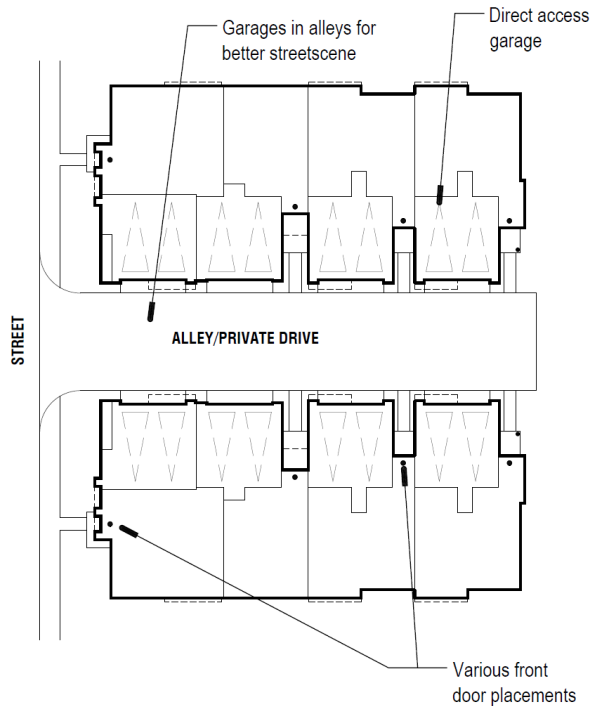
Example plotting for Alley Homes



Example home type/elevations for Alley Homes

Example Multi-family attached home type: Townhome

Townhome attached configuration that is typically alley-loaded. Front doors orient toward the street, internal private drive, and/or potentially a paseo or street frontage. Typically, two to four stories. PUOS typically provided in a porch, balcony, or roof deck. Appropriate in any Multi-family or Village Core zoning district.



Example plotting for Townhomes

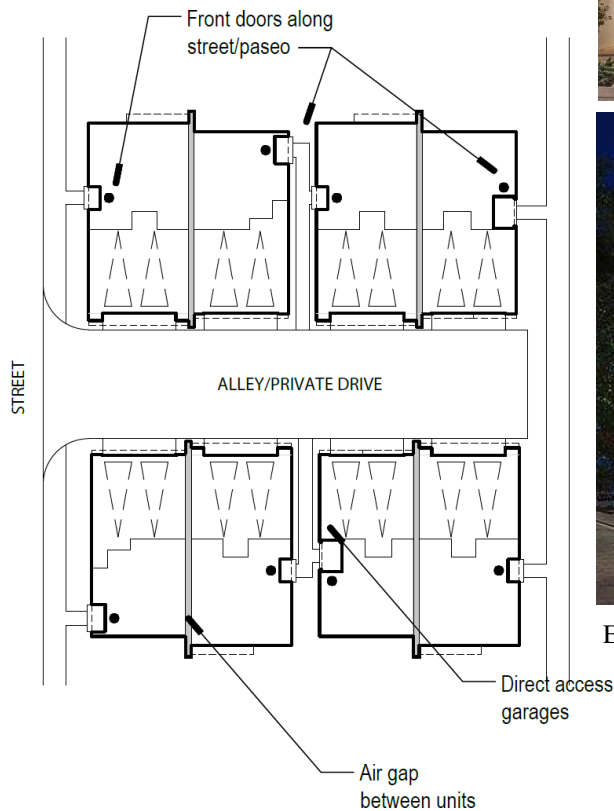


Example home type/elevations for Townhomes

Example Multi-family detached home type: Air Gap Homes

Detached configuration with a building code air gap between units, may be in duplex or multi-plex buildings. Typically, alley loaded, however may be in a cluster configuration with a variety of driveway lengths, or garages may load directly from a private street. May be two to four stories in height. PUOS typically provided in a porch, balcony, or roof deck. Appropriate in any Multi-family or Village Core zoning district.

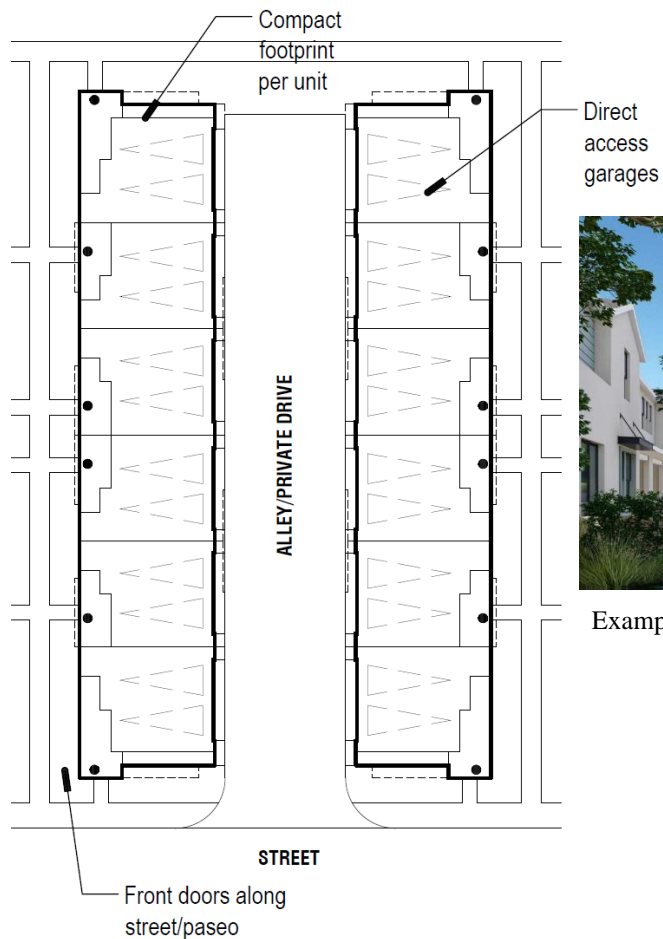
Example plotting for Air Gap Homes



Example home type/elevations for Air Gap Homes

Example Multi-family attached home type: Paseo Homes

Attached homes typically orienting front elevation and doors toward a shared paseo. Typically, alley loaded, however may be in a cluster configuration. May be two to four stories in height. PUOS typically provided in a porch, balcony, or roof deck. Typically, higher-density home type, likely most appropriate in the RM-2 or Village Core zoning district.

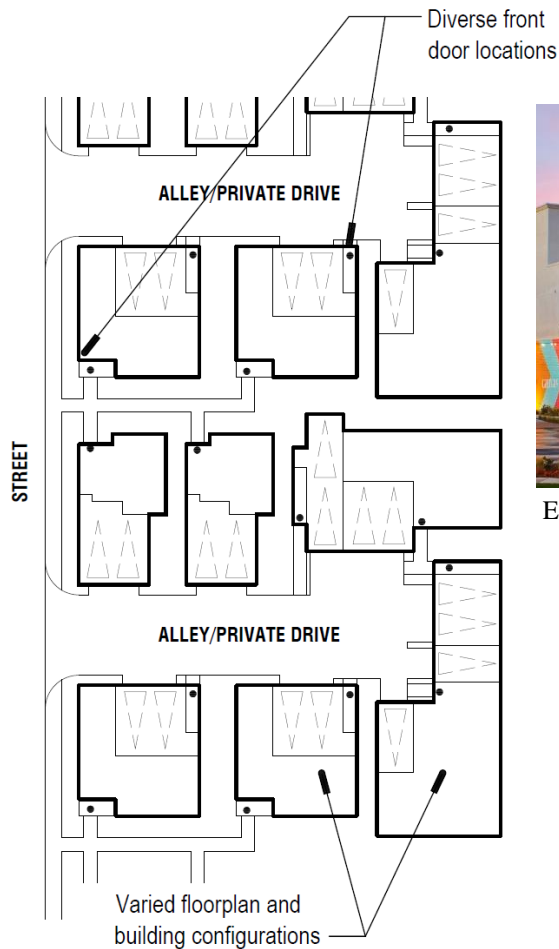


Example home type/elevations for Paseo Homes

Example plotting for Paseo Homes

Example Multi-family detached home type: Cluster Homes

Configuration that may include detached homes in a cluster around a shared private drive or parking court; may also include a combination of attached and detached homes in a cluster. May include a variety of garage types including single car garages, two car garages, and tandem garages. Typically three to four stories in height. May include use of zero lot line to allow for private yards; PUOS typically provided in a porch, balcony, or roof deck. Appropriate in any Multi-family or Village Core zoning district.



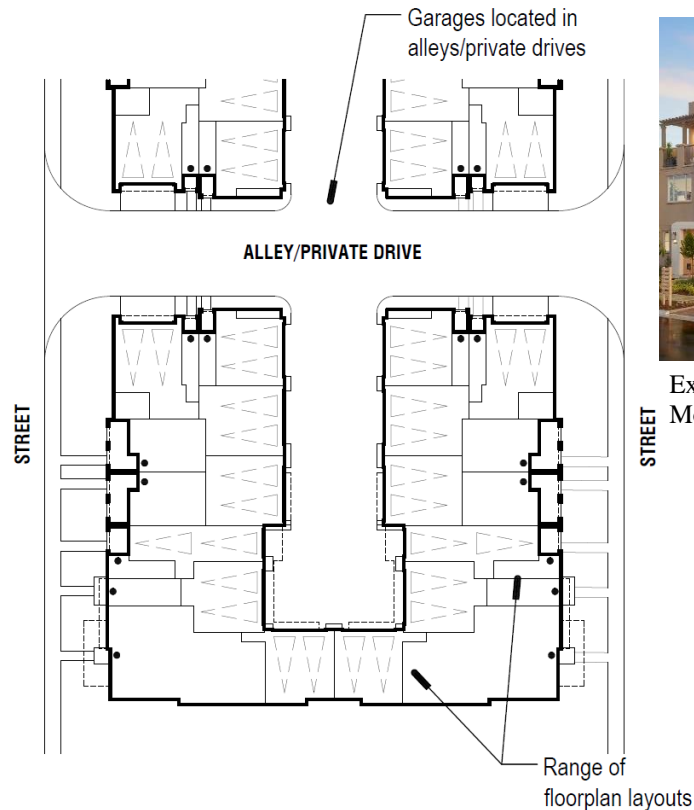
Example plotting for Cluster Homes



Example home type/elevations for Cluster Homes

Example Multi-family attached home type: Motor Court Homes

Building configuration of attached homes with garages facing an interior motor court. May include a variety of garage types including single car garages, two car garages, and tandem garages. Allows for active architecture on three sides; plotting may include paseos or common open space between buildings. Typically, three to four stories in height. PUOS typically provided in a porch, balcony, or roof deck. Appropriate in any Multi-family or Village Core zoning district.



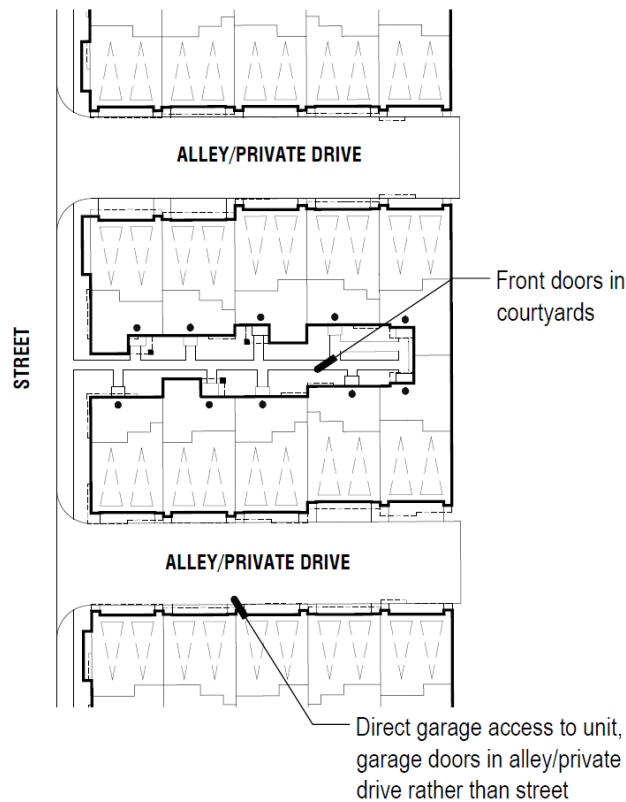
Example plotting for Motorcourt Homes



Example home type/elevations for Motorcourt Homes

Example Multi-family attached home type: Interior Court Homes

Building configuration of attached homes with front doors facing an interior courtyard. Garages are accessed from an alley or private drive. Typically, three to four stories in height. PUOS typically provided in a porch, balcony, or roof deck. Appropriate in any Multi-family or Village Core zoning district.



Example home type/elevations for Interior Court Homes

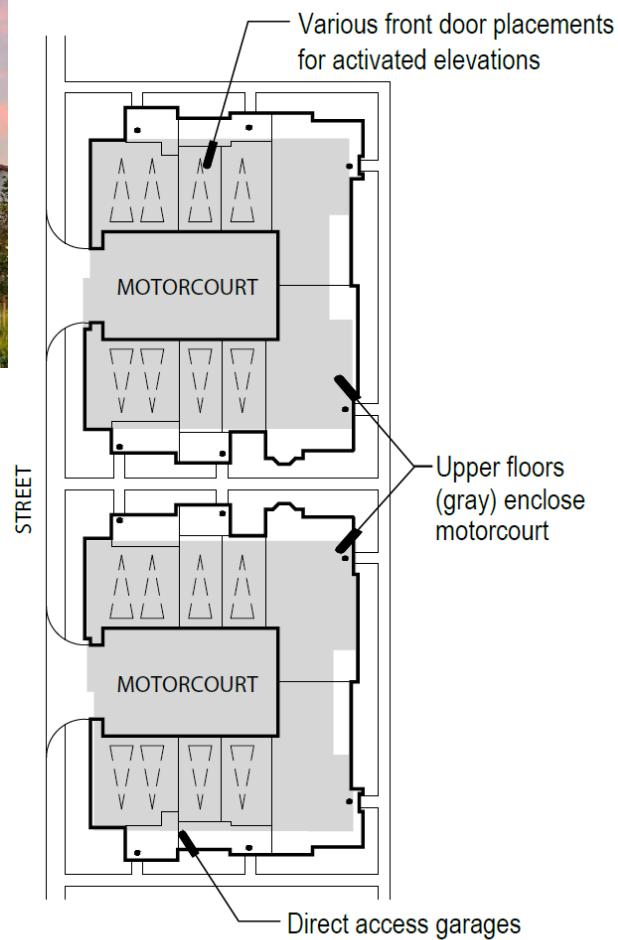
Example plotting for Interior Court Homes

Example Multi-family attached home type: Villa Homes

Building configuration of attached homes with garages accessed from an interior motor court with upper floors enclosing the parking area. Front doors face out on two to three sides of the building making the streetscape appear as a single large villa. Typically, three to four stories in height. PUOS typically provided in a porch, balcony, or roof deck. Appropriate in any Multi-family or Village Core zoning district.



Example home type/elevations for Villa Homes



Example plotting for Villa Homes

Example Multi-family attached home type: Courtyard Homes

Building configuration of attached homes with garages accessed from alleys or private drives allowing front doors and PUOS to face an interior courtyard. May include a variety of garage types including single car garages, two car garages, and tandem garages. Typically, three to four stories in height. PUOS typically provided in a porch, balcony, or roof deck. Appropriate in any Multi-family or Village Core zoning district.



Example home type/elevations for Courtyard Homes



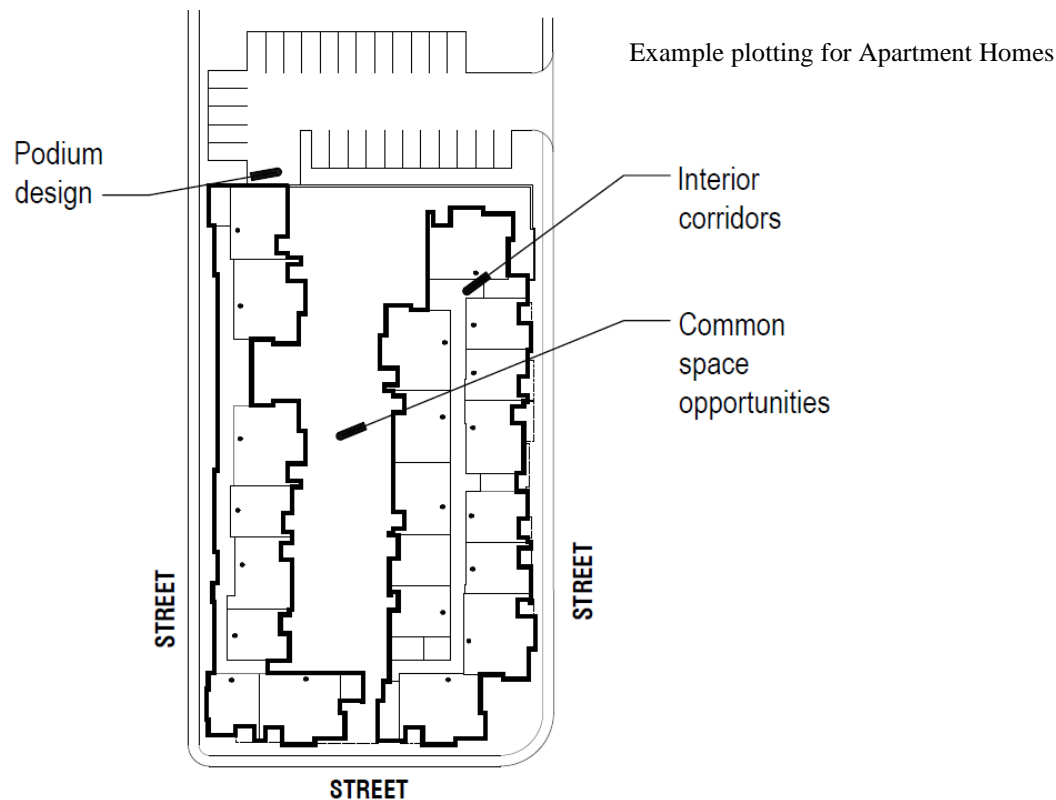
Example plotting for Courtyard Homes

Example Multi-family attached home type: Apartment Homes

Building configuration of attached apartment or condominium homes. Typically, parking is provided separately from the unit in garaged, covered, or open parking spaces. Front doors may be from the exterior of the building or interior corridors. Typically, three to five stories in height. PUOS typically provided in a porch, balcony, or roof deck. Appropriate in any Multi-family or Village Core zoning district based on density.

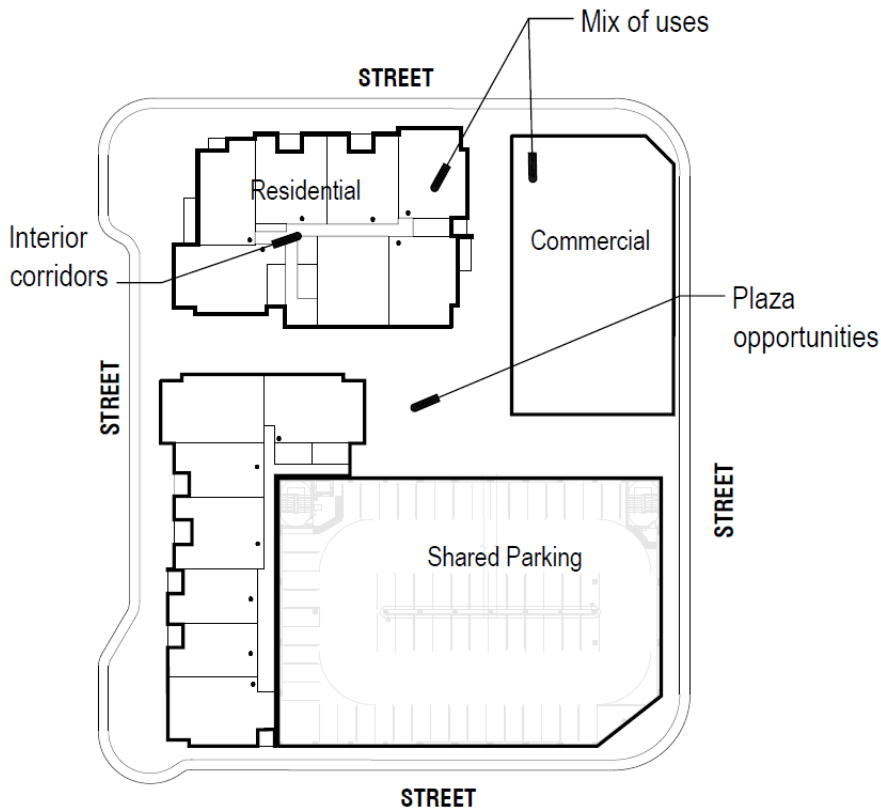


Example home type/elevations for Apartment Homes



Example attached combined uses: Horizontal and/or Vertical Mixed-Use

Appropriate for the Village Core residential and non-residential uses may be configured in a horizontal relationship that allows for shared parking (at-grade or structured). May be configured in a variety of ways to create a horizontal mixed-use setting (single use buildings next to each other) or a vertical mixed-use setting (retail ground floor on residential buildings). Typically, three to five stories in height. PUOS typically provided in a porch, balcony, or roof deck. Appropriate in the Village Core zoning district.



Example plotting for Mixed-Use Configurations

XII. Crime Prevention through Environmental Design

Both safety and security are key components of a quality lifestyle. Proper design and effective use of the built environment can reduce the fear and incidence of crime and thereby improve the overall quality of life. Crime Prevention through Environmental Design (CPTED) strategies and design objectives should be considered during the Design Review process.

Attachment “A”

Approved Plant List

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Fuel Modification (Zone 0)**Trees Not Permitted****Shrubs, Ornamental Grasses & Ground Covers**

Botanical Name	Common Name	FMZ	Notes
Aeonium arboreum	Tree Aeonium	0	
Agapanthus africanus	Lily-of-the-Nile	0	
Ajuga reptans 'Burgundy Glow'	Carpet Bugle	0	
Armeria maritima	Amie Thrift	0	
Anigozanthos species	Kangaroo Paw	0	
Aloe species	Aloe	0	
Asparagus densiflorus 'Myers'	Myers Asparagus	0	
Baccharis pilularis 'Pigeon Point'	Dwarf Coyote Brush	0	
Campanula portenschlagiana	Dalmation Bellflower	0	
Carex species	Sedge	0	
Carissa macrocarpa 'Green Carpet'	Prostrate Natal Plum	0	
Chondropetalum tectorum	Cape Rush	0	
Clivia miniata	Kaffir Lily	0	
Codiaeum variegatum 'Pictum'	Croton	0	
Cotoneaster dammeri 'Lowfast'	Bearberry Cotoneaster	0	
Crassula species	Crassula	0	
Dianella species	Flax Lily	0	
Dymondia margaretae	Dymondia	0	
Encelia californica	California Encelia	0	
Euphorbia species	Euphorbia	0	
Festuca glauca 'Elijah Blue'	Canyon Prince Wild Rye	0	
Festuca rubra	Creeping Red Fescue	0	
Furcraea foetida 'Mediopicta'	Variegated Mauritius Hemp	0	
Hedera helix 'Needle Point'	Dwarf English Ivy	0	
Hemerocallis hybrids	Daylily	0	
Hesperaloe species	Red Yucca	0	
Lantana 'Spreading Yellow'	Yellow Lantana	0	
Lavendula species	Lavender	0	
Limonium perezii	Seafoam Statice	0	
Liriope muscari	Big Blue Lily Turf	0	
Lomandra hystrix	Katie Belles	0	
Festuca 'Marathon II'	Dwarf Tall Fescue	0	
Myoporum parvifolium 'Putah Creek'	Creeping Myoporum	0	
Ophiopogon japonicus	Mondo Grass	0	
Osteospermum fruticosum	Trailing African Daisy	0	
Paspalum vaginatum 'Aloha'	Aloha Paspalum	0	
Pelargonium peltatum	Ivy Geranium	0	
Phyla nodiflora	Kurapia	0	
Portulacaria afra	Elephant's Food	0	

Senecio mandraliscae	Blue Chalksticks	0
Sisyrinchium bellum	Blue Eyed Grass	0
Strelitzia reginae	Bird of Paradise	0
Trachelospermum jasminoides	Star Jasmine	0
Tradescantia pallida 'Purpurea'	Purple Heart	0
Tulbaghia violacea	Sweet Garlic	0
Verbena species	Verbena	0
Vinca species	Periwinkle	0
Zantedeschia aethiopica	Common Calla	0

Fuel Modification (Zones 1 & 2)

Plant and seed material should be locally sourced to the greatest extent possible to avoid genetically compromising existing Preserve vegetation. Notes provided below must be adhered to and planting must be implemented in accordance with the Chula Vista Fire Department's fuel modification guidelines summarized in the Village 8 East Fire Protection Plan.

Trees

Botanical Name	Common Name	FMZ	Notes
Cercis occidentalis	Western Redbud	1	
Heteromeles arbutifolia	Toyon	*	See Note 'A' below
Parkinsonia x 'Desert Museum'	Desert Museum Palo Verde	1	
Platanus racemosa	California Sycamore	1	
Prosopis chilensis	Chilean Mesquite	1	
Prunus ilicifolia 'ilicifolia'	Hollyleaf Cherry	1	
Quercus agrifolia	Coast Live Oak	1	
Quercus engelmannii	Englemann Oak	1	
Rhus lancea	African Sumac	1	See Note 'B' below

Shrubs, Cacti & Ground Covers

Botanical Name	Common Name	FMZ	Notes
Agave attenuata	Foxtail Agave	1	
Atriplex semibacatta	Berry Saltbush	1 & 2	
Baccharis pilularis 'Pigeon Point'	Dwarf Coyote Brush	1	See Note 'C' below
Cotoneaster dammeri 'Lowfast'	Bearberry Cotoneaster	1	
Encelia californica	California Encelia	2	
Encelia farinose	Brittlebrush	1 & 2	
Epilobium californicum	California Fuschia	1 & 2	
Epilobium canum	California Fuschia	1 & 2	
Galvezia speciosa 'Fire Cracker'	Bush Snapdragon	2	
Heteromeles arbutifolia	Toyon	*	See Note 'A' below
Isomeris arborea	Bladder Pod	2	
Isocoma menziesii 'Manziesii'	Coast Goldenbush	2	
Iva hayesiana	San Diego Marsh Elder	*	
Limonium perezii	Seafoam Statice	1	

Myoporum parvifolium 'Putah Creek'	Creeping Myoporum	1	
Nassella pulchra	Purple Needle Grass	2	
Opuntia littoralis	Coastal Prickly Pear Cactus	2	See Note 'E' below
Opuntia oricola	No Common Name	2	See Note 'E' below
Phyla nodiflora	Kurapia	1	
Portulacaria afra 'Minima'	Elephant's Mat	2	
Rhamnus crocea	Redberry	*	
Rhus integrifolia	Lemonade Berry	*	
Rhus ovata	Sugarbush	*	
Salvia apiana	White Sage	2	See Note 'F' below
Simmondsia chinensis	Jojoba	*	See Note 'F' below
Trichostema lanatum	Woolly Blue Curls	*	
Viguiera laciniata	San Diego Sunflower	2	
Yucca schidigera	Mojave Yucca	1 & 2	
Yucca whipplei	Our Lord's Candle	1 & 2	

Hydroseed Application

Plant and seed material should be locally sourced to the greatest extent possible to avoid genetically compromising existing Preserve vegetation

Botanical Name	Common Name	FMZ	Notes
Acmispon americanus	Purshing's lotus	1	
Acmispon heermannii	Heerman's lotus	1	
Cryptantha intermedia	Common cryptantha	1	
Eschscholzia californica	Coastal California Poppy	1	
Helianthemum scoparium	Sun Rose	1	
Lasthenia gracilis	California Goldfields	1	
Lupinus bicolor	Miniature Lupine	1	
Sisyrinchium bellum	Blue Eyed Grass	1	
Corethrogyne filaginifolia	Sand Aster	2	
Encelia farinosa	California Encelia	2	
Ericameria palmeri	Palmer's goldenbush	2	
Eriophyllum confertiflorum	Golden Yarrow	2	
Galium angustifolium	Narrow leaved bedstraw	2	
Hazardia squarrosa	Sawtooth goldenbush	2	
Hemizonia fasciculata	Common Tarplant	2	
Isocoma menziesii	Menzies' goldenbush	2	
Iva hayesiana	San Diego Marsh Elder	*	
Lasthenia californica	Dwarf goldfields	2	
Lupinus excubitus	Grape soda lupine	2	
Viguiera laciniata	San Diego Sunflower	2	

Fuel Modification Notes:

- * Indicates larger shrubs that may be utilized in Zone 2, in cluster of no more than 400 SF

- A May be planted within Fuel Management Zone 1 up to 10% of the plant palette mix. No single mass shall exceed 400 sf. These shall be spaced such that the nearest shrub is no closer than the tallest shrub height (at maturity)
- B Plant acceptable on a limited basis (Max. 30% of the area at the time of planting)
- C Only local native shrub species will be utilized. No cultivars shall be permitted.
- D Plant acceptable on a limited basis (Max. 30% of the area at the time of planting)
- E Plants must be locally sourced
- F May be planted in limited quantities and must be properly spaced

Parks and CPF Sites

Trees

Botanical Name	Common Name	Notes
Arbutus 'Marina'	Marina Strawberry Tree	
Brachychiton populneus	Bottle Tree	
Cassia leptophylla	Gold Medallion Tree	
Citrus species	Citrus	
Cupaniopsis anacardioides	Carrotwood	
Dracaena draco	Dragon Tree	
Eriobotrya deflexa	Bronze Loquat	
Geijera parviflora	Australian Willow	
Jacaranda mimosifolia	Jacaranda	
Koelreuteria bipinnata	Chinese Flame Tree	
Lagerstroemia indica	Crape Myrtle	
Ligustrum lucidum	Glossy Privet	
Lophostemon confertus	Brisbane Box	
Magnolia grandiflora	Magnolia	
Metrosideros excelsa	New Zealand Christmas Tree	
Olea europea 'Willsonii'	Fruitless Olive	
Parkinsonia x 'Desert Museum'	Desert Museum Palo Verde	
Platanus acerifolia	London Plane Tree	
Platanus racemosa	California Sycamore	
Quercus agrifolia	Coast Live Oak	
Quercus engelmannii	Engelmann Oak	
Quercus ilex	Holly Oak	
Rhus lancea	African Sumac	
Tipuana tipu	Tipu Tree	
Ulmus parvifolia 'Drake'	Drake Evergreen Elm	

Shrubs, Cacti, Ornamental Grasses & Ground Covers

Botanical Name	Common Name	Notes
Agave attenuata	Foxtail Agave	
Aloe species	Aloe	
Anigozanthos species	Kangaroo Paw	

Baccharis pilularis 'Pigeon Point'	Dwarf Coyote Brush
Bougainvillea species	Bougainvillea
Callistemon citrinus 'Little John'	Little John Bottlebrush
Carex species	Sedge
Ceanothus cultivars	Ceanothus
Chondropetalum tectorum	Cape Rush
Cistus species	Rockrose
Clematis species	Evergreen Clematis Vine
Cordyline australis 'Atropurpurea'	Bronze Dracena
Cotoneaster dammeri 'Lowfast'	Bearberry Cotoneaster
Crassula species	Crassula
Cynodon dactylon 'Bandera'	Bandera Bermuda Turf
Dietes vegeta	Fortnight Lily
Echium fastuosum	Pride of Maderia
Encelia californica	California Encelia
Encelia farinosa	Brittlebrush
Euonymus species	Euonymus
Feijoa sellowiana	Pineapple Guava
Festuca species	Fescue
Festuca Aquawise 'Sportsclub Mix'	Aquawise Sports Turf
Festuca 'Marathon II'	Dwarf Tall Fescue
Ficus pumila	Creeping Fig
Grevillea 'Noellii'	Noel Grevillea
Grewia occidentalis	Lavender Starflower
Helichrysum petiolare 'Limelight'	Limelight Licorice Plant
Hesperaloe species	Red Yucca
Heteromeles arbutifolia	Toyon
Ilex species	Holly
Lantana species	Lantana
Leucophyllum species	Texas Ranger
Leymus condensatus 'Canyon Prince'	Canyon Prince Wild Rye
Ligustrum japonicum 'Texanum'	Texas Privet
Limonium perezii	Statice
Mahonia aquifolium	Oregon Grape
Mimulus cardinalis	Scarlet Monkeyflower
Muhlenbergia rigens	Deergrass
Myoporum parvifolium 'Putah Creek'	Creeping Myoporum
Myrtus communis	Myrtle
Nassella pulchra	Purple Needle Grass
Nephrolepis cordifolia	Sword Fern
Phormium species	New Zealand Flax
Paspalum vaginatum 'Seashore'	Aloha Seashore Paspalum
Phyla nodiflora 'Campagna Verde'	Kurapia
Pittosporum crassifolium 'Compactum'	Evergreen Pittosporum
Pittosporum tobira 'Wheeler's Dwarf'	Dwarf Tobira

Podocarpus 'Icee Blue' (Columnar)	Icee-Blue Yellow-Wood
Podocarpus macrophyllus 'Maki'	Shrubby Yew Pine
Portulcaria afra	Elephant's Food
Portulcaria afra 'Minima'	Elephant's Mat
Prunus caroliniana	Carolina Cherry
Pyracantha species	Firethorn
Rhaphiolepis indica	India Hawthorn
Rhaphiolepis umbellata 'Minor'	Dwarf Yedda Hawthorne
Rhus integrifolia	Lemonade Berry
Rhus ovata	Sugarbush
Rosmarinus species	Rosemary
Salvia apiana	White Sage
Scaevola 'Mauve Clusters'	Mauve Clusters Pincushion Flower
Strelitzia nicolai	Giant Bird of Paradise
Strelitzia reginae	Bird of Paradise
Tecoma species	Esperanza
Tecomaria capensis	Cape Honeysuckle
Thuja occidentalis 'Degroots Spire'	Degroots Spire Arbovitae
Trachelospermum jasminoides	Star Jasmine
Tulbaghia violacea	Sweet Garlic
Westringia fruticosa 'Mundi'	Low Coast Rosemary
Wisteria sinensis	Chinese Wisteria

Hydroseed Application

Plant and seed material should be locally sourced to the greatest extent possible to avoid genetically compromising existing Preserve vegetation

Botanical Name	Common Name	Notes
Acmispon americanus	Purshing's lotus	
Acmispon heermannii	Heerman's lotus	
Cryptantha intermedia	Common cryptantha	
Eschscholzia californica	Coastal California Poppy	
Helianthemum scoparium	Sun Rose	
Lasthenia gracilis	California Goldfields	
Lupinus bicolor	Miniature Lupine	
Sisyrinchium bellum	Blue Eyed Grass	
Corethrogyne filaginifolia	Sand Aster	
Encelia farinosa	California Encelia	
Ericameria palmeri	Palmer's goldenbush	
Eriophyllum confertiflorum	Golden Yarrow	
Galium angustifolium	Narrow leaved bedstraw	
Hazardia squarrosa	Sawtooth goldenbush	
Hemizonia fasciculata	Common Tarplant	
Isocoma menziesii	Menzies' goldenbush	
Ivy hayesiana	San Diego Marsh Elder	

Lasthenia californica	Dwarf goldfields
Lupinus excubitus	Grape soda lupine
Viguiera laciniata	San Diego Sunflower

HOA Common Area, Interior Plant Material

Streets

Trees

Botanical Name	Common Name
Arbutus 'Marina'	Marina Strawberry Tree
Lagerstromia indica 'Natchez'	Natchez Crape Myrtle
Lagerstromia indica 'Tuscarora'	Tuscarora Crape Myrtle
Magnolia grandiflora	Magnolia
Olea europea 'Willsonii'	Fruitless Olive
Pyrus calleryana 'Aristocrat'	Aristocrat Pear
Quercus agrifolia	Coast Live Oak
Quercus ilex	Holly Oak
Tipuana tipu	Tipu Tree
Ulmus parvifolia 'Drake'	Drake Evergreen Elm

Shrubs, Vines, Ornamental Grasses & Ground Covers

Botanical Name	Common Name
Carissa macrocarpa 'Boxwood Beauty'	Thornless Natal Plum
Clytostoma callistegiodes	Violet Trumpet Vine
Cynodon dactylon 'Bandera'	Bandera Bermuda Turf
Dianella species	Flax Lily
Distictus buccinatoria	Blood-Red Trumpet Vine
Distictus 'Rivers'	Royal Trumpet Vine
Festuca Aquawise 'Sportsclub Mix'	Aquawise Sports Turf
Festuca 'Marathon II'	Dwarf Tall Fescue
Ficus pumila	Creeping Fig
Ipomoea acuminata 'Blue Dawn'	Blue Dawn Morning Glory
Lantana 'Spreading Yellow'	Yellow Lantana
Leymus condensatus 'Canyon Prince'	Canyon Prince Wild Rye
Mandevilla species	Mandevilla Vine
Pandorea jasminoides 'Alba'	White Bower Vine
Paspalum vaginatum 'Seashore'	Aloha Seashore Paspalum
Phyla nodiflora 'Campagna Verde'	Kurapia
Senecio mandraliscae	Blue Chalk Sticks
Trachelospermum jasminoides	Star Jasmine

Manufactured Slopes

Trees

Botanical Name	Common Name
Arbutus 'Marina'	Marina Strawberry Tree
Geijera parviflora	Australian Willow

Lophostemon confertus	Brisbane Box
Metrosideros excelsa	New Zealand Christmas Tree
Parkinsonia x 'Desert Museum'	Desert Museum Palo Verde
Platanus racemosa	California Sycamore
Prosopis chilensis	Chilean Mesquite
Prunus ilicifolia 'ilicifolia'	Hollyleaf Cherry
Quercus agrifolia	Coast Live Oak
Rhus lancea	African Sumac

Shrubs, Ornamental Grasses & Ground Covers

Botanical Name	Common Name
Agave attenuata	Foxtail Agave
Aloe species	Aloe
Atriplex semibacatta	Berry Saltbush
Baccharis pilularis 'Pigeon Point'	Dwarf Coyote Brush
Bougainvillea 'Oo-La-La'	Prostrate Bougainvillea
Carissa macrocarpa 'Green Carpet'	Prostrate Natal Plum
Ceanothus cultivars	Ceanothus
Cistus species	Rockrose
Cotoneaster dammeri 'Lowfast'	Bearberry Cotoneaster
Echium fastuosum	Pride of Madeira
Encelia californica	California Encelia
Heteromeles arbutifolia	Toyon
Lantana 'Spreading Yellow'	Yellow Lantana
Leymus condensatus 'Canyon Prince'	Canyon Prince Wild Rye
Limonium perezii	Statice
Myoporum parvifolium 'Putah Creek'	Creeping Myoporum
Nassella pulchra	Purple Needle Grass
Phormium species	New Zealand Flax
Phyla nodiflora	Kurapia
Portulcaria afra 'Minima'	Elephant's Mat
Rhus integrifolia	Lemonade Berry
Rhus ovata	Sugarbush
Rosmarinus officinalis 'Huntington Carpet'	Prostrate Rosemary
Salvia apiana	White Sage
Simmondsia chinensis	Jojoba
Trachelospermum jasminoides	Star Jasmine

Hydroseed Application

Botanical Name	Common Name
Baileya multiradiata	Desert Marigold
Camissonia cheiranthifolia	Beach Evening Primrose
Encelia farinosa	California Encelia
Eriophyllum confertiflorum	Golden Yarrow
Eschscholzia californica	California Poppy
Gaillardia pulchella	Indian Blanket
Gazania splendens	Gazania Splendens

Lasthenia californica
 Limonium californicum
 Linaria maroccana
 Lobularia maritima
 Lupinus excubitus
 Verbena tenuisecta
 Viguiera laciniata

Dwarf goldfields
 Coastal Statice
 Toad Flax
 Sweet Alyssum
 Grape soda lupine
 Moss Verbena
 San Diego Sunflower

Private Development Areas

Trees

Botanical Name	Common Name
Albizia julibrissin 'Rosea'	Silk Tree
Arbutus 'Marina'	Marina Strawberry Tree
Bauhinia variegata	Purple Orchid Tree
Betula pendula	European White Birch
Brachychiton populneus	Bottle Tree
Calodendrum capense	Cape Chestnut
Cassia leptophylla	Gold Medallion Tree
Chitalpa tashkentensis	Chitalpa
Citrus species	Citrus
Cupaniopsis anacardioides	Carrotwood
Dracaena draco	Dragon Tree
Eriobotrya deflexa	Bronze Loquat
Geijera parviflora	Australian Willow
Hesperaloe species	Red Yucca
Jacaranda mimosifolia	Jacaranda
Koelreuteria bipinnata	Chinese Flame Tree
Lagerstroemia indica 'Muskogee'	Lavender Crape Myrtle
Lagerstroemia indica 'Natchez'	Natchez Crape Myrtle
Lagerstroemia indica 'Tuscarora'	Tuscarora Crape Myrtle
Laurus nobilis 'Saratoga'	Saratoga Sweet Bay
Lophostemon confertus	Brisbane Box
Ligustrum lucidum	Glossy Privet
Magnolia grandiflora	Magnolia
Maytenus boaria	Mayten Tree
Melaleuca nesophila	Pink Melaleuca
	New Zealand Christmas Tree
Metrosideros excelsa	
Olea europea 'Willsonii'	Fruitless Olive
Parkinsonia x 'Desert Museum'	Desert Museum Palo Verde
Pistacia chinensis	Chinese Pistache
Platanus acerifolia	London Plane Tree
Platanus racemosa	California Sycamore
Podocarpus gracilior	Fern Pine
Prosopis chilensis	Chilean Mesquite
Prunus caroliniana	Carolina Cherry
Prunus ilicifolia 'ilicifolia'	Hollyleaf Cherry
Pyrus calleryana 'Aristocrat'	Aristocrat Pear

<i>Pyrus calleryana</i> 'Chanticleer'	Chanticleer Ornamental Pear
<i>Pyrus kawakamii</i> (Espalier)	Evergreen Pear
<i>Quercus agrifolia</i>	Coast Live Oak
<i>Quercus ilex</i>	Holly Oak
<i>Rhus lancea</i>	African Sumac
<i>Robina pseudoacacia</i> 'Purple Robe'	Black Locust
<i>Sapium sebiferum</i>	Chinese Tallow Tree
<i>Schinus molle</i>	California Pepper Tree
<i>Spathodea campanulata</i>	African Tulip Tree
<i>Stenocarpus sinuatus</i>	Firewheel Tree
<i>Tipuana tipu</i>	Tipu Tree
<i>Tulbaghia violacea</i>	Sweet Garlic
<i>Ulmus parvifolia</i> 'Drake'	Drake Evergreen Elm

Palm Trees

Botanical Name	Common Name
<i>Archontophoenix cunninghamiana</i>	King Palm
<i>Ceratozamia hildae</i>	Bamboo Cycad
<i>Chamadorea seifrizii</i>	Bamboo Palm
<i>Chamaerops humilis</i> 'Multi-Trunk' **	Mediterranean Fan Palm
<i>Cycas revoluta</i>	Sago Palm
<i>Howea forsteriana</i>	Kentia Palm
<i>Neodypsis decaryi</i> **	Triangle Palm
<i>Phoenix dactylifera</i> 'Medjool' **	Medjool Date Palm
<i>Phoenix roebelenii</i>	Pigmy Date Palm
<i>Rhapis excelsa</i>	Lady Palm
<i>Syagrus romanzoffianum</i> **	Queen Palm
<i>Trachycarpus fortunei</i> **	Windmill Palm
<i>Zamia furfuracea</i>	Cardboard Palm

** Indicates large species of palm trees. These species of palm shall be no closer than 10 feet to nearest structure roof line and to be maintained to remove dead fronds and keep trunk skinned (smooth) with no accumulation of dead material.

Shrubs & Vines

Botanical Name	Common Name
<i>Aeonium arboreum</i>	Tree Aeonium
<i>Agapanthus africanus</i>	Lily-of-the-Nile
<i>Agave species</i>	Century Plant
<i>Anigozanthos species</i>	Kangaroo Paw
<i>Aloe species</i>	Aloe
<i>Antigonon leptopus</i>	Coral Vine
<i>Asparagus densiflorus</i> 'Myers'	Myers Asparagus
<i>Aspidistra elatior</i>	Cast Iron Plant
<i>Azalea species</i>	Azalea
<i>Bambusa multiplex</i> 'Golden Goddess'	Golden Goddess Bamboo
<i>Bougainvillea species</i>	Bougainvillea

Buxus species
Calliandra haematocephala
Callistemon citrinus 'Little John'
Ceanothus cultivars
Chondropetalum tectorum
Cistus species
Clematis species
Clivia miniata
Clytostoma callistegiodes
Codiaeum variegatum 'Pictum'
Coleonema album
Cordyline australis 'Atropurpurea'
Crassula species
Cuphea hyssophylla
Cyperus species
Diets vegeta
Distictus buccinatoria
Distictus 'Rivers'
Echium fastuosum
Encelia californica
Euonymus species
Euphorbia species
Fatsia japonica
Feijoa sellowiana
Ficus pumila
Furcraea foetida mediopicta
Grevillea 'Noellii'
Grewia occidentalis
Helichrysum petiolare 'Limelight'
Hemerocallis hybrids
Heteromeles arbutifolia
Ilex species
Ipomoea acuminata 'Blue Dawn'
Lantana species
Lavendula species
Leucophyllum species
Ligustrum japonicum 'Texanum'
Limonium perezii
Liriope muscari
Macfadyena unguis-cati
Mahonia aquifolium
Mandevilla species
Myrtus communis
Nandina domestica
Nephrolepis cordifolia
Pandorea jasminoides 'Alba'
Phormium species
Philodendron species
Pittosporum crassifolium 'Compactum'

Boxwood
Pink Powder Puff
Little John Bottlebrush
Ceanothus
Cape Rush
Rockrose
Evergreen Clematis Vine
Kaffir Lily
Violet Trumpet Vine
Croton
White Breath of Heaven
Bronze Dracena
Crassula
False Heather
Papyrus
Fortnight Lily
Blood-Red Trumpet Vine
Royal Trumpet Vine
Pride of Madeira
California Encelia
Euonymus
Euphorbia
Japanese Aralia
Pineapple Guava
Creeping Fig
Variegated Mauritius Hemp
Noel Grevillea
Lavender Starflower
Limelight Licorice Plant
Daylily
Toyon
Holly
Blue Dawn Morning Glory
Lantana
Lavender
Texas Ranger
Texas Privet
Statice
Big Blue Lily Turf
Cat's Claw
Oregon Grape
Mandevilla Vine
Myrtle
Heavenly Bamboo
Sword Fern
White Bower Vine
New Zealand Flax
Philodendron
Evergreen Pittosporum

Pittosporum tobira 'Wheeler's Dwarf'	Dwarf Tobira
Podocarpus 'Icee Blue' (Columnar)	Icee-Blue Yellow-Wood
Podocarpus macrophyllus 'Maki'	Shrubby Yew Pine
Portulcaria afra	Elephant's Food
Prunus caroliniana	Carolina Cherry
Pyracantha species	Firethorn
Rhaphiolepis indica	India Hawthorn
Rhaphiolepis umbellata 'Minor'	Dwarf Yedda Hawthorne
Rhus integrifolia	Lemonade Berry
Rhus ovata	Sugarbush
Rosa species	Rose
Rosmarinus species	Rosemary
Salvia apiana	White Sage
Sansevieria trifasciata	Bowstring Hemp
Scaevola 'Mauve Clusters'	Mauve Clusters Pincushion Flower
Shefflera species	Schefflera
Simmondsia chinensis	Jojoba
Strelitzia nicolai	Giant Bird of Paradise
Strelitzia reginae	Bird of Paradise
Tecoma species	Esperanza
Tecomaria capensis	Cape Honeysuckle
Thuja occidentalis 'Degroots Spire'	Degroots Spire Arbovitae
Wisteria sinensis	Chinese Wisteria
Westringia fruticosa 'Mundi'	Low Coast Rosemary
Yucca species	Yucca
Zantedeschia aethiopica	Common Calla

Ornamental Grasses

Botanical Name	Common Name
Aristida pupurea	Purple Three-Awn
Bouteoua gracilis	Blond Ambition Grass
Carex species	Sedge
Dianella species	Flax Lily
Festuca glauca 'Elijah Blue'	Canyon Prince Wild Rye
Festuca rubra	Creeping Red Fescue
Leymus condensatus 'Canyon Prince'	Blue Fescue
Lomandra hystrix	Katie Belles
Muhlenbergia species	Muhly Grass
Nassella pulchra	Purple Needle Grass
Ophiopogon japonicus	Mondo Grass
Pennisetum setaceum 'Sterile Green'	Sterile Green Fountain Grass
Sisyrinchium bellum	Blue Eyed Grass

Sprawling Shrubs & Ground Covers

Botanical Name	Common Name
Acacia redolens 'Desert Carpet'	Prostrate Acacia
Ajuga reptans 'Burgandy Glow'	Carpet Bugle

Armeria maritima	Amie Thrift
Atriplex semibacatta	Berry Saltbush
Baccharis pilularis 'Pigeon Point'	Dwarf Coyote Brush
Bougainvillea 'Oo-La-La'	Prostrate Bougainvillea
Campanula portenschlagiana	Dalmation Bellflower
Carissa macrocarpa 'Green Carpet'	Prostrate Natal Plum
Cotoneaster dammeri 'Lowfast'	Bearberry Cotoneaster
Dymondia margaretae	Dymondia
Festuca Marathon II	Dwarf Tall Fescue
Hedera helix 'Needle Point'	Dwarf English Ivy
Lantana 'Spreading Yellow'	Yellow Lantana
Myoporum parvifolium 'Putah Creek'	Creeping Myoporum
Osteospermum fruticosum	Trailing African Daisy
Paspalum vaginatum 'Aloha'	Aloha Paspalum
Pelargonium peltatum	Ivy Geranium
Phyla nodiflora 'Campagna Verde'	Kurapia
Portulcaria afra 'Minima'	Elephant's Mat
Rosmarinus officinalis 'Huntington Carpet'	Prostrate Rosemary
Salvia apiana	White Sage
Senecio mandraliscae	Blue Chalksticks
Trachelospermum jasminoides	Star Jasmine
Tradescantia pallida 'Purpurea'	Purple Heart
Verbena species	Verbena
Vinca species	Perwinkle

OTAY RANCH VILLAGE 8 EAST

Supplemental Public Facilities Finance Plan

April 2024

PREPARED FOR:
HOMEFED OTAY LAND II, LLC
1903 Wright Place, Suite 220
Carlsbad, CA 92008

Adopted on December 2, 2014
By Resolution No. 2014-235

Amended XX
By Resolution No. XX



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I. OVERVIEW

The Village 8 (Village 8 West and Village 8 East) portion of Otay Ranch (“Project Area”) was originally entitled when the Otay Ranch General Development Plan (“GDP”)/Otay Subregional Plan (“SRP”) was adopted by the Chula Vista City Council and San Diego County Board of Supervisors in 1993. The Village 8 East Sectional Planning Area (2014 SPA) Plan, Public Facilities Financing Plan (“2014 PFFP”) and Village 8 East Tentative Map (CVT No. 13-03) were approved by the Chula Vista City Council on December 14, 2014. The Chula Vista City Council also certified the Final Environmental Impact Report (13-01; November 2014) (“FEIR”), which contains a comprehensive disclosure and analysis of potential environmental effects associated with implementation of Village 8 East.

This Supplemental Public Facility Finance Plan (“2023 PFFP”) addresses changes to the public facility needs associated with the Village 8 East SPA Plan Amendment (“2023 SPA”) proposed by HomeFed Otay Land II, LLC (“Applicant”). The Applicant prepared an Addendum to FEIR 13-03 for the Proposed Project, as well as technical memos and reports that address the proposed changes to the Village 8 East.

The 2014 PFFP was prepared consistent with the requirements of the Chula Vista Growth Management Program and Chapter 9, Growth Management of the Otay Ranch General Development Plan. The preparation of the 2023 PFFP is required in conjunction with the preparation of the SPA Plan Amendment for the Proposed Project to ensure that the phased development of the Proposed Project is consistent with the overall goals and policies of the City of Chula General Plan (“CVGP”) and the Otay Ranch GDP, which may be amended from time to time to ensure that the development of the Proposed Project will not adversely impact City public facilities and services. In 2022, the Chula Vista City Council repealed the Growth Management Ordinance, as such, there are no longer threshold standards. This 2023 PFFP meets the Otay Ranch GDP policy objectives.

This 2023 PFFP is based on the phasing and information presented in the Otay Ranch GDP, CVGP and Village 8 East SPA Amendments, dated December 2023. The Applicant prepared technical analyses to determine whether the proposed amendments resulted in any changes to financing, constructing or maintaining public facilities within Village 8 East. The Applicant-prepared technical analyses for the Proposed Project which are relevant to the 2023 PFFP are discussed further below and include the following:

- TM Drainage Study for Otay Ranch-Village 8 East prepared by Hunsaker and Associates, 2023
- PDP SWQMP for Otay Ranch Village 8 East prepared by Hunsaker and Associates, 2023
- Otay Ranch Village 8 East Trip Generation Review and Project Information Form prepared by Chen-Ryan, 2023
- Otay Ranch 8 East SPA Amendment Water Evaluation prepared by Dexter Wilson Engineering, Inc, 2023

- Otay Ranch Village 8 East SPA Amendment Sewer Evaluation prepared by Dexter Wilson Engineering, Inc, 2023
- Village 8 East – Fiscal Impact Summary Report, Development Planning & Financing Group, 2023

These technical analyses supplement the technical reports associated with the 2014 Project approvals and 2014 PFFP and demonstrate that proposed changes to the Proposed Project do not result in changes to Mitigation Measures, Conditions of Approval or Thresholds established in the 2014 PFFP.

II. PURPOSE

Preparation of a Public Facilities Finance Plan is required by Chula Vista Municipal Code (“CVMC”) Chapter 19.92. The purpose of the PFFP is to establish compliance mechanisms and standards to ensure public facilities, infrastructure and services will exist, or concurrently be provided, to meet the demands of infrastructure and climate protection generated by new development. Similarly, amendments to a SPA Plan require an amendment or supplement to the PFFP. The purpose of this Supplemental PFFP is to update and clarify the adopted 2014 PFFP to address changes to the Project.

In the City of Chula Vista, the PFFP is intended to ensure adequate levels of service are achieved for all public services and facilities impacted by a project. It is understood that assumed growth projections and related public facilities needs are subject to several external factors, such as the local economy, the City’s future land use approval decisions, etc. It is also understood that funding sources specified herein may change due to financing programs available in the future or requirements of either state or federal laws. It is intended that revisions to cost estimates and funding programs be handled as administrative revisions whereas revisions to the facilities-driven growth phases are accomplished through an update process via an amendment or supplement to the PFFP.

III. LAND USE ASSUMPTIONS

This 2023 PFFP supplements the Village 8 East PFFP adopted on December 2, 2014. The Proposed Project includes amendments to the Chula Vista General Plan, Otay Ranch GDP and Village 8 East SPA Plan and also includes Village 8 East Tentative Map CVT No. 22-0005. In 2020, the Chula Vista City Council approved the transfer of 284 multi-family units from Village 8 East to Village 8 West by Resolution No. 2020-033. This approved intensity transfer resulted in a reduction in the authorized residential dwelling units within Village 8 East from 3,560 to 3,276.

A. Village 8 East Proposed Land Use Plan

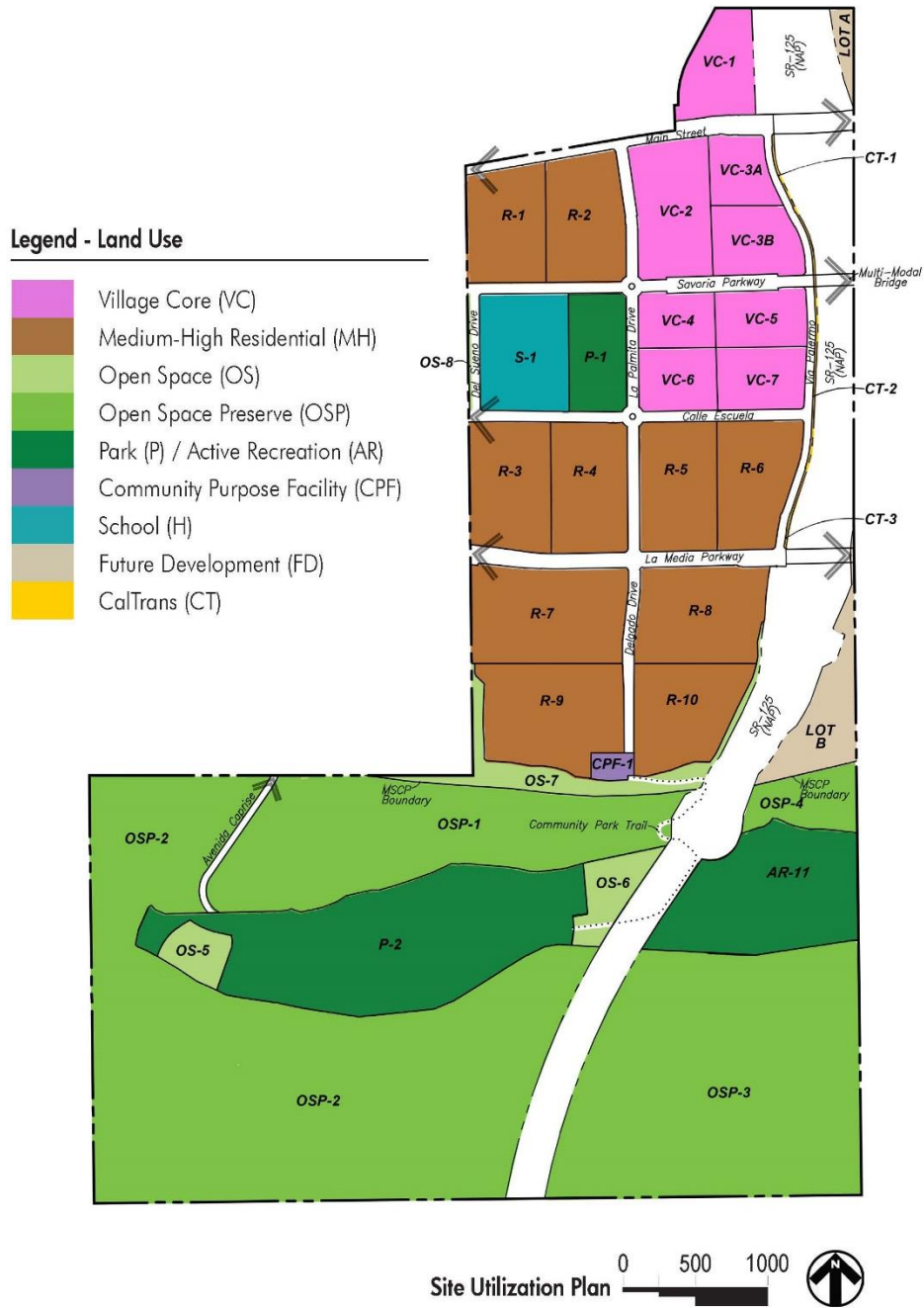
The Proposed Project’s land use plan would allow for the construction of 3,276 multiple-family units (of which 1,348 are planned in a Village Core setting), 11.3 acres for a school;

a 1.2 acre Community Purpose Facility (“CPF”) site; 73.2 acres of public parkland; 16.4 acres of open space/basins, 253.6 acres of preserve open space land and 20,000 SF of commercial/retail uses in the Village Core area, consistent with the 2014 approvals. The Proposed Project would extend Main Street in its current alignment, includes a minor realignment of La Media Road, maintains La Palmita Drive in its approximately alignment, and modifies the alignment and classifications of internal village streets. See the Proposed **Exhibit 1: Proposed Village 8 East Site Utilization Plan** and **Table 1: Proposed Village 8 East Site Utilization Table**.

In order to address the changes related to the proposed land use plan, several assumptions were made. These assumptions play a role in determining public facility needs and phasing of those facilities and are summarized below.

- Maintain a total of 3,276 authorized units within Village 8 East.
- Reconfigure the mixed-use area and designate the Village Core.
- Realign the former pedestrian bridge, designate it a Multi-Modal Bridge to accommodate Neighborhood Electric Vehicles (“NEV”), bicycles and pedestrians and expand the width to 17 feet.
- Eliminate the traditional single-family lots and introduce new, innovative attached and detached residential projects with revised residential densities to reflect the current market conditions.
- Modify the eastern edge of Village 8 East to accommodate the SR-125 couplet interchange design between Main Street and La Media Parkway.
- Update the pedestrian, bicycle and NEV circulation network to improve connectivity between Village 8 East and Village 8 West

The 2023 land use plan will create a viable mixed-use Village Core that will create a strong sense of place for the residents of Village 8 East and surrounding communities and meet the market demand for a wider variety of multi-family housing types and retail uses. **Table 2: Comparison of Village 8 East Development**, compares the 2014 Project with the proposed Village 8 East land uses.



Update to Exhibit 3 (2014 PFFP, Page 15)

Exhibit 1: Proposed Village 8 East Site Utilization Plan

Table 1 – Proposed Village 8 East Site Utilization Plan

Parcel	Permitted Density Range	Estimated Units ¹	Gross Acres ²	Estimated Density ³
Medium High Multi-Family Residential				
R-1	11-18 du/ac	154	9.9	15.6
R-2	11-18 du/ac	163	10.7	15.2
R-3	11-18 du/ac	162	11.4	14.2
R-4	11-18 du/ac	147	10.9	13.5
R-5	11-18 du/ac	155	11.0	14.1
R-6	11-18 du/ac	143	10.3	13.9
R-7	11-18 du/ac	226	15.8	14.3
R-8	11-18 du/ac	176	14.0	12.6
R-9	11-18 du/ac	196	15.4	12.7
R-10	11-18 du/ac	142	11.5	12.3
Total MH		1,664	120.9	13.8
Village Core⁴				
VC-1	18-45 du/ac.	275	7.6	36.2
VC-2	18-45 du/ac.	430	11.3	38.1
VC-3A	18-45 du/ac.	161	5.5	29.3
VC-3B ⁵	18-45 du/ac.	0	5.6	0.0
VC-4	18-45 du/ac.	192	4.5	42.7
VC-5 ⁵	18-45 du/ac.	0	5.7	0.0
VC-6	18-45 du/ac.	142	5.3	26.8
VC-7	18-45 du/ac.	148	6.0	24.7
Total VC		1,348	51.5	26.2
Subtotal Residential		3,012	172.4	
Other				
Community Purpose Facility⁶				
CPF-1			1.2	
Subtotal CPF			1.2	
Parks				
P-1 ⁷			7.3	
P-2 ¹¹			43.3	
AR-11			22.6	
Total Parks			73.2	
School				
S-1 ^{7 8}		264	11.3	

Table 1: Village 8 East Site Utilization Table (Continued)

Parcel	Permitted Density Range	Estimated Units ¹	Gross Acres ²	Estimated Density ³
Open Space				
MSCP Preserve OS (Lots 1-4)			253.6	
Manufactured/Basin OS (Lots 5-8) ⁹			16.4	
Total Open Space			270.0	
Circulation				
Internal			22.5	
External			9.2	
Total Circulation			31.7	
CALTRANS LOTS (to be dedicated)				
CT-1			1.7	
CT-2			0.1	
CT-3			1.9	
Total CALTRANS Lots			3.7	
Future Development				
Lot A			1.0	
Lot B			8.4	
Total Future Development			9.4	
Subtotal Other			400.5	
OVERALL SPA TOTAL¹⁰		3,276	572.9	

Notes:

¹ Estimated Units are provided for planning purposes only, do not represent the final unit allocation for each parcel and shall not be used to limit or restrict the final units allocated to any parcel.; The final unit allocation must remain consistent with the permitted density range applicable to the parcel. The final unit allocation shall be determined during Design Review and shall be documented in the Unit Tracking Table (Village 8 East SPA Plan, Attachment 1). Revisions to the Site Utilization Table shall not be required based on changes to the Estimated Units presented herein.

² Final acreage information to be determined during final engineering. Acreage may vary due to rounding. Residential and Village Core gross acreage includes approximately 15.3 of perimeter open space areas. Open space easements shall be recorded over perimeter open space slopes to be maintained by the Master HOA or a Sub-Association, as determined during final design.

³ Estimated Density calculated based on gross parcel acreage. Final density to be determined during Design Review.

Notes:

⁴ 20,000 SF of commercial uses are authorized within Village 8 East. Commercial SF may be developed within a single parcel designated VC or distributed among any parcel designated VC (VC-1 through VC-7). The final distribution of commercial SF to be determined during Design Review. The “Permitted Density Range” is not applicable to VC parcels with no residential units.

⁵ VC-3B and VC-5 are anticipated to be developed with non-residential uses only, consistent with the Village Core zoning district. The “Permitted Density Range” is not applicable to VC parcels with no residential units.

⁶ Per the Land Offer Agreement (7/8/2014), the Village 8 East SPA Plan shall designate 4.0 acres of CPF land. The Applicant is proposing to meet a portion of the Village 8 East CPF obligation by designating the 1.2-acre CPF-1 site as a private recreation facility. The remaining 2.8 acre CPF obligation shall be addressed in a separate agreement between the Applicant and the City of Chula Vista.

⁷ Both the Village 8 East SPA Plan and Tentative Map include the “Proposed” and “Alternative” configuration and acreage for the S-1 School Site and P-1 Neighborhood Park. Either the Proposed or Alternative may be implemented without the need for an amendment to the SPA Plan or TM. If the proposed configuration is implemented, the S-1 site would be 10.0 acre (net) and the P-1 park site would be 6.5 acre (net); however, if the alternative configuration is implemented, the S-1 site would be 12.0 acres (net) and the P-1 park site would be 4.6 acres (net). The final neighborhood park acreage shall be addressed in a separate agreement between the Applicant and the City of Chula Vista.

⁸ The S-1 school site has an underlying residential land use designation of High Residential. If the site is not developed as a school site, then it shall be developed as residential; however, if the site is developed as an elementary school, then the 264 units may be reallocated to another Village 8 East parcel or transferred to another village, as permitted in the Village 8 East PC District Regulations, Chapter 10, Implementation.

⁹ A portion of the Edge Trail and associated overlook features (approximately 1.76 acres) are included within the 8.2-acre OS-7 parcel. The Edge Trail area shall be secured with a public access easement and the 1.76 acres shall satisfy a portion of the Village 8 East park obligation. The 1.76-acre Edge Trail area is not counted toward meeting the Village 8 East open space requirement.

¹⁰ Village 8 East acreage adjusted from approved 2014 development area to reflect changes in SR-125 ROW and to facilitate the future SR-125 ROW Decertification process.

¹¹ The P-2 Community Park / OS-6 Alternative would be implemented only upon City approval of the Alternative Compliance Program (“ACP”) Permit and Rough Grading Storm Water Quality Management Plan (“SWQMP”) (See TM Sheet 6 for additional details). This would increase the P-2 Community Park parcel to 47.4 acres (gross) and 39.0 acres (net) and correspondingly decrease the OS-6 parcel to 4.8 acres (gross) and 0.7 acres (gross).

Table 2: Comparison of Village 8 East Development (2014 vs. Proposed)

Land Use	2014 SPA Plan Land Uses		Proposed 2023 SPA Plan Land Uses		2014 vs. Proposed Land Uses	
	Acres	Units ¹	Acres	Units	Acres ²	Units
Medium Residential	124.9	918	0	0	-124.9	-918
Medium High Residential	2.1	25	132.2	1,664	+130.1	+1,639
High Residential/School Site	10.8		11.3	264	+0.5	+264
Village Core	65.2	2,333	62.7	1,348	-2.5	-985
Public Neighborhood Park	7.3	0	7.3	0	0	0
Public Community Park	51.5		43.3		-8.2	
Active Recreation (AR-11)	22.6		22.6		0	
Manufactured Open Space	11.2	0	16.4	0	+5.2	0
Open Space Preserve	253.6		253.6		0	
Community Purpose Facility	4.5	0	1.2	0	-3.3	0
Other ³	21.6		22.3		+0.7	
TOTAL	575.3	3,276	572.9	3,276	-2.4	0

[Note: Table updated per plan revisions – changes not shown in redline]

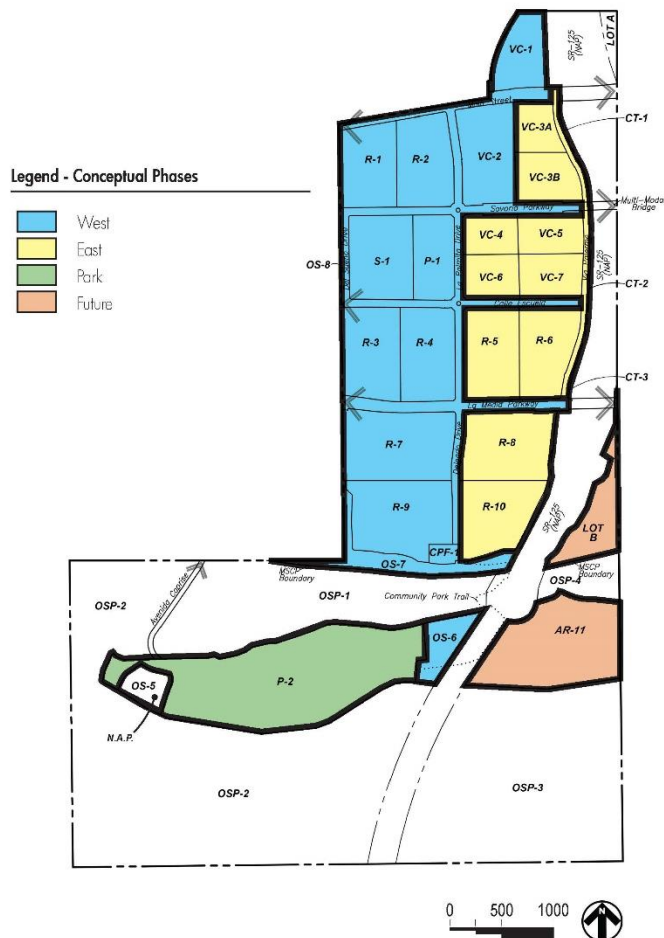
¹ The 2014 Land Uses reflects the 284-unit reduction in the Residential High General Plan Land Use Designation within Village 8 East.

² The Proposed Project includes 2.4 acres less than the 2014 SPA Plan due to changes in SR-125 ROW.

³ Other category includes Future Development Lots A and B, external circulation and CALTRANS Lots 1-3.

B. Development Phasing

Development of the 2023 SPA Plan may be completed in several, non-sequential phases to ensure construction of necessary infrastructure and amenities for each phase as development progresses. **Exhibit 2, Proposed Conceptual Phasing Plan**, presents the phasing plan based on the 2023 SPA Plan. Parcels may be graded as part of a larger development phase and developed over several years.



Update to Exhibit 4 (2014 PFFP, Page 18)

Exhibit 2: Proposed Conceptual Phasing Plan

WEST PHASE		
Parcel	Estimated Units	Commercial SF (K)
R-1	154	
R-2	163	
R-3	162	
R-4	147	
R-7	226	
R-9	196	
VC-1	275	
VC-2	430	
S-1	264	
P-1	0	
CPF-1	0	
Subtotal West Phase	2,017	10

EAST PHASE		
Parcel	Estimated Units	Commercial SF (K)
R-5	155	
R-6	143	
R-8	176	
R-10	142	
VC-3A	161	
VC-3B	0	
VC-4	192	
VC-5	0	
VC-6	142	
VC-7	148	
Subtotal East Phase	1,259	

COMMUNITY PARK PHASE		
Parcel	Estimated Units	Commercial SF (K)
P-2	0	

TOTAL	3,276	10
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C. Discretionary Actions

Discretionary actions which require City Council and/or Planning Commission consideration and/or approval include an Addendum to EIR 13-01; SCH No. 2013071077, University Villages Project Comprehensive SPA Amendment, amendments to the City of Chula Vista General Plan, the Otay Ranch General Development Plan, the Otay Ranch Village 8 East SPA Plan and applicable SPA Appendices, approval of Village 8 East Tentative Map CVT No. 22-0005 and a Development Agreement amendment.

IV. FACILITY ANALYSIS

The following section presents updated public facility information for traffic, police, fire and emergency services, schools, libraries, parks, trails & open space, water, sewer, drainage, air quality, civic center, corporate yard and other public facilities. The fiscal analysis prepared for the proposed project is also discussed below.

A. Traffic

The circulation element roadways serving the Proposed Project includes Main Street and Otay Valley Road. The Main Street alignment would remain consistent with the 2014 SPA Plan; however, the proposed project would include modifications to the pedestrian and bicycle improvements along Main Street. La Media Parkway would be realigned to the north to facilitate the SR-125 couplet/parallel street system interchange design between Main Street and La Media Parkway. The La Media Parkway improvements have been modified to provide a transition between Village 8 West and Village 8 East. In addition, with the exception of the main spine road (La Palmita Drive), the 2023 SPA Plan and TM include minor alignment changes to internal streets. **Table 3: Street Classification Recommendations** provides the backbone street classifications analyzed in the 2014 EIR vs. the proposed backbone street classifications.

Table 3: Street Classification Recommendations

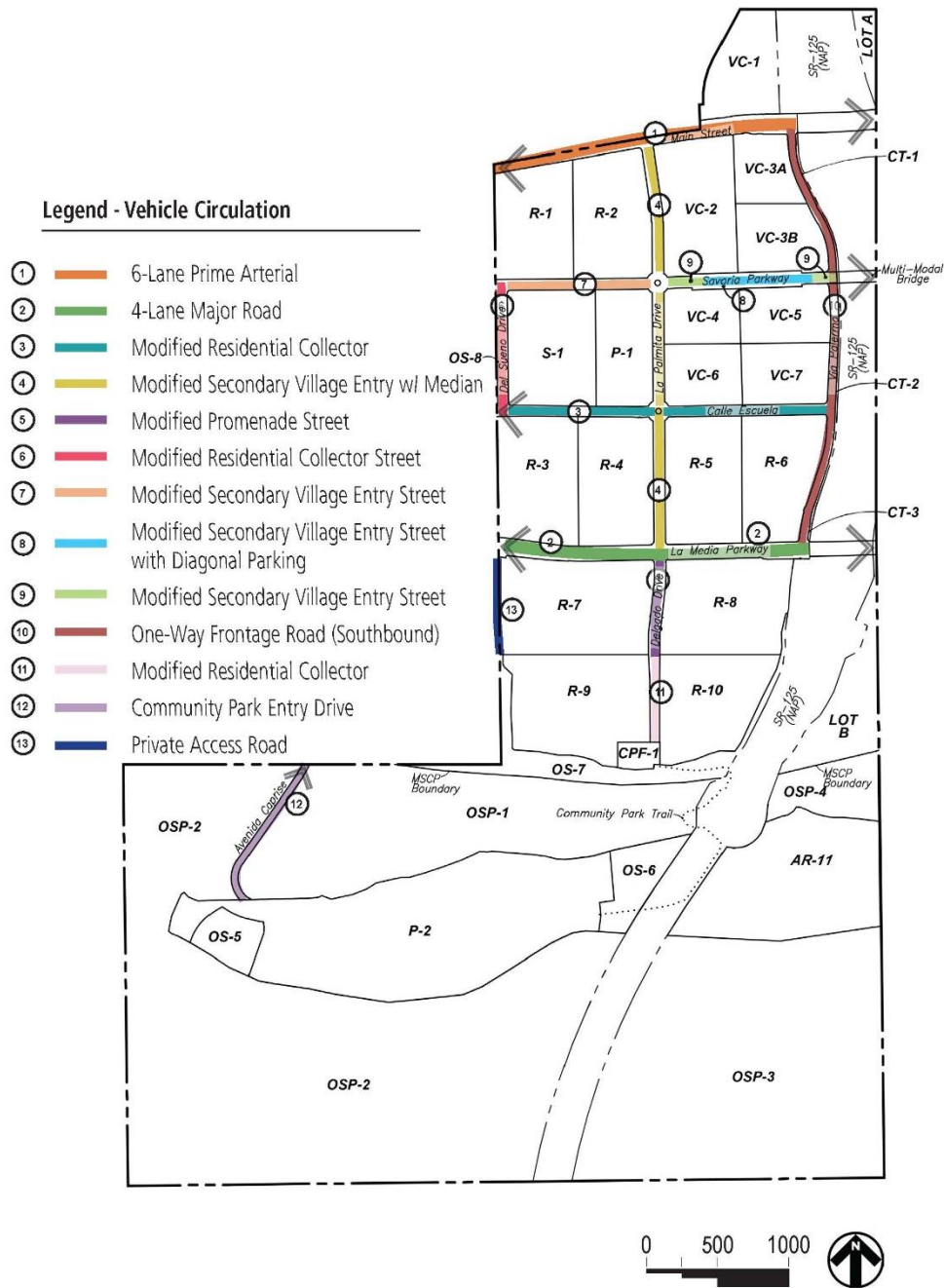
VILLAGE 8 EAST INTERNAL ROADWAY SEGMENT PERFORMANCE from UNIVERSITY VILLAGES TIA						VILLAGE 8 EAST INTERNAL ROADWAY SEGMENT PERFORMANCE - SEPTEMBER 2023 Equivalent					
Internal Roadway	Segment	Estimated ADT	Recommended Classification	LOS D Threshold	LOS	Internal Roadway	Segment	Estimated ADT	Recommended Classification	LOS D Threshold	LOS
Santa Marisol	from Main Street to Caraway Street	19,300	Secondary Village Entry w/ Median(4-Lane)	24,800	B	La Palmita Drive	Between Main Street and Savoria Parkway	8,730	Secondary Village Entry w/ Median (3-Lane)	13,500	A
Santa Marisol	from Caraway Street to Safflower Street	8,700	Secondary Village Entry w/ Median (4-Lane)	24,800	A	La Palmita Drive	Between Savoria Parkway and Calle Escuela	6,610	Secondary Village Entry w/ Median (3-Lane)	13,500	A
Santa Marisol	from Safflower Street to Otay Valley Road	7,800	Secondary Village Entry w/ Median (4-Lane)	24,800	A	La Palmita Drive	Between Calle Escuela and La Media Parkway	7,030	Secondary Village Entry w/ Median (3-Lane)	13,500	A
Santa Marisol	from South of Otay Valley Road	3,000	Secondary Village Entry with Median (3-lane)	13,500	A	Delgado Drive	south of La Media Parkway	6,350	Promenade Street (3-Lane)	13,500	A
Santa Tipu	from Main Street to Caraway Street	1,900	Residential Promenade Street (2-lane)	8,400	A	Does Not Exist					
Santa Tipu	from Caraway Street to Safflower Street	3800	Residential Promenade Street (2-lane)	8,400	A	Does Not Exist					
Caraway Street	Santa Marisol	6,400	Residential Promenade Street (2-lane)	8,400	B	Savoria Parkway	Between Del Sueno Drive and La Palmita Drive	6,840	Secondary Village Entry w/ Stripe Turn Lanes (3-Lane)	13,500	A
Caraway Street	from Santa Marisol to Santa Tipu	5,100	Residential Promenade Street (2-lane)	8,400	A	Savoria Parkway	Between La Palmita Drive and Via Palermo	11,660	Secondary Village Entry w/ Median (3-Lane)	13,500	C
Cascabel Street	East of Santa Marisol	2,400	Residential Promenade Street (2-lane)	8,400	A	Does Not Exist					
Safflower Street	West of Santa Tipu	700	Residential Promenade Street (2-lane)	8,400	A	Calle Escuela	Between V8W/V8E Boundary and La Palmita Drive	7,100	Residential Collector (3-Lane)	13,500	A
Safflower Street	from Santa Tipu to Santa Marisol	2,600	Residential Promenade Street (2-lane)	8,400	A	Calle Escuela	Between La Palmita Drive and Via Palermo	6,970	Residential Collector (3-Lane)	13,500	A

The Village 8 East circulation plans are depicted in **Exhibit 3A: Proposed Vehicular Circulation Plan** and **Exhibit 3B: Proposed Neighborhood Electric Vehicle Circulation Plan**. As part of the Proposed Project, the Applicant will be required to secure and agree to construct all backbone roadway improvements shown on the approved Village 8 East Tentative Map (CVT No. 22-0005) prior to approval of the first Final Map within Village 8 East.

Chen Ryan prepared the *Village 8 East –Comprehensive Project Information Form for Transportation Studies* dated November 2023 to determine if the Proposed Project would generate additional traffic impacts beyond those analyzed in the 2014 FEIR and associated Traffic Impact Analysis. Chen Ryan determined that, based on the proposed land use changes within Village 8 East, the Proposed Project would generate 4,000 fewer trips than the 2014 SPA Plan.

In order to ensure that frontage and access can accommodate the Proposed Project, traffic operational analyses were conducted at all project access points along Main Street and La Media Parkway, as well as at internal backbone streets. Internal street classification designations and traffic control and geometrics at key internal intersections and project driveways were adjusted based on these analyses. The technical memorandum documenting these analyses determined that internal streets analyzed would operate at LOS C within the Village Core, as permitted in the GDP, and LOS B or better outside the Village Core area. Refer to **Exhibit 4: Village 8 East Street Names and Estimated Traffic Volumes** for additional details.

Because the Proposed Project would generate fewer trips (both daily and during the peak hours) than the 2014 SPA Plan and the trip distribution patterns would generally remain the same as those studied in the 2014 FEIR, it can be concluded that the Proposed Project would add fewer trips to the surrounding transportation network, including all study area roadways, intersections, and freeways. Fewer project-related trips to a roadway, an intersection, or a freeway indicate less or equal potential traffic impacts. The Proposed Project generates the same or lesser traffic impacts as identified in the 2014 PFFP. The impacts identified in the FEIR remain applicable to the Proposed Project, and no additional mitigation measures would be required. Therefore, the Proposed Project must comply with the FEIR Mitigation Measures TCA-1 through TCA-18 and 20 identified in the 2014 PFFP, IV. 6. Threshold Compliance and Requirements (2014 PFFP, Pages 40-45).



Update to Exhibit 5 (2014 PFFP, Page 18)

Exhibit 3A: Proposed Vehicular Circulation Plan

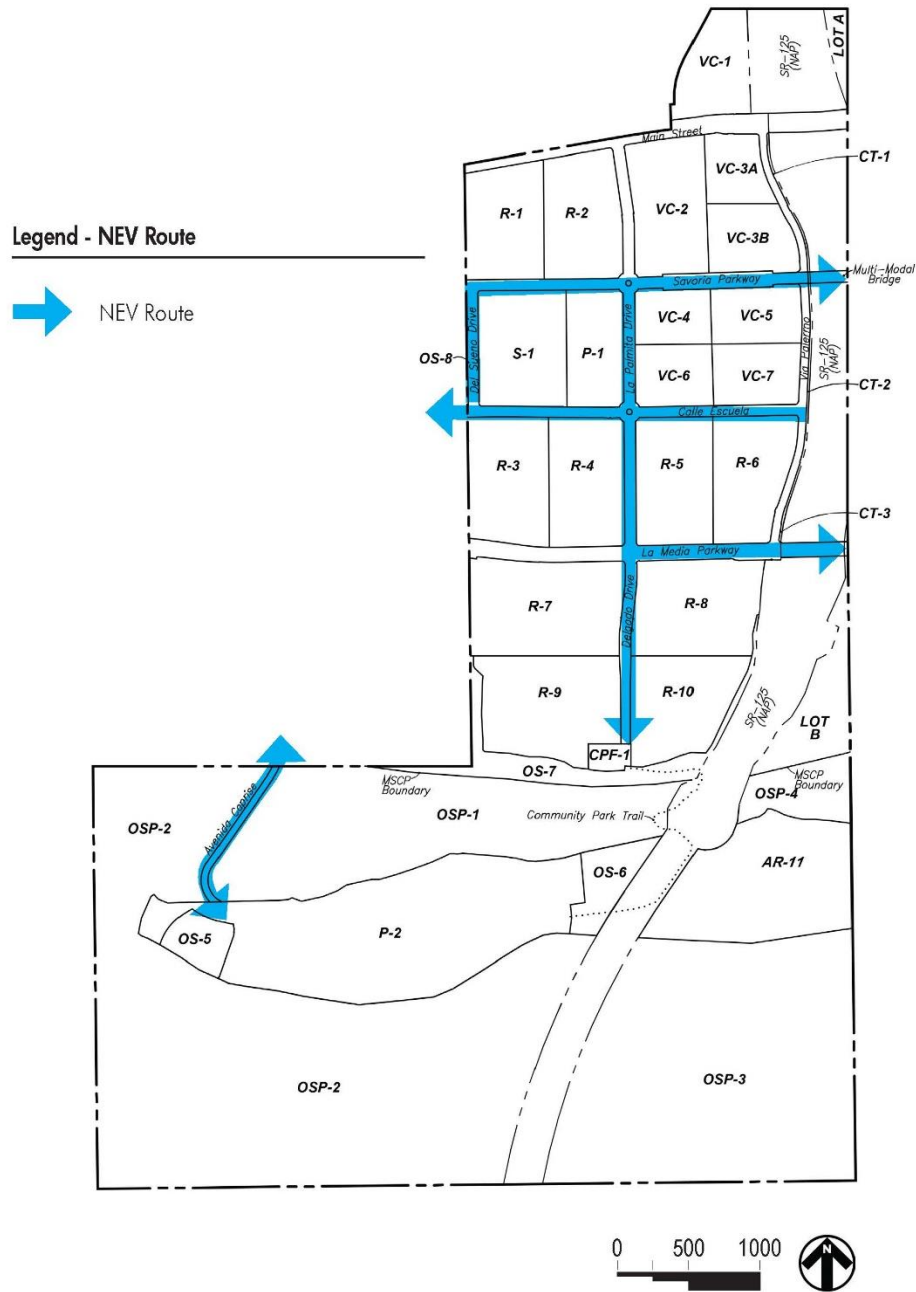
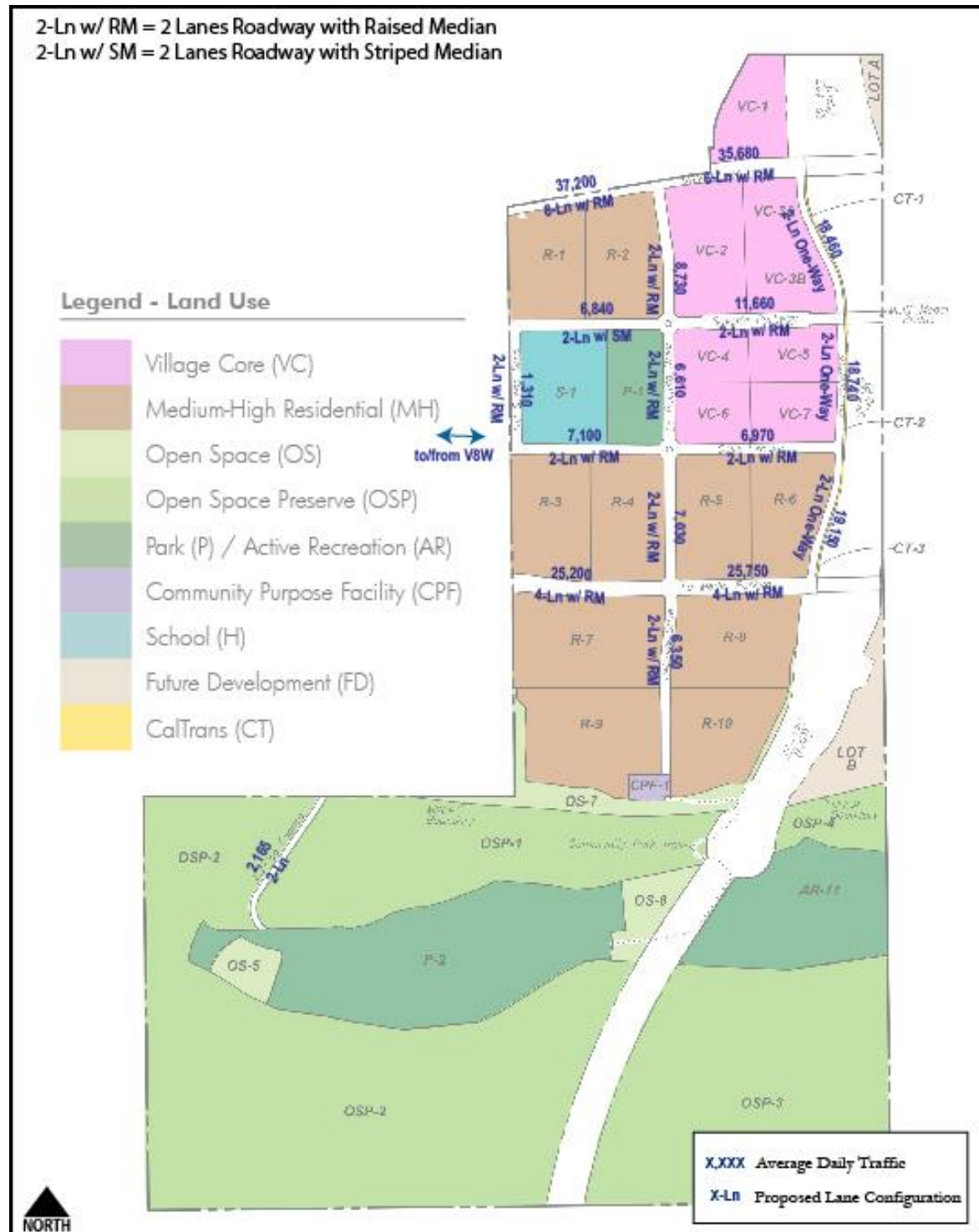


Exhibit 3B: Proposed Neighborhood Electric Vehicle Circulation Plan



Update to Exhibit 6 (2014 PFFP, Page 31)

Exhibit 4: Village 8 East Street Names and Estimated Traffic Volumes

Internal Roadway	Segment	Estimated ADT	Recommended or Planned Classification	LOS D Threshold	LOS
Main Street	West of La Palmita Drive	37,200	Prime Arterial (6-lane)	56,300	A
Main Street	East of La Palmita Drive	35,680	Prime Arterial (6-lane)	56,300	A
La Media Parkway	West of La Palmita Drive	25,200	Major Street (4-lane)	33,800	B
La Media Parkway	East of La Palmita Drive	25,750	Major Street (4-lane)	33,800	B
Del Sueno Drive	Between Savoria Parkway and Calle Escuela	1,310	Residential Promenade (2-lane w/ Median and Turn Lane)	13,500	A
La Palmita Drive	Between Main Street and Savoria Parkway	8,730	Secondary Village Entry (2-lane w/ Median and Turn Lane)	13,500	A
La Palmita Drive	Between Savoria Parkway and Calle Escuela	6,610	Secondary Village Entry (2-lane w/ Median and Turn Lane)	13,500	A
La Palmita Drive	Between Calle Escuela and La Media Parkway	7,030	Secondary Village Entry (2-lane w/ Median and Turn Lane)	13,500	A
Delgado Drive	South of La Media Parkway	6,350	Residential Promenade (2-lane w/ Median and Turn Lane)	13,500	A
Savoria Parkway	Between Del Sueno Drive and La Palmita Drive	6,840	Secondary Village Entry (2-lane w/ Median and Turn Lane)	13,500	A
Savoria Parkway	Between La Palmita Drive and Via Palermo	11,660	Secondary Village Entry (2-lane w/ Median and Turn Lane)	13,500	C
Calle Escuela	Between V8W/V8E Boundary and La Palmita Drive	7,100	Residential Promenade (2-lane w/ Median and Turn Lane)	13,500	A
Calle Escuela	Between La Palmita Drive and Via Palermo	6,970	Residential Promenade (2-lane w/ Median and Turn Lane)	13,500	A

Source: Village 8 East – Trip Generation Analysis and Internal ADT Estimation; Chen-Ryan (September 2023)

Exhibit 4: Village 8 East Street Names and Estimated Traffic Volumes (Continued)

B. Police

The Proposed Project generates approximately the same demand for Police services as identified in the 2014 PFFP. The impacts identified in the FEIR remain applicable to the Proposed Project, and no additional mitigation measures would be required. Therefore, the Proposed Project must comply with the FEIR Police Services Mitigation Measure PUB-3, 4, and 5 and the 2014 PFFP, V.7. Threshold Compliance and Requirements (2014 PFFP, Page 50).

C. Fire and Emergency Services

The Proposed Project generates approximately the same demand for fire and medical emergency services as identified in the 2014 PFFP. The impacts identified in the FEIR remain applicable to the Proposed Project, and no additional mitigation measures would be required. Therefore, the Proposed Project must comply with FEIR Fire and Emergency Services Mitigation Measure PUB-1 and the 2014 PFFP, VI.7 Threshold Compliance and Recommendations (2014 PFFP, Page 56).

D. Schools

The Proposed Project includes a 11.3-acre school site, consistent with the 2014 SPA Plan⁴. The 2014 PFFP estimated that the 3,560 residential units would generate approximately 1,299 elementary school (K-6) students, approximately 250 middle school (7-8) students and approximately 277 high school (9-12) students, for a total of 1,826 students.

Based on 2022 student generation information prepared by the Chula Vista Elementary School District and Sweetwater Union High School District, the 2023 SPA Plan estimates that the Proposed Project would generate approximately 820 elementary school (K-6) students, approximately 220 middle school (7-8) students and approximately 593 high school (9-12) students, for a total of 1,633 students. The impacts identified in the FEIR remain applicable to the Proposed Project, and no additional mitigation measures would be required. The Proposed Project must comply with the FEIR Schools Mitigation Measures PUB-6 and PUB-7 and the 2014 PFFP VII.7 Threshold Compliance and Recommendations (2014 PFFP, Page 64).

E. Libraries

The Proposed Project would implement the 3,276 authorized dwelling units within Village 8 East. The impacts identified in the FEIR remain applicable to the Proposed Project, and no additional mitigation measures would be required. The Proposed Project must comply with FEIR Library Mitigation Measures PUB-11 and PUB-12 and the 2014 PFFP, VII.7 Threshold Compliance and Recommendations (2014 PFFP, Page 68).

F. Parks, Trails and Open Space

The Proposed Project would implement the 3,276 authorized dwelling units within Village 8 East and modify the residential dwelling unit type authorized in the 2014 SPA Plan. The 2014 PFFP and SPA Plan estimated that Village 8 East would be obligated to dedicate approximately 30.45 acres of parkland. The 2023 SPA Plan estimates that the Village 8 East parkland dedication would be 26.5 acres. The Proposed Project includes a total of 42.8 (net) acres of public parkland. The revised Parks, Recreation, Trails and Open Space Plan is provided as Exhibit 5.

⁴ The Village 8 East Tentative Map includes an alternative configuration for the P-1 Neighborhood Park / S-1 School Site that would reduce the P-1 Park to 4.6 acres (net) and increase the S-1 School Site to 12.0 acres (net). The final figuration will be determined based on the needs of the Chula Vista Elementary School District.

Table H.3 Village 8 East SPA Plan Preliminary Parkland Dedication Requirements City Ordinance Applied to Planning Prediction of Unit Numbers and Types (Update to 2014 PFFP, Table Page 70)				
Unit Type	Units	Park SF / Unit	Total Park SF	Total Park Acres
Single-Family (detached) ¹	336	460	154,560	3.5
Multi-Family (attached)	2,940	341	1,002,540	23.0
TOTAL	3,276	-	1,154,363	26.5

¹Includes detached multi-family units

Table H.4, Village 8 East SPA Plan Park Acres and Eligible Credits is presented below.

Table H.4 Village 8 East SPA Plan Park Acres and Eligible Credits (Update to 2014 PFFP, Page 71)				
Park	Net Acreage	Phase	Proposed Credit	Eligible Credit (ac)
P-1 – Neighborhood Park	6.50	West	100%	6.50
P-2 – Community Park ⁵	36.30	Park	100%	36.30
Edge Trail	2.10	West/East	100%	2.10
Total Acres Eligible for Credit Against PAD				44.90
Village 8 East PAD Requirements⁶				(26.50)
Village 3 IOD (2022)				(2.21)
Total Estimated Excess PAD Credits				16.19⁷

⁵ If the P-2 Community Park / OS-6 Alternative shown on Tentative Map Sheet 6 is implemented then the net park acreage within the P-2 Community Park would be increased to 39.0 acres, resulting in a total of 47.6 acres (net) eligible for credit against PAD obligations.

⁶ Park fees and land obligations are subject to change pending any changes to the dwelling unit types and numbers, or clarification of unit type at the time the obligations are due. The final parkland and development fee credits to be determined per the future Parks Agreement between the Applicant and the City.

⁷ Based on updated land use and park demand information, revised Table H.4 estimates that there would be approximately 16.19 acres of excess parkland credits within Village 8 East available, which may be utilized to satisfy future park obligation within the Applicant's ownership.

Table H.7, Acquisition and Development Fees is presented below.

Table H.7 Village 8 East Acquisition and Development (PAD) Fees (Preliminary Calculation) (Update to 2014 PFFP, Page 76)				
Residential Unit Type	Units	PAD Fee/DU Total		Total Fees
		Development	Acquisition	
Single-Family (Detached) ¹	336	\$ 3,203,088	\$ 4,259,136	\$ 7,462,224
Multi-Family (Attached)	2,940	20,803,440	27,659,520	48,462,960
TOTAL	3,276	\$ 24,006,582	\$ 31,918,656	\$ 55,925,184

¹Includes detached multi-family units

Source: City of Chula Vista Notice of Updated Fees effective October 1, 2023. Per Chula Vista Municipal Code Section 3.42.101, the Chula Vista City Council must adopt a fee schedule. The Proposed Project must comply with the current version of the City of Chula Development Master Fee Schedule, Chapter 16 at the time the fees are paid. Development & In-Lieu Fees were last revised October 2023 and are indexed each October 1.

Development of Otay Ranch within the City of Chula Vista, results in a demand for approximately 130.67⁸ acres of park land, which includes 110.39 acres associated with development of villages within HomeFed Corporation's (HomeFed) ownership (includes the 1.92-acre IOD recorded within the Otay Ranch Village 4 community park prior to HomeFed's acquisition of the property in 2016) and 20.28 acres of outstanding park land from previously developed and future Otay Ranch villages. The following Table "Otay Ranch Parkland Obligations & Planned Park Land" presents a comprehensive accounting of park land obligations and planned park land.

Development of HomeFed's Villages 3, 8 West, 8 East, 9 and 10, and the 1.92-acre IOD which satisfied a portion of Village 2's obligation, results in the obligation to provide 110.39 acres of park land. This is satisfied through adopted SPAs and TM that include 120.27 acres of planned park land including neighborhood parks within Villages 3, 8 West, 8 East, 9 and 10 (51.91 acres), 2.1 acres of public trails (Edge Trail) and community parks planned in Villages 4, 8 West and 8 East (66.26 acres) and results in 9.88 acres of excess park land within HomeFed's ownership.

Villages 6 and 11 have met their corresponding parkland obligations through a combination of park land dedication within the respective villages and payment of in-lieu Parkland

⁸ Excludes 40.4 acres currently reserved in the P-4 Community Park, as shown in the Villages 2, 3 and a Portion of Village 4 SPA Plan and the neighborhood parks constructed within developed Otay Ranch Villages 1, 2, 5, 6, 7 and 11 and the Eastern Urban Center.

Acquisition and Development (PAD) fees, while Village 4 will be paying in-lieu PAD fees. Assuming the park land obligations associated with full build out of HomeFed's entitled villages are met within planned neighborhood and community parks, there is a remaining unmet obligation of 20.28 acres associated Villages 4, 6 and 11.

Table 4: Otay Ranch Park Obligations & Planned Park Land

Otay Ranch Park Land Obligations & Planned Park Land							
		Park Land Obligation (Net AC) ⁹	Park Land Planned (Net AC)				
Village	Units ¹⁰	Total	Neighborhood Park	Trails	Community Park	Total Planned	Surplus/ Deficit
HomeFed Villages:							
2 ¹¹			0.00		0.00	0.00	(1.92)
3 / 4	1,638	14.92	7.50		15.16	22.66	7.74
8 West	2,334	19.80	8.31		14.80	23.11	3.31
8 East	3,276	26.50	6.50	2.10	36.30	44.90	18.40
9	3,959	31.73	23.00		0.00	23.00	(8.73)
10	1,740	15.52	6.60		0.00	6.60	(8.92)
HomeFed Villages Subtotal	12,947	108.47	51.91	2.10	66.26	120.27	9.88¹²
Other Otay Ranch Villages:¹³							
4		2.55	0.00		0.00	0.00	(2.55)
6		4.81	0.00		0.00	0.00	(4.81)
11		12.92	0.00		0.00	0.00	(12.92)
Other Otay Ranch Villages Subtotal		20.28	0.00		0.00	0.00	(20.28)
COMBINED TOTAL		128.75	51.91	2.10	66.26	120.27	(10.40)

The impacts identified in the FEIR remain applicable to the Proposed Project, and no additional mitigation measures would be required. The Proposed Project must comply with FEIR Parks, Recreation, Open Space and Trails Mitigation Measures PUB-8 through 12

⁹ Based on approved SPA Plans and proposed Village 8 East SPA amendment.

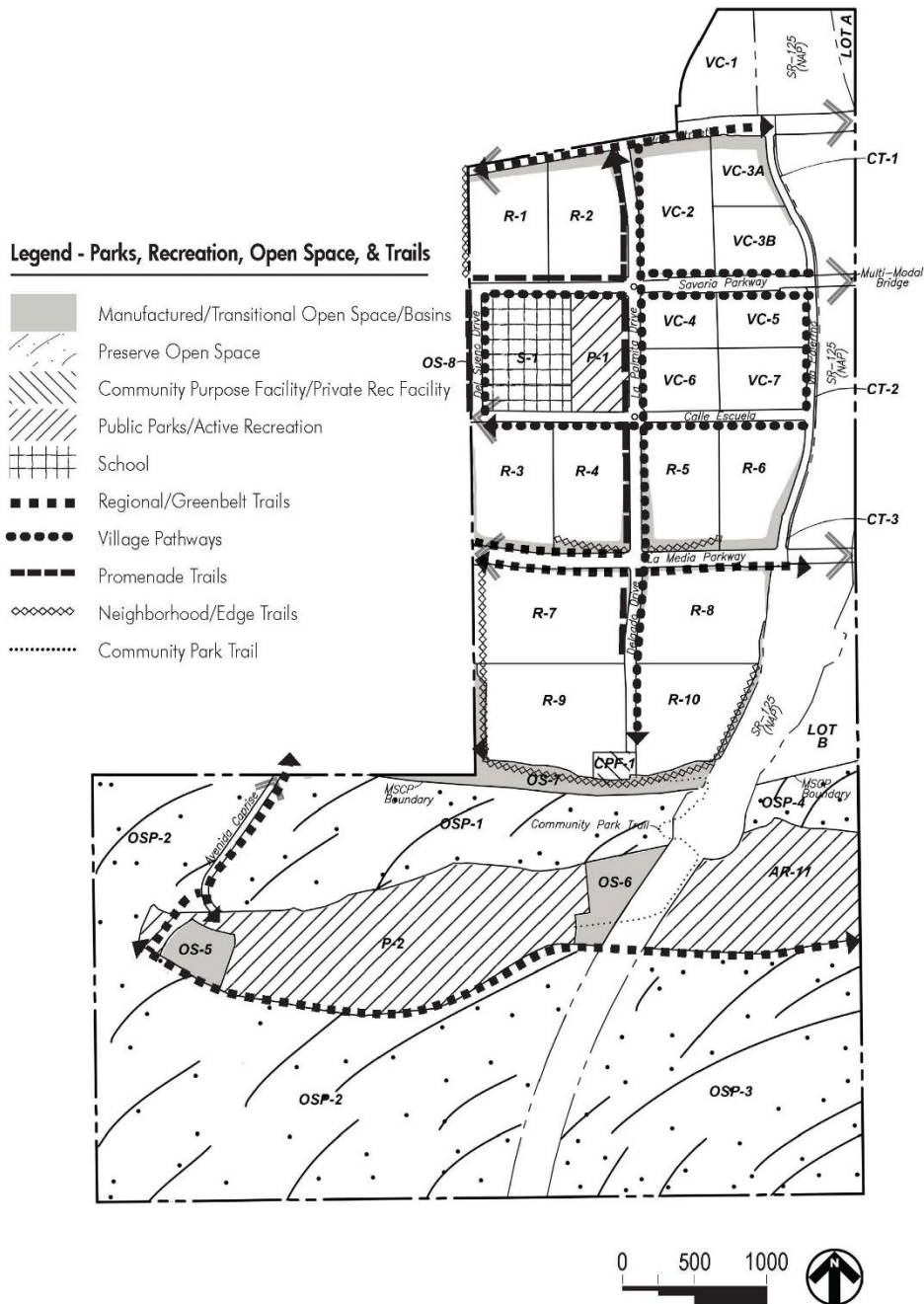
¹⁰ HomeFed's park acreage obligations are calculated assuming full buildout of all entitled units. Final park land obligations may vary based on actual units constructed.

¹¹ A 1.92-acre IOD was recorded within the Village 4 Community Park property when it was acquired by HomeFed in 2016 and is included in the HomeFed subtotal.

¹² After the HomeFed (108.47 AC) and Village 2 (1.92 AC) obligations are met, HomeFed has an additional 9.88 net acres of excess community park land that may be acquired to satisfy the unmet community park obligations of other previously developed or future Otay Ranch villages.

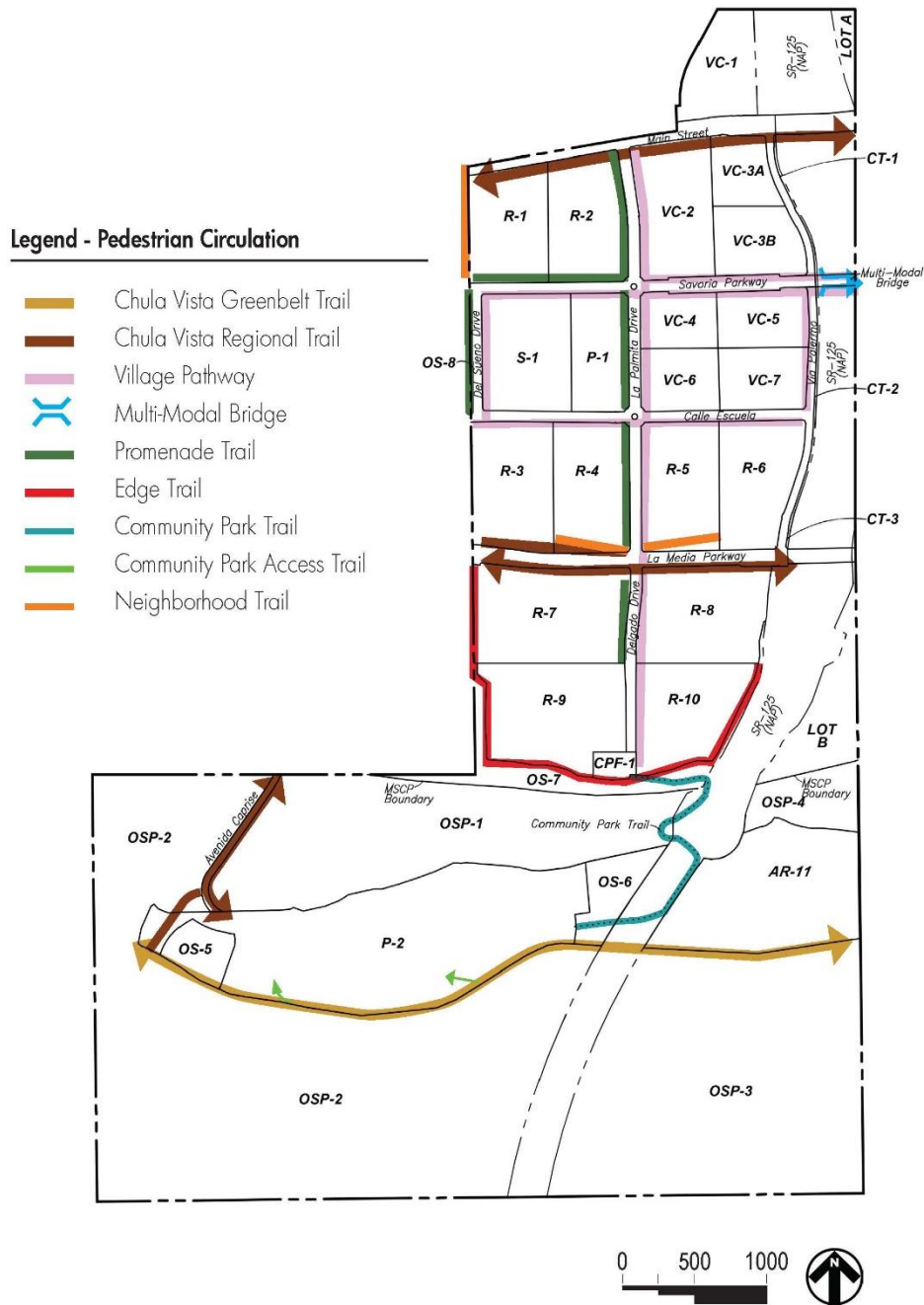
¹³ Outstanding obligations associated with developed and future villages within Otay Ranch but outside of HomeFed's ownership.

and the 2014 PFFP, IX.10 Threshold Compliance and Recommendations (2014 PFFP, Pages 78 to 81).



Update to Exhibit 7 (2014 PFFP, Page 82)

Exhibit 5: Proposed Parks, Recreation, Open Space & Trails Master Plan



Update to Exhibit 8 (2014 PFFP, Page 83)

Exhibit 6: Proposed Pedestrian Circulation Plan

G. WATER

An Overview of Water Services was prepared by Dexter Wilson Engineering for the 2014 SPA and FEIR. The Otay Ranch Village 8 East SPA Amendment Water Evaluation and Otay Ranch Village 8 East SPA Amendment Water Conservation Evaluation Memos were prepared by Dexter Wilson Engineering to supplement the prior evaluation based on the Proposed Project. Table I.4 and Table I.5 below summarize the anticipated potable and recycled water demand for the Proposed Project.

**Table I.4 – Projected Potable Water Demands
(Update to 2014 PFFP, Page 91)**

Land Use ¹	Quantity	Demand Factor	Total Demand (gpd)
MF Residential	3,012 unit	170 gpd/unit	512,040
Commercial ²	51.5 ac	1,607 gpd/ac	82,761
Multi-Family Residential Alt for Elementary School Site ²	264 units	170 gpd/unit	44,880
CPF	1.2	714 gpd/ac	857
Parks/Active Recreation ³	73.2	0 gpd/ac	9,051
Total	—	—	649,589

gpd = gallons per day; DU = dwelling units; ac = acre.

¹ Internal and external circulation, open space preserve and future development areas are not calculated because either no water demand is projected from these areas or these areas are not proposed for development at this time.

² The elementary school site has an underlying “High” residential land use designation that could accommodate 264 multi-family units if the site is not utilized as a school site. Average demand would decrease by 44,880 gpd to 14,280 gpd (10 net-acre school site x 1,428 gpd/acre = 14,280 gpd) if the site is utilized as a school site.

³ Parks will be irrigated with recycled water, but nominal potable water use has been estimated for standard fixtures (lavatories, drinking fountains, etc.)

The 2014 PFFP and associated Overview of Water Supply¹⁴ projected potable water demand at 1,049,039 gallons per day (gpd). Based on current potable water demand factors, the Proposed Project would decrease water demand to 649,589 gpd, representing a decrease of 399,450 gpd, or approximately 38.1%. This decrease in demand will not impact the proposed water line sizing for the Proposed Project since the backbone water line sizing has been established based on regional needs in the area and internal water line pipe sizing will be based primarily on fire flow requirements. See **Exhibit 7: Proposed Potable Water Facilities**.

¹⁴ The water demand was updated after preparation of the PFFP. The table reflects the October 2014 Water Study prepared by Dexter Wilson Engineering.

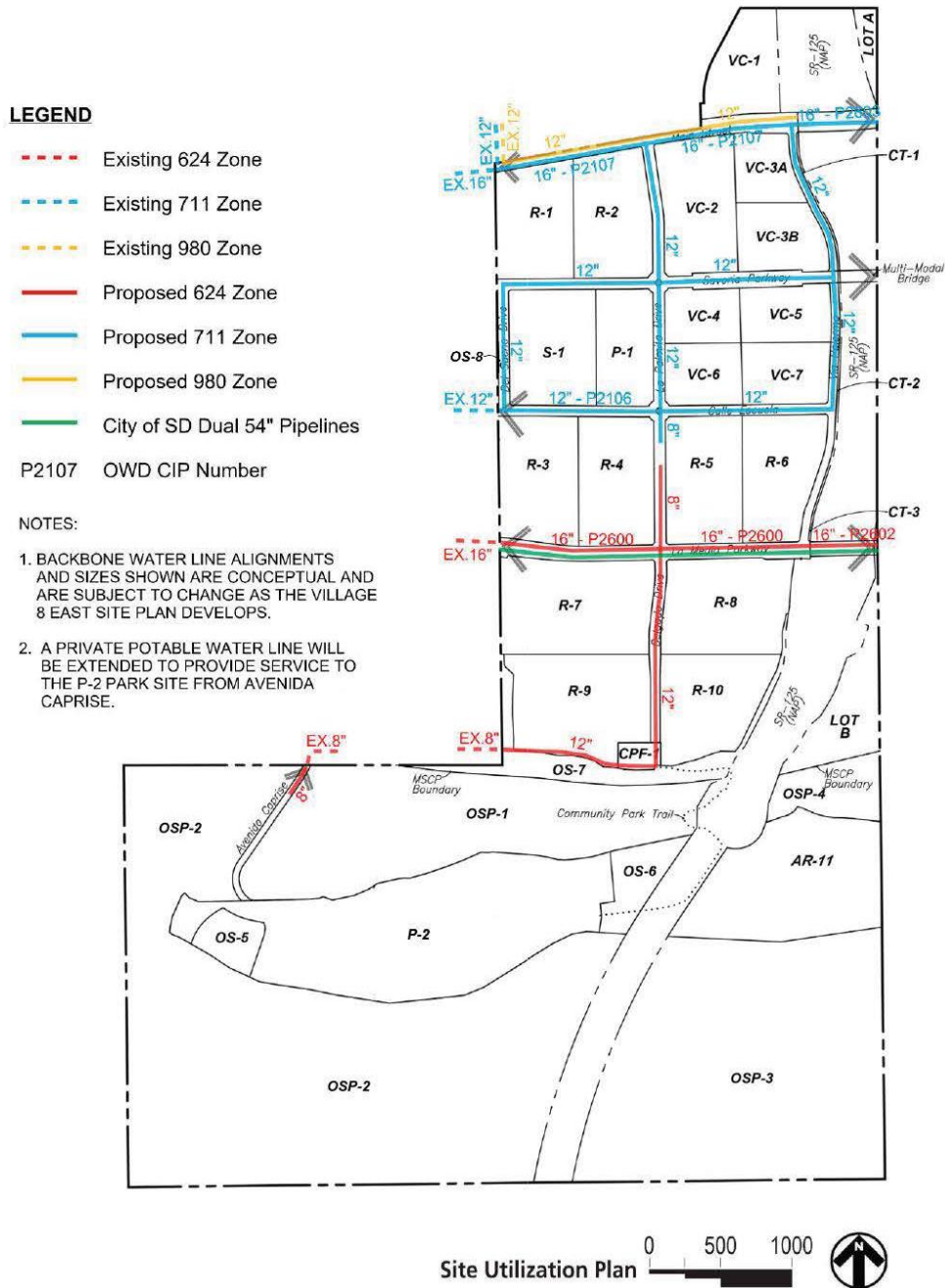
**Table I.6– Average Recycled Water Demand by Land Use
(Update to 2014 PFFP, Page 91)**

TABLE I.5 AVERAGE RECYCLED WATER DEMAND BY LAND USE					
Land Use ¹	Quantity	Percentage to be Irrigated	Irrigated Acreage	Recycled Water Irrigation Factor, gpd/ac	Average Demand, gpd
Irrigated Open Space ²	23.5	100	23.5	1,900	44,650
Parks	73.2	100	73.2	1,900	139,080
Village Core	51.5	10	5.2	1,900	9,880
MF Residential	3,012 DUs	15		45	135,540
CPF	1.2	20	0.2	1,900	380
School ²	11.3 AC	20	2.3	1,900	4,370
TOTAL					333,900

- 1 Open space preserve and future development areas are not calculated because either no water demand is projected from these areas or they are not currently proposed for development.
- 2 Includes 15.3 acres of perimeter open space location within Residential and Village Core areas and 16.4 acres of Manufactured/Base Open Space (see Site Utilization Table in Attachment 1). There are two detention basins (8.2 acres total) located within the Manufactured/Basin Open Space areas that are excluded from the Irrigated Open Space acreage total (15.3 + 16.4 acres – 8.2 acres = 23.5 acres).
- 3 The elementary school site has an underlying “High” residential land use designation that could accommodate 264 multi-family units if the site is not utilized as a school site. Average recycled water demand of 4,370 gpd is conservatively calculated based on school use. Average recycled water demand would increase by 7,510 gpd to 11,880 gpd (264 units x 45 gpd/unit – 11,880 gpd) if the site is utilized as a multi-family site.

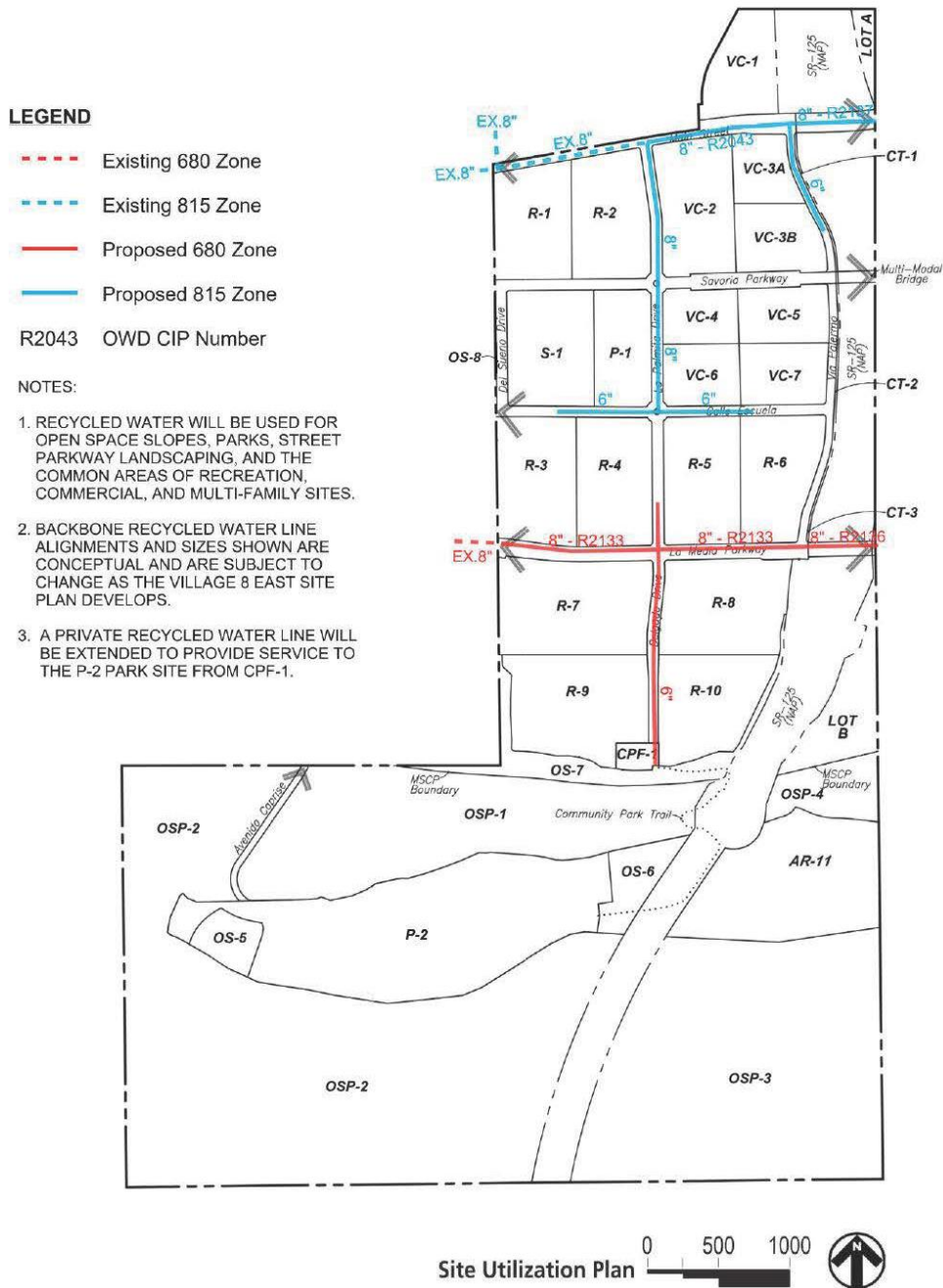
The 2014 PFFP and associated Overview of Water Service projected recycled water demand at 384,230 gallons per day (gpd). The Proposed Project would decrease recycled water demand to 333,900 gpd, representing a 50,330 gpd (approximately 5.9%) decrease. Landscape systems generally require a minimum of 80 psi at the meter to obtain adequate coverage of landscape area. The primary criteria for sizing recycled water lines is the ability to meet peak hour recycled water demands while maintaining a maximum pipeline velocity of 8 feet per second. See **Exhibit 8, Proposed Recycled Water Facilities**, for the recycled water system serving Village 8 East.

The impacts identified in the FEIR remain applicable to the Proposed Project, and no additional mitigation measures would be required. The Proposed Project must comply with FEIR Mitigation Measures UTL-1 to UTL-4 and 2014 PFFP, X.8 Threshold Compliance and Recommendations (2014 PFFP, Pages 94-96).



Update to Exhibit 9 (2014 PFFP, Page 98)

Exhibit 7: Proposed Potable Water Facilities



Update to Exhibit 10 (2014 PFFP, Page 99)

Exhibit 8: Proposed Recycled Water Facilities

H. SEWER

Dexter Wilson Engineering prepared a sewer evaluation for the 2014 SPA Plan and FEIR. The Otay Ranch Village 8 East SPA Amendment Sewer Evaluation Memo was prepared by Dexter Wilson Engineering based on the Proposed Project to supplement the prior evaluation.

Table J.5 Land Use Summary and Sewage Generation
(Update to 2014 PFFP, Page 105)

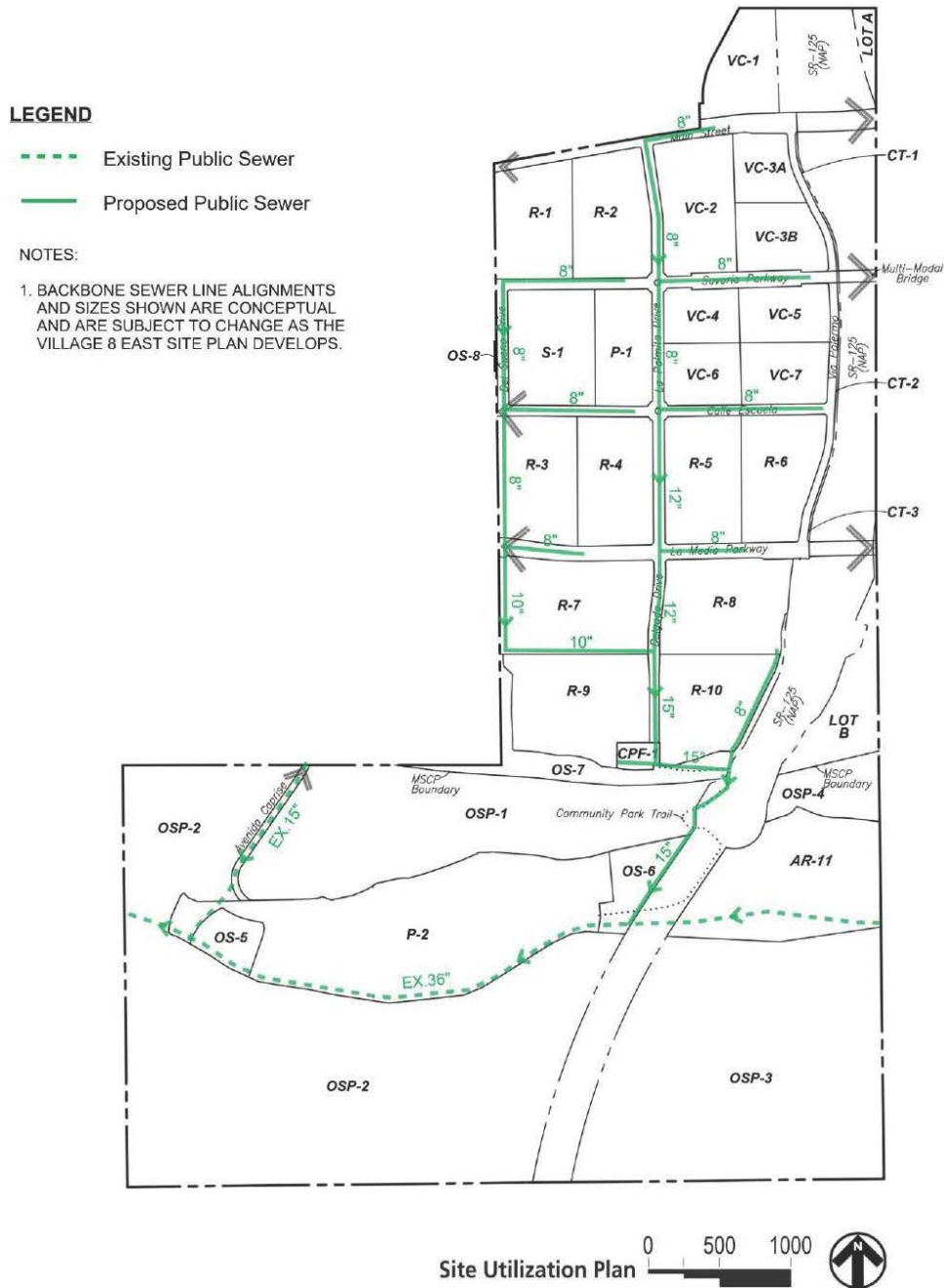
Land Use ¹	Quantity	Demand Factor	Total Demand (gpd)
Multi-Family Residential	3,012 units	182 gpd/unit	548,184
Commercial	51.5 ac	1,401 5gpd/ac	72,152
Multi-Family Residential ²	264 units	182 gpd/units	48,048
Park/Active Recreation	73.2	410 gpd/ac	30,012
Community-CPF Facilities	1.2ac	1,401 gpd/ac	1,681
Total	—	—	700,077

gpd = gallons per day; ac = acre.

- 1 Internal and external circulation, open space, open space preserve and future development areas are not included in the calculation either because no sewer flow is protected or these areas are not proposed for development at this time.
- 2 The elementary school site has an underlying “High” residential land use designation that could accommodate 264 multi-family units if the site is not utilized as a school site. Average flow of 48,048 gpd is conservatively calculated based on multi-family land use. Average flow would decrease to 11,810 (10.0 net-acre school site x 1,181 gpd/ac = 11,810 gpd) if the site is utilized as a school site.

The 2014 PFFP and associated Overview of Sewer Service projected wastewater generation at 850,339 gpd. The projected wastewater flow for the Proposed Project is 700,077 gpd, representing a reduction of 150,262 gpd or 17.7% from the 2014 PFFP Sewer System Analysis.

The impacts identified in the FEIR remain applicable to the Proposed Project, and no additional mitigation measures would be required. The Proposed Project must comply with FEIR Wastewater Mitigation Measures UTL-5 to UTL-7 and the 2014 PFFP, XI.8 Threshold Compliance and Recommendations (2014 PFFP, Pages 110-111).



Update to Exhibit 11 (2014 PFFP, Page 112)

Exhibit 9: Proposed Sewer Facilities

I. DRAINAGE

A Drainage Study and a Storm Water Quality Management Plan (SWQMP) were completed for the 2014 SPA Plan and FEIR. To supplement those analyses, Hunsaker and Associates prepared the TM Drainage Study for Otay Ranch-Village 8 East and PDP SWQMP for Otay Ranch Village 8 East to address the Proposed Project.

The 2014 PFFP, Table K.1 identifies pre-Project flows of 872.2 cfs, consistent with the 2014 SPA Plan and FEIR analysis.

Tables K.2 and K.3 – Pre & Post Development Storm Water Flows (Update to 2014 PFFP, Page 117)						
Discharge Location (Watershed)	Pre-Developed		Post Developed		Difference	
	Drainage Area (ac)	100-Year Peak Flow (cfs)	Drainage Area (ac)	100-year Flow (cfs)	Area (ac)	100-Year Peak Flow (cfs)
North	13.72	28.62	7.79	32.35	-5.93	+3.73
Northwest	10.11	21.75	N/A	N/A	-10.11	-21.75
West	14.26	27.18	N/A	N/A	-14.26	-27.18
Northeast	51.54	75.59	17.50	22.13	-34.04	-53.46
Southwest	208.76	380.71	227.65	400.65	+21.66	+19.90
South	25.94	50.66	N/A	N/A	-25.94	-50.66
East-Central	180.32	211.11	N/A	N/A	-180.32	-211.11
East	19.96	45.72	288.39	774.35	+267.53	+728.63
Southeast	13.28	25.93	6.33	9.21	-6.95	-16.72
Total	537.89	867.27	545.84	1,233.38	+7.95	+366.11

ac = acres; cfs = cubic feet per second

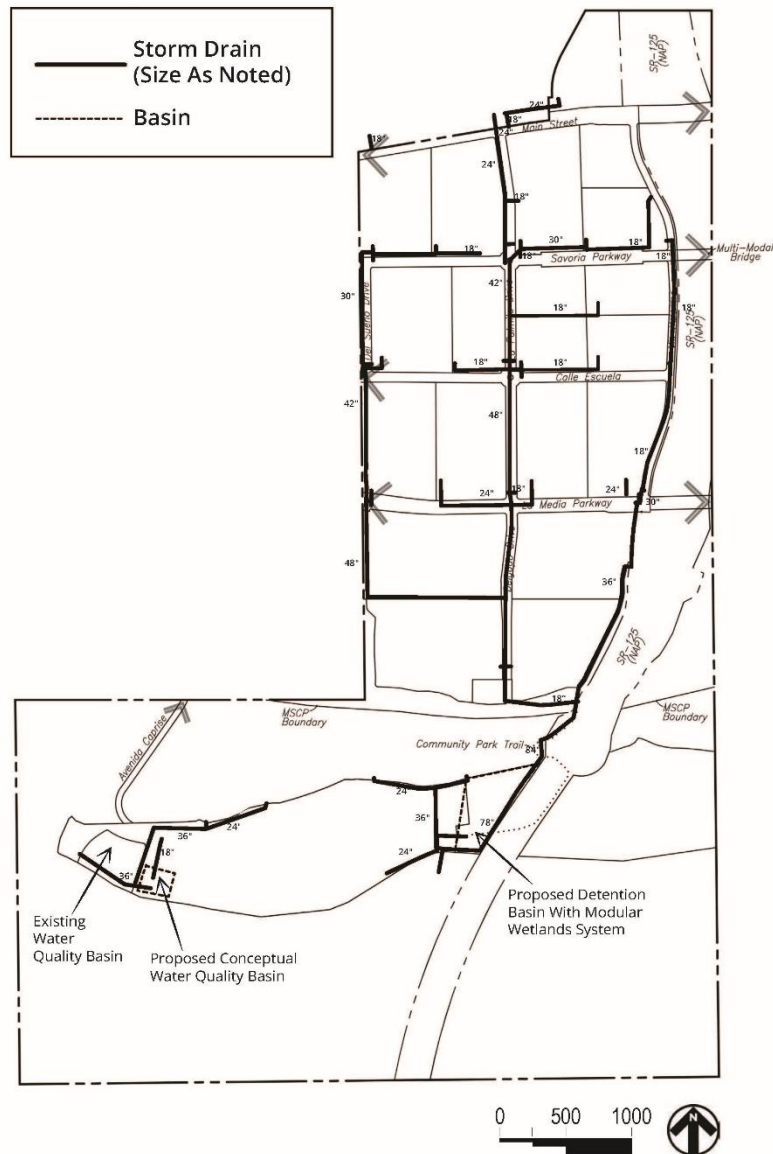
Source: TM Drainage Study for Otay Ranch-Village 8 East (September 2023)

As identified in combined Tables K.2 and K.3, the Proposed Project would increase the flow generated by a 100-year storm by 27.42 cfs compared to the 2014 SPA Plan and FEIR. See **Exhibit 10: Basin and Drainage Plan** for the drainage system serving Village 8 East.

The Proposed Project includes a detention basin and Modular Wetlands System located in the southern portion of Village 8 East in the eastern portion of the P-2 park, designated OS-6 on the Site Utilization Plan, adjacent to the Otay River. This basin is not subject to hydromodification since it outlets directly to the Otay River which has been identified as an exempted river reach.

The Proposed Project must comply with FEIR Hydrology and Water Quality Mitigation Measures HYD-1 to HYD-7 and the 2014 PFFP, XII.7 Threshold Compliance (2014 PFFP, Pages 121-8 to 123). In addition, the Proposed Project would continue to comply with all applicable rules and regulations including compliance with National Pollutant Discharge

Elimination System permit requirements for urban runoff and stormwater discharge. BMPs for design, treatment, and monitoring for stormwater quality would be implemented as delineated in the FEIR with respect to municipal and construction permits.



Update to Exhibit 13 (2014 PFFP, Page 124)

Exhibit 10: Proposed Basin and Drainage Plan

J. AIR QUALITY

GHG emissions and global climate change were addressed in the FEIR, Section 5.4 Air Quality. An Air Quality and GHG Technical Memo was prepared by Dudek to analyze the Proposed Project. The proposed land uses would generate 3,977 fewer trips (11% less) when compared to the 2014 SPA Plan land uses. The travel behavior of the remaining land uses previously analyzed as part of the 2014 SPA Plan would be unchanged. As a result, operational emissions (specifically those resulting from mobile sources) associated with Village 8 East would be reduced as compared to the prior analysis. Construction emissions would remain unchanged, because no change in the construction schedule or required construction equipment is anticipated.

The impacts identified in the FEIR remain applicable to the Proposed Project, and no additional mitigation measures would be required. The Proposed Project must comply with FEIR Air Quality Mitigation Measures AQ-1 to AQ-3 and the 20201413 PFFP, XIII.4 Threshold Compliance and Recommendations (Pages 129 to 131)

K. CIVIC CENTER

Per the 2014 PFFP, there are no adopted Threshold Standards for the Civic Center. The Public Facilities fee must be paid prior to the issuance of building permits, at the rate in effect at the time payment is made.

L. CORPORATION YARD

Per the 2014 PFFP, there are no adopted Threshold Standards for the Corporation Yard. The Public Facilities fee must be paid prior to the issuance of building permits, at the rate in effect at the time payment is made.

M. OTHER PUBLIC FACILITIES

Per the 2014 PFFP, there are no adopted Threshold Standards for other facilities that are part of the Public Facilities Development Impact Fee Program. The Public Facilities fee must be paid prior to the issuance of building permits, at the rate in effect at the time payment is made.

N. FISCAL ANALYSIS

Pursuant to the requirements in CVMC 19.09.040, Threshold Standards for City Facilities, H. Fiscal, the Applicant prepared an updated fiscal analysis for the Proposed Project (Village 8 East – Fiscal Impact Analysis, DPFG, November 2023). The fiscal update model utilized the City of Chula Vista fiscal year ‘23/’24 model and assumed full build out of all 3,276 residential units and no commercial square footage which represents the most conservative land use scenario. However, the Proposed Project includes development of

20,000 SF of commercial uses; therefore, the anticipated fiscal outcome is more positive than the following estimates. The results generated from the residential only fiscal model meet the requirements of CVMC 19.09.040 and demonstrate that the Proposed Project will generate a fiscal surplus in Years 1 - 20 (\$452,114 - \$33,573,827), representing cumulative revenue of \$48,014,928 through year 20.

The full fiscal analysis model and assumptions are provided in the Village 8 East SPA Amendment Fiscal Summary Report dated November 2023. This report demonstrates that the proposed project generates positive net revenue to the City of Chula Vista.

V. PUBLIC FACILITY FINANCING

The Proposed Project will finance public facilities by paying development impact fees or constructing facilities required by subdivision exactions using private funding sources or public facilities financing and, implementation of a future agreement between the Applicant and the City regarding park development.

A. Development Impact Fee Programs

Per Chula Vista Municipal Code Section 3.42.101, the Chula Vista City Council must adopt a fee schedule. The Proposed Project must comply with the City of Chula Vista Development Master Fee Schedule, Chapter 16. Development & In-Lieu Fees were last revised October 2023 and are indexed each October 1. Per CVMC Section 3.42.101, the Proposed Project must comply with the current version of the City of Chula Vista Development Master Fee Schedule, Chapter 16 at the time fees are paid. Development & In-Lieu Fees were last revised October 2023 and are indexed each October 1.

B. Subdivision Security

The Proposed Project will be developed in phases over several years. As public improvements are complete, security provided for the Proposed Project in accordance with the Subdivision Map Act and the Municipal Code should be reduced to reflect the completed improvements. Accordingly, the process described herein will apply to bonds for Grading and Drainage, Public Improvements, Habitat Restoration and Landscape and Irrigation, but will not apply to Survey Monumentation bonds. Applicant may submit to the City not more often than once every six months a detailed engineer's estimate identifying with respect to each bond the costs to complete the remaining improvements secured by such bond ("Cost to Complete"). The City will review and approve or disapprove the Costs to Complete, and if disapproved, Applicant may resubmit a modified estimate of Cost to Complete for City review. Upon approval of the Costs to Complete by the City, the amount of the applicable bond may be reduced to an amount equal to 110% of the Costs to Complete. If approved by the City, the reduced amount will be communicated to the bonding company in a letter. Based on the City's communication, the bonding company may issue a bond reduction rider to reduce the principal amount of

the bond to the reduced amount approved by the City. However, the bond amount may never be reduced by this process to less than 15% of the original estimate of the costs of the applicable improvements.

OTAY RANCH VILLAGE 8 EAST

Affordable Housing Program

APPENDIX H

April 2024

PREPARED FOR:
HOMEFED OTAY LAND II, LLC
1903 Wright Place, Suite 220
Carlsbad, CA 92008

Adopted on December 2, 2014
By Resolution No. 2014-235

Amended XX
By Resolution No. XX

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EXHIBIT

1 Potential Affordable Housing Locations 7

I. INTRODUCTION

A. Purpose and Content

The purpose and intent of this Affordable Housing Program (AHP) is to encourage the development of diverse and balanced neighborhoods with a range of housing opportunities for all identifiable economic segments of the population, including households of lower and moderate income consistent with the City's housing policies and needs as specified in its General Plan Housing Element. The intent is to ensure that when developing the limited supply of developable land, housing opportunities for persons of all income levels are provided. The provisions of this AHP establish standards and procedures that will encourage the development of housing affordable to low- and moderate-income households within the Sectional Planning Area (SPA).

The AHP identifies the type and location of affordable housing units to be provided, potential subsidies or incentive programs, income restrictions and methods to verify compliance. The program may be implemented through various mechanisms including development agreements, tentative map conditions, and specific housing project agreements that may include additional terms and conditions, consistent with this program.

B. Needs Assessment

To encourage the development of adequate housing to meet the needs of low and moderate-income households and to further geographic and community balance, the City's adopted Housing Element provides for a Balanced Communities Policy, requiring ten percent (10%) affordable housing for low- and moderate-income households within developments of fifty (50) or more residential units. This inclusionary housing program will serve as only one component of the City's overall housing strategy and will complement other affordable housing efforts, including preservation of existing assisted housing, development of new assisted housing with public subsidies, first-time homebuyer assistance, and rehabilitation loans for low-income homeowners. The City does find that such an inclusionary housing policy is beneficial to increasing the supply of housing affordable to households of lower and moderate-income incomes and to meet the City's regional share of housing needs given the demographics of the community and its needs, past housing production performance, and the existing opportunities and constraints as detailed in its Housing Element. The Balanced Communities Policy is necessary to meet the objectives of State Housing Element law requiring jurisdictions to affirmatively further fair housing by "taking meaningful actions that overcome patterns of segregation and foster inclusive communities" and "address significant disparities in housing needs and in access to opportunity."

The current characteristics of the City's population, housing, employment, land inventory, and economic conditions, which affect its housing goals, policies and programs include:

- The population has more diversity in race/ethnicity than the region, in that seventeen percent (17%) of the population is white (non-Hispanic) and sixty percent (60%) is Hispanic (all races). This compares to - percent and - percent, respectively, for the region as a whole.
- There is a disparity in household median income from west to east of I-805. Forty-four percent (44%) of Chula Vista's housing earn below the San Diego Area median income with the majority of such households living west of Interstate-805, with 12 percent of the households living below the federal poverty line. The average household east of Interstate-805 earns above the San Diego County median income of \$74,855 (2017).
- Household size is slightly larger than the region, at 3.3 persons per household compared to 2.8 per household for the region.
- Seniors, aged 62 years or older, comprise twelve percent (12%) of the total households.
- Housing west of Interstate-805 was built primarily before 1980 (32% before 1960 and 50% between 1960-1980). Housing east of Interstate-805 was built after 1980, with half of such housing built between 1980-2000.
- Housing types are diverse west of I-805, with 41% multifamily housing and 41% single family housing. Single family homes comprise the majority of housing available east of I-805 (82% of housing).
- With single family homes dominating the landscape east of I-805, housing is predominately owner occupied. West of I-805, housing is primarily renter occupied.
- The median housing cost (resale) in December 2019 of single-family housing is \$660,000 for zip codes 91913-91915, \$26,250 more than the region's median cost of \$633,750 for resale single-family homes.
- The well-established neighborhoods and master planned neighborhoods create different opportunities and require a different set of policies and programs to address housing needs.
- The amount of land in the City available for new residential development is severely limited by geography and size. The largest supply of vacant developable land is planned for master planned communities.
- A high rate of new home construction is anticipated due to the many approved master planned communities in the City.

- Reinvestment in the well-established neighborhoods of Chula Vista continues to be needed.
- The City's diverse employment base will grow by more than 73% between 2008 and 2050, with the majority of growth in the retail, service and governmental sectors.
- Based upon past production of housing, sufficient housing opportunities for households with incomes at or below the Area Median Income have not been provided.
- Despite substantial investments of Federal HOME funds and funding from the Redevelopment Agency's Low- and Moderate-Income Housing Asset Fund (prior to the dissolution of Redevelopment), the City has not been able to produce all the units called for in the Regional Housing Needs Allocation.

Chula Vista faces a growing shortage of housing that is affordable to a wide range of our population and needed for a healthy functioning housing market. This lack of affordable housing is detrimental to the health, safety and welfare of the City's residents. Employees may be forced to live in less than adequate housing within the City, pay a disproportionate share of their incomes to live in adequate housing within the City or commute increasing distances to their jobs from housing located outside the City. The City's Balanced Communities Policy can enhance the public welfare by increasing the supply of housing affordable to households of lower and moderate-income incomes in a balanced manner and thereby combating the adverse effects to the City due to an insufficient supply of affordable housing.

II. VILLAGE 8 East AFFORDABLE HOUSING OBLIGATION, LOCATION, PHASING, DESIGN AND UNIT MIX

A. Obligation

The City of Chula Vista Housing Element, Guidelines to the Balanced Communities Policy, and the Otay Ranch GDP provide that ten percent of the total units will be affordable to low- and moderate-income households. Of the ten percent, five percent must be affordable to low-income households and five percent must be affordable to moderate income households. In calculating the required number of affordable units, fractional units shall be rounded up to one additional affordable unit or paid as a partial in-lieu fee equal to the resulting fraction.

The estimated Village 8 East affordable housing unit obligation is based on the Village 8 East SPA entitlement authorization of 3,276 units within Village 8 East. The affordable units required for Village 8 East are approximately 164 low-income affordable units and 164 moderate-income affordable units.

In addition to the Village 8 East affordable housing unit obligation, there is an additional obligation to provide 68 moderate-income housing units pursuant to the

Village 8 West Balanced Communities Affordable Housing Agreement recorded on December 4, 2020, as Document No. 2020-0776213 and an additional 19 low-income affordable housing units and 19 moderate-income housing units, pursuant to the Village 8 East Transfer Agreement recorded on June 30, 2023, as Document No. 2023-0171698. The total affordable housing unit obligation to be satisfied within Village 8 East is:

Reference	Affordable Housing Units		
	Low-Income	Moderate-Income	Total
Village 8 East Affordable Housing Program	164	164	328
Village 8 West Balanced Communities Affordable Housing Agreement		68	68
Village 8 East Transfer Agreement	19	19	38
TOTAL	183	251	434

B. Types of Affordable Housing

The housing policies established in the City of Chula Vista Housing Element advocate a broad variety and diversity of housing types. The affordable housing obligations of Village 8 East will be met through a combination of housing types including rental and “for-sale” housing. In general, low-income housing needs will be satisfied through the provision of rental units. Depending upon the availability of adequate subsidies, incentives or other financing assistance, a limited number of “for-sale” multi-family housing units affordable to low-income households may be available as well.

While Accessory Dwelling Units (ADUs) may provide for housing at a lower cost, ADUs shall not be used for satisfaction of the Balanced Communities affordable housing obligation. Given the significant need for rental housing opportunities for lower income households, particularly with larger households, ADUs provide a limited benefit in addressing this need.

Housing opportunities to meet the needs of moderate-income households will be provided through a combination of rental units as well as “for-sale” housing in medium-high to higher density developments.

C. Location

The location of affordable housing developments shall take into consideration

proximity to and availability of the following:

- Existing or proposed public transit facilities or transportation routes;
- Existing or proposed community facilities and services, such as shopping, medical, child care, recreation areas and schools; and
- Existing or future employment opportunities.

Affordable housing sites within Village 8 East are designated as multifamily and/or mixed-use development sites, as depicted in Exhibit 1: **Potential Affordable Housing Locations**. These sites are in close proximity to parks, schools, public transportation, retail commercial and community purpose facilities.

Identification of potential target sites in this Affordable Housing Program describes one way in which the Village 8 East affordable housing obligation might be met and is not meant to require that affordable units be constructed on any specific sites or to preclude other alternatives. A final determination as to the location and type of the affordable housing sites will occur with subsequent entitlements, approvals and agreements and shall comply with the City's goals, policies and programs contained within the General Plan, the Balanced Communities Policy Guidelines and the Otay Ranch General Development Plan (GDP).

D. Phasing

Development of Village 8 East will be completed in multiple phases to ensure construction of necessary infrastructure and amenities for each phase as the project progresses. The Phasing Plan is non-sequential. This recognizes that sequential phasing is frequently inaccurate due to unforeseen market changes or regulatory constraints. Therefore, the Village 8 East SPA Plan and Public Facilities Finance Plan (PFFP) permits non-sequential phasing by imposing specific facilities requirements for each phase to ensure that Village 8 East is adequately served, and City threshold standards are met.

A phased approach will also be used to ensure the implementation and production of low and moderate-income housing units commensurate with the phasing of market rate residential units within Village 8 East. Phasing of the low- and moderate-income units in Village 8 East is designed to link progress toward the production of such housing to the continued entitlement and development process for the Village 8 East SPA Area. The first or "Initial Phase" for construction of the low and moderate-income housing units shall be comprised of 60% of the total number of qualified low and moderate-income housing units and shall commence construction prior to the issuance by the City of the 1,966th production building permit within Village 8 East ("Initial Phase"). Construction of the remaining number of required low and moderate-income housing units shall commence prior to the City's issuance of the 3,276th production building permit ("Final Phase"). A detailed implementation schedule and building permit stipulations for the

construction and delivery of affordable units in relation to other market rate units will be established through an Affordable Housing Agreement. Such Agreement will be executed prior to the issuance of the first Final Subdivision Map and recorded against the entire Village.

E. Design

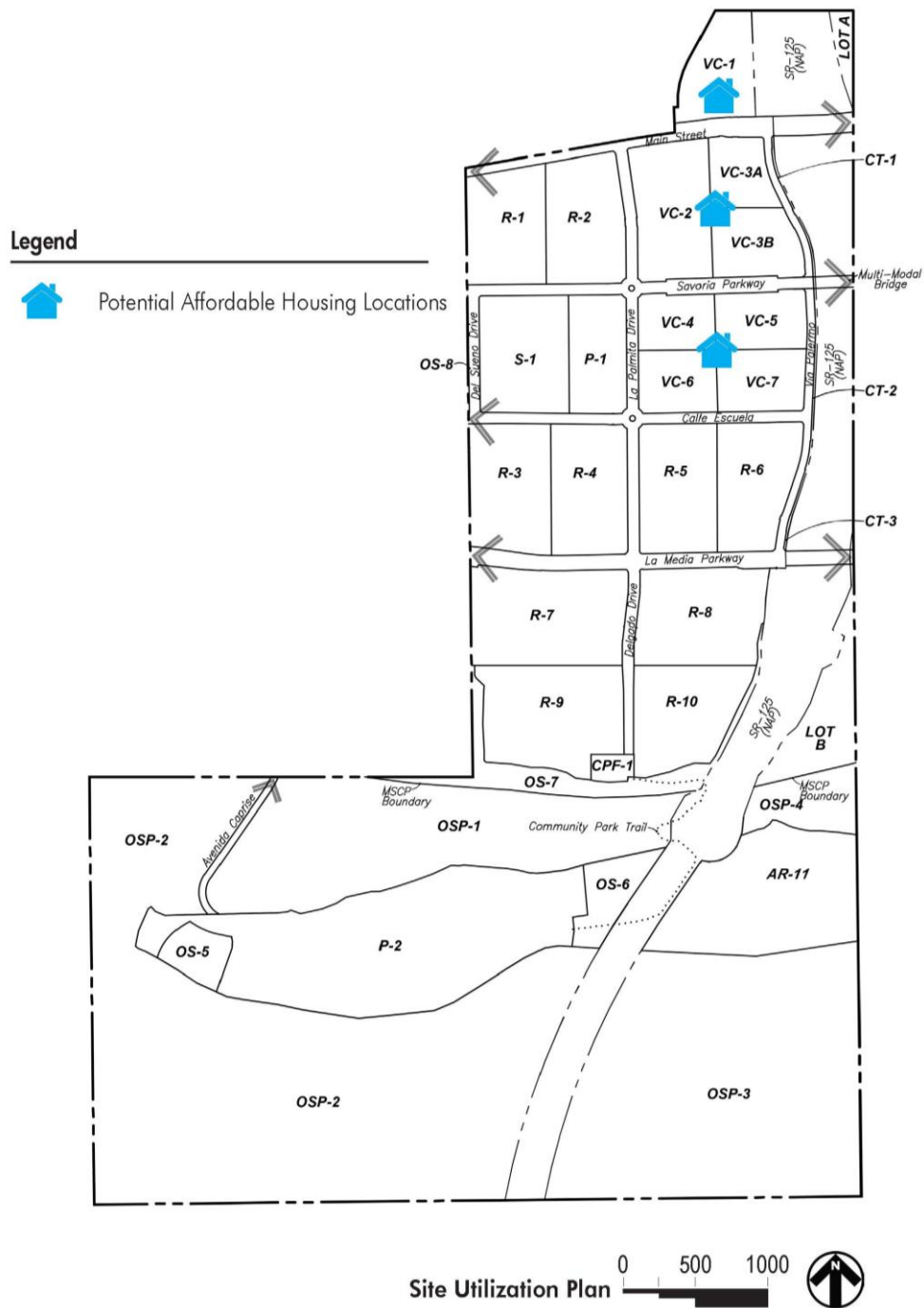
Affordable housing shall be compatible with the design and use of the market rate units, in terms of appearance, materials, and finish quality. The Developer shall have the option of reducing the interior amenities, levels and square footage of the affordable units.

F. Unit Mix by Bedroom Count

The affordable units shall have an overall unit mix by bedroom count which reflects the appropriate community need and shall be comparable to the unit mix by bedroom count of the market rate units in the residential development. Given that 21 percent of the households in Chula Vista (according to the 2010 Census) are large families of five persons or more and a desire on the part of the City to provide housing opportunities for these families throughout the City, a minimum of twenty percent (20%) of the affordable units shall have three or more bedrooms. Affordable housing to be sold and occupied by income eligible households (for sale units) shall also provide a minimum of two bedrooms.

G. Senior Housing

Satisfaction of the affordable housing obligation through the provision of housing for senior citizens as defined by Section 51.3 of the California Civil Code, is at the sole discretion of the City of Chula Vista. The City shall consider such housing in relation to the priority needs of the City's low-income housing population and should such provide advantages as to location, diversity of housing types, and/or affordability levels. Senior housing is exempt from requirements to provide three or more-bedroom units.

**Exhibit 1: Potential Affordable Housing Locations**

III. AFFORDABLE HOUSING RESTRICTIONS

A. Income Eligibility

To determine the eligibility of a household for the low, very low, or moderate-income housing unit, the household purchasing or renting the affordable unit must qualify as a Very Low Income Household, Low Income Household, or Moderate Income Household, as defined below.

B. Affordable Rents and Affordable Housing Costs

The allowable housing expense paid by a qualifying household shall not exceed a specified fraction of the gross monthly income, adjusted for household size, for the following classes of housing:

1. Very low-income, rental and for-sale units: 30 percent of the gross monthly income, adjusted for household size, at 50 percent of the Area Median Income (AMI) for San Diego County, in accordance with Section 50053 (b)(3) and 50052.5 (b)(2) of the California Health and Safety Code. For projects that are subject to a regulatory agreement in connection with Subsidized Financing, the City, in its sole discretion, may allow an alternate formula for calculation of affordable rent in accordance with such regulations.
2. Lower-income, rental units: 30 percent of the gross monthly income, adjusted for household size, at 60 percent of the Area Median Income (AMI) for San Diego County, in accordance with Section 50053 (b)(4) of the California Health and Safety Code. For projects that are subject to a regulatory agreement in connection with Subsidized Financing, the City, in its sole discretion, may allow an alternate formula for calculation of affordable rent in accordance with such regulations.
3. Lower-income, for-sale units: 30 percent of the gross monthly income, adjusted for household size, at 70 percent of the Area Median Income (AMI) for San Diego County in accordance with Section 50052.5 (b) (3) of the California Health and Safety Code.
4. Moderate-income, rental units: 30 percent of the gross monthly income, adjusted for household size, at 110 percent of the Area Median Income (AMI) for San Diego County, in accordance Section 50053 (b)(5) of the California Health and Safety Code.
5. Moderate-income, for-sale units: 35 percent of the gross monthly income, adjusted for household size, at 110 percent of the Area Median Income (AMI) for San Diego County, in accordance with Section 50052.5 (b)(4) of the California Health and Safety Code.

To determine the “Allowable housing expense” include all of the actual or projected monthly or annual recurring expenses required of a household to obtain shelter.

1. For a for-sale unit, allowable housing expenses include payments for principal and interest on a mortgage loan, including any loan insurance fees, property taxes and assessments, fire and casualty insurance, homeowner association fees, and a reasonable allowance for utilities, or as defined in 25 California Code of Regulations Section 6920.
2. For a rental unit, allowable housing expenses include payments for rent and a reasonable allowance for utilities, or as defined in 25 California Code of Regulations Section 6918.

C. Underwriting Requirements

To ensure the preservation of affordability of proposed low and moderate-income housing and financial viability of program participants, the City shall encourage the following policies:

- Fixed rate mortgages only. No adjustable rate mortgages;
- Affordable monthly housing payments no more than 30 percent of household income (“Front End Ratio”);
- Total debt payments no more than 45 percent of household income (“Back End Ratio”);
- No “teaser” rates; and,
- No non-occupant co-borrowers.

D. Term of Affordability and Resale Provisions of Owner-Occupied Housing

In order to ensure the continued affordability of the units, resale of the units must be restricted for the required term of forty-five (45) years and shall comply with City of Chula Vista Council Policy 453-02, *Development of Affordable for Sale Housing for Low- and Moderate-Income Buyers*, as it may be amended by the Chula Vista City Council from time to time. After initial sale of the affordable units to a low-income household, all subsequent buyers of such units must also be income eligible and the unit must be sold at an affordable price. A developer may opt to have no income or sales price restriction for subsequent buyers, provided however that restrictions to the satisfaction of the City are in place that would result in the recapture by the City or its designee of a financial interest in the units equal to the amount of subsidy necessary to make the unit affordable to a low-income household and a proportionate share of any equity. Funds recaptured by the City shall be used to provide assistance to other identified affordable housing production or contributions to a special needs housing project or program. To the extent possible, projects using for-sale units to satisfy the obligations of developers under the City’s Affordable Housing Program shall be designed to be compatible with conventional mortgage financing programs including secondary market requirements.

E. Term of Affordability Restrictions of Rental Housing

The term of the affordability restrictions for rental projects shall be fifty-five years (55) years from issuance of the Certificate of Occupancy for the first structure providing income and rent restricted units, consistent with required terms under State housing programs, or the longest period of time if required by the construction or mortgage financing assistance program, mortgage insurance program, or rental financing subsidy or incentive program.

IV. SUBSIDIES, INCENTIVES AND FINANCING MECHANISMS

The obligation to provide affordable housing shall not be dependent upon the availability of subsidies, incentives or financing mechanisms. The City shall consider providing incentives, assistance, and subsidies to those qualifying projects and supporting any applications for assistance that requires approvals from, or allocations by other agencies, to the extent feasible, in a manner that offsets the cost of providing for affordable units. Offsets will be offered by the City to the extent that resources and programs for this purpose are available to the City and to the extent that the qualifying projects, with the use of the offsets, assist in achieving the City's housing goals. To the degree such offsets are available, the Developer may make application to the City. The City agrees to use its reasonable best efforts to assist the Developer in pursuing the benefit of certain financing mechanisms, subsidies and other incentives to facilitate provision of affordable housing for Village 8 East. These mechanisms include, but are not limited to, local, state and federal subsidies and City density bonuses, planning, and design and development techniques and standards, and City fee waivers or deferrals which reduce the cost of providing affordable housing (collectively, the "Cost Reducing Mechanisms").

The parties acknowledge that the City is not hereby committing, directly or through implication, a right to receive any offsets from City or any other party or agency to enable the Developer to meet the obligations and cannot guarantee the availability of any Cost Reducing Mechanisms to the Developer for Village 8 East. The City reserves the right to approve, approve with conditions or disapprove, in its sole discretion, any Developer request for subsidized financing sponsored by the City.

A. Density Bonus

Projects that meet the applicable requirements of State law (Government Code Section 65915) as a result of affordable housing units, are entitled to a density bonus or other incentives in accordance with the provisions of such law.

V. COMPLIANCE

Terms related to occupancy and affordability restrictions shall be recorded as a separate deed restriction or regulatory agreement, along with a deed of trust, solely on the property designated for the affordable units and shall bind all future owners and successors in interest for the term of years specified therein.

The City shall monitor affordable units for compliance with those terms and conditions of all relevant Affordable Housing Agreements or other restrictions. The Developer shall submit compliance reports in the frequency and manner prescribed by the City of Chula Vista Development Services Department.

VI. AFFIRMATIVE MARKETING PLAN

The Developer shall provide a marketing plan acceptable to the City, in the City's reasonable discretion, for proactively marketing the low- and moderate-income housing units to low- and moderate-income tenants and purchasers. Developer shall use good faith and reasonable best efforts to market the low- and moderate-income housing units to low- and moderate-income tenants and purchasers according to the affirmative marketing plan. The City will use good faith and reasonable best efforts to assist the Developer in marketing low- and moderate-income housing units to low- and moderate-income tenants and purchasers obtaining the services of a third-party organization in connection with such marketing efforts, processing the applications of prospective tenants and purchasers of low- and moderate-income housing units, and complying with the reporting requirements as required herein.

Selection of tenants shall be made randomly by lottery within the following levels of priority, subject in all circumstances to applicable limitations imposed by law, including, without limitation, the Fair Housing Act under Federal law:

- A. Priority.** Households which are displaced from their primary residence as a result of an action of City or Agency, a condominium conversion involving the household's residence, expiration of affordable housing covenants applicable to such residence, or closure of a mobile home or trailer park community in which the household's residence was located, and the household resided in such housing as the household's primary place of residence for at least two years prior to such action or event.
- B. Second Priority.** Households which meet one of the following criteria: (i) households which are displaced from their primary residence as a result of an action of City or Agency, a condominium conversion involving the household's residence, expiration of affordable housing covenants applicable to such residence, or closure of a mobile home or trailer park community in which the household's residence was located, and the household resided in such housing as the household's primary place of residence for at least one year but less than two years prior to such action or event; (ii) households with at least one member who resides within the City, as that person's primary place of residence; (iii) households with at least one member who works or has been hired to work within the City, as that person's principal place of full-time employment; or (iv) households with at least one member who is expected to live within the City as a result of a bona fide offer of employment within the City.

C. Third Priority. Other Low-Income Households who do not meet the criteria for first priority or second priority above.

VII. IMPLEMENTING AGREEMENTS AND CONDITIONS

This AHP may be implemented through various mechanisms including development agreements, tentative map conditions, and specific housing project agreements that may impose additional terms and conditions consistent herewith.

VIII. DEFINITIONS

Affirmative Marketing Plan

An outline that details actions the Developer will take to provide information and otherwise attract eligible persons in the housing market area to the available housing without regard to race, sex, sexual orientation, marital status, familial status, color, religion, national origin, ancestry, handicap, age, or any other category which may be defined by the law now or in the future.

Low Income Household

Low Income Household has the meaning set forth in California Health and Safety Code Section 50079.5 for “Lower income households”. Maximum incomes for Low Income households shall be as published annually by HUD for San Diego County.

Moderate Income Household

Moderate Income Household has the meaning set forth in California Health and Safety Code Section 50093 for “Persons and families of low or moderate income”. Maximum incomes for Moderate Income households shall be as published annually by HUD for San Diego County.

Very Low Income Household

Very Low Income Household has the meaning set forth in California Health and Safety Code Section 50105. Maximum incomes for Very Low Income Households shall be as published annually by HUD for San Diego County.

San Diego Area Median Income

The San Diego County area median income level as determined from time to time by HUD, adjusted for household size.

Subsidized Financing

Any financing provided by any public agency specifically for the development and construction of low- or moderate-income housing units, including but not limited to, the following:

- Low Income Housing Tax Credits (LIHTC) – statewide competition;

- Housing Bonds – State;
- Housing Bonds – City of Chula Vista;
- HOME – City of Chula Vista and County of San Diego;
- Community Development Block Grants – City of Chula Vista;
- California Department of Housing and Community Development funds – State; and,
- Other Public Financing – State and Federal.

OTAY RANCH VILLAGE 8 EAST

Air Quality Improvement Plan

April 2024

Adopted on December 2, 2014
By Resolution No. 2014-135

Amended _____
By Resolution No. _____

Prepared for:

HomeFed Otay Land II, LLC
1903 Wright Place, Suite 220
Carlsbad, CA 92008



Prepared by

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1. Executive Summary

A. Intent of the Air Quality Improvement Plan (AQIP)

This AQIP provides an analysis of air pollution impacts which would result from the proposed development and demonstrates the best available design to reduce vehicle trips, maintain or improve traffic flow, reduce vehicle miles traveled and reduce greenhouse gas (GHG) direct or indirect emissions. This AQIP demonstrates how Village 8 East has been designed consistent with the City of Chula Vista's Energy and Water Conservation regulations (Chula Vista Municipal Code §20.04) and Landscape Water Conservation regulations (CVMC 20.12) and represents the best available design in terms of improving energy efficiency and reducing GHG emissions. GHG emissions include gases such as carbon dioxide (CO₂), methane (CH₄), and nitrous oxide (N₂O). These emissions occur naturally and are produced by human activities, such as by automobile emissions and emissions from production of electricity, to provide power to homes and businesses. These gases prevent heat from escaping the earth's atmosphere, while allowing in sunlight, which has the effect of warming the air temperature.

Applicable action measures contained in the City's CO₂ Reduction Plan and specific measures for the Village 8 East Sectional Planning Area (SPA) Plan Amendment ("proposed project" being evaluated herein) are addressed.

B. Community Site Design Goals

Village 8 East is part of the Otay Ranch General Development Plan (GDP). The GDP is a "general plan level" document that was jointly prepared and adopted by the County of San Diego and the City of Chula Vista. Although produced similar to a General Plan, the GDP is not part of the Chula Vista General Plan but is consistent with it.

A central component of the Otay Ranch GDP is the "village" concept. Each village is approximately one square mile and is defined by a village core. Village cores consist of facilities and services needed to serve the everyday needs of its residents. Such uses include a school, shops, parks, and civic facilities. The highest density residential uses occur in and around the core in the form of mixed-use housing and retail as well as high-density attached homes. Residential densities decrease near the outer edges of each village to provide diversity in housing and serve a wide range of lifestyles and economic levels within each village. Most village cores are served by transit. Higher residential densities at the core are intended to support commercial uses by activating the village core during all hours of the day and promote more walkable communities by providing facilities and services within a quarter mile of most homes. The village concept also promotes more efficient public transit and increased ridership by providing strong activity centers in each village and making transit close and convenient for most residents.

Village 8 East complies with the "village" concept and design goals. It is composed of 570 acres and is located south of the extension of Main Street, north of the Otay River Valley, east of Village 8 West and west of State Route (SR) 125.

The proposed Village 8 East Land Use Plan would include a Village Core mixed-use area that

would accommodate multi-family residential uses, retail/commercial uses and an elementary school. The Village Core also includes a centrally located 7.3-acre neighborhood park. A future multi-modal bridge is planned in the Village Core linking Village 8 East and future Village 9. The multi-use bridge is planned to accommodate Neighborhood Electric Vehicles (NEV), bicycle and pedestrian uses.

The approved (2014) land use plan for Village Eight East would allow for the construction of a total of 3,276 residential units, including 943 detached homes, 1,893 attached homes and 440 multi-family units, 20,000 square feet of mixed-use commercial; 10.3 acres for an elementary school; a 7.3 acre neighborhood park, 51.5-acre Otay Ranch Community Park South, 4.2 acres of Community-Purpose Facilities (CPF); and 33.8 acres of open space (Figure 1). Access to the village is provided via the extension of Main Street and Otay Valley Road with emergency and pedestrian access to the community park provided along a utility corridor in the southeast portion of Village 8 East.

The Proposed Project includes 3,276 residential units, 20,000 square feet of commercial uses, a 7.3 acre neighborhood park, an 11.3-acre elementary school site, 253.6 acres of Preserve Open Space, 16.4¹ acres of manufactured slopes/basins, and the 22.6-acre active recreation site (AR-11) located east of SR-125. The 43.3-acre Otay Ranch Community Park South is located south of Village 8 East. An existing water quality basin that serves Village 8 West is located in the western portion of the community park and the proposed project includes an additional detention basin in the eastern portion of the community park to serve Village 8 East.

The amendment is seeking approval to modify the Village 8 East land use plan to reflect current market conditions and housing needs and to ensure the community relates more closely to the adjacent Village 8 West community and future Village 9 planned east of SR-125. The replanning effort also addresses the redesign of the SR-125 interchanges at Main Street and La Media Parkway.

C. Planning Features

The Village 8 East land use and circulation pattern is designed to reflect traditional town planning principles including the pedestrian and transit-oriented village concept described in the Otay Ranch GDP. This village concept intensifies residential densities and commercial uses to enhance transit use, promote walkability, and create vibrant commercial and public spaces that promote social interaction and a strong community identity. The variety of proposed residential, educational, commercial, and community uses are intended to provide a mixed-use environment that serves the needs of residents and employees.

¹ A portion of the Edge Trail and associated overlook features (approximately 1.76 acres) are included within the 8.2-acre OS-7 parcel. The Edge Trail area shall be secured with a public access easement and the 1.76 acres shall satisfy a portion of the Village 8 East park obligation. The 1.76-acre Edge Trail area is not counted toward meeting the Village 8 East open space requirement.

Village Core

Village 8 East concentrates multi-family housing, mixed-use commercial, community purpose, school and neighborhood park uses in and around a centrally located village core. A network of pedestrian and bicycle circulation routes planned throughout the village connect to the village core.

Housing Intensity

Higher density residential uses are located within Village 8 East creating opportunities for synergistic land use relationships and access to the planned public transit. The residential density being proposed in Village 8 East will increase ridership opportunities for such transit use. A transit stop may be provided along Main Street to serve village residents and visitors, enabling access to the regional transportation network.

Street Widths, Pavement and Street Trees

Otay Ranch street sections are narrower than typical standards which reduces asphalt pavement and the “urban heat-island effect” by limiting the amount of reflective surfaces. Street trees provide shade which further reduces heat-gain.

Public Transportation

Local bus service is planned along Main Street, adjacent to Village 8 East. Transit facilities are intended to reduce the public’s dependence upon the automobile to help alleviate traffic congestion. The provision of transit facilities is also an action measure of the City’s CO₂ Reduction Plan. Currently, two percent of trips are conducted on public transit in the region. An increase in transit use can be fostered through the location of higher-density housing near transit, site design with transit orientation and enhanced pedestrian access to transit. The land use and circulation plan for the SPA Plan Area incorporates transit-oriented design.

Alternative Travel Modes

In Village 8 East, the Village Pathway and Promenade Trails allow for bicycle and pedestrian use throughout the Village and connect to the City’s Regional Trail network and adjacent communities. In addition, a neighborhood electric vehicle (NEV) network is planned within Village 8 East to further encourage alternative travel modes.

Building and Design Features

Village 8 East incorporates several features into the site design that promote alternative transportation use, reduce traffic congestion, encourage energy efficiency, and reduce area source pollutants. These measures include the following:

- Foster development patterns which promote orderly growth and prevent urban sprawl.
- Establish an urban pedestrian-oriented village with a village core designed to reduce reliance on automobiles.
- Promote multi-modal transportation, including walking and the use of bicycles, buses, and regional transit.
- Establish multi-use trail linkages to the regional trail network and adjacent communities.

- Promote synergistic uses to balance activities, services and facilities with employment, housing, transit, and commercial opportunities.

The last cycle of the California Building Standards Code, Title 24, went into effect on January 1, 2020 (2019 Code). This includes Building, Residential, Electrical, Mechanical and Plumbing, as well as Energy and Green Building (CalGreen) Codes. However, construction within Village 8 East will be subject to the 2022 California Building Code (effective as of January 1, 2023) or future cycles effective at the time when project implementation occurs.

The 2022 Building Code has an even greater emphasis on decarbonization, requiring capabilities for electric appliances as well as provisions for photovoltaic systems, battery storage, and electric vehicles. Therefore, future construction within Village 8 East will by design, continue to work towards consistency with Chula Vista's Energy and Water Conservation regulations (CVMC §20.04) and Landscape Water Conservation regulations (CVMC §20.12) and represents code compliance in terms of energy efficiency and GHG emissions reductions.

D. Modeled Effectiveness of Community Design

The City of Chula Vista previously used the INDEX CO₂ model requirements. This tool is no longer used. Therefore, the Leadership in Energy and Environmental Design - Neighborhood Development Version 4.0 (LEED-ND v4.0) checklist is being utilized as an analytical tool for sustainable design. The 2014 approved AQIP prepared for Village 8 East did include a CO₂ Index Model for the proposed project which is provided for reference. Please refer to Table 1: Chula Vista CO₂ Index Model Results – Village 8 East.

A LEED-ND Equivalency Analysis has been prepared to study various design features within Village 8 East for the Village 8 East SPA Amendment. Please refer to Table 10, LEED Neighborhood Development Plan Village 8 East Equivalency Analysis.

Table 1: Chula Vista CO₂ Index Model Results – Village 8 East

Element	Indicator	Units	Threshold Score	SPA Plan Score	Compliance Status (Y/N)
Land Use	Use Mix	0-1 scale	0.1	0.14	Yes
	Use Balance	0-1 scale	0.6	0.71	Yes
	Neighborhood Completeness	% of key uses	60	60	Yes
Housing	School Proximity to Housing	Average walking feet to closest	3,200	2,328	Yes
	Transit Proximity to Housing	Average walking feet to closest stop	2,900	1,096	Yes
Employment	Transit Proximity to Employment	Average walking feet to closest stop	2,600	673	Yes
Recreation	Park Proximity to Housing	Average walking feet to closest park	1,700	1,340	Yes
Travel	Internal Street Connectivity	cul-de-sac	0.7	0.79	Yes
	Intersection Density	Intersections/Square Mile	210	196	No*
	Pedestrian Network Coverage	% of streets w/sidewalks	81	86.0	Yes
	Residential Multi-Modal Access	% Dwelling Units w/3+ modes w/in 1/8mi	40	91.7	Yes
	Daily Auto Driving (3Ds Methodology)	Vehicle Miles Traveled/capita/day	22	21.72	Yes
	Daily Auto Driving Inputs				
	Density		9,692	22,609	
	Diversity		.18	0.06	
	Design		3.57	3.96	
	Street Network Density		17.57	22.50	
Climate Change	Residential Building Energy Use	MMBtu/yr/capita	29	23.9	Yes
	Non-Residential Building Energy Use	1M British Thermal Units -/year /emp	19	9.2	Yes
	Residential Building CO ₂ Emissions	Pounds /capita/yr	4,800	3,932	Yes
	Non-Residential Building CO ₂ Emissions	lbs/emp/yr	2,100	1,506	Yes

*Anticipated that multi-family sites will provide internal circulation which will achieve the Threshold Score.

2. Introduction

A. Need for a Qualitative Air Quality Plan

Preparation of a project specific AQIP is required to accompany SPA Plans, pursuant to CVMC 19.92.030. The AQIP addresses compliance with the air quality standards and policies of the San Diego County Air Pollution Control District (“APCD”). The CVMC requires that no application for a SPA Plan or Tentative Map shall be deemed complete or accepted for review unless an AQIP is provided and approved as part of the approval of the SPA Plan or Tentative Map by the City.

This AQIP will serve to implement several of the key aspects of the City’s CO₂ Reduction Plan as well as reflect the City’s Green Building Standards (CVMC §15.12) and Energy Code (CVMC §15.26) for the development of Village 8 East. A detailed discussion on project compliance with the City’s standards for sustainable development is provided in the following sections.

B. Purpose and Goals

The purpose of the AQIP is to provide an analysis of air pollution impacts that would result from development of Village 8 East and to demonstrate how the village’s design reduces vehicle trips, maintains or improves traffic flow, reduces vehicle miles traveled, reduces direct or indirect Greenhouse Gas (GHG) emissions, and minimizes pollutant emissions during construction per regulations. This AQIP also demonstrates how Village 8 East has been designed consistent with the City’s requirements including the City’s CO₂ Reduction Plan, and Green Building and Energy Standards.

The goal and objectives provided in CVMC Chapter 19.92.030) include the following:

Goal: To maintain and improve the ambient air quality enjoyed by the residents of Chula Vista.

Objectives.

- In an effort to address the impacts of transportation and building-related energy use at both the regional and local level, the City shall endeavor to implement applicable air quality improvement strategies and programs that meet or exceed those established through the current adopted Regional Air Quality Strategy (“RAQS”), California Global Warming Solutions Act of 2005 (AB32), and the Chula Vista Climate Protection Program
- In an effort to maintain and improve ambient air quality, the City shall endeavor to locally mitigate any new stationary source development project’s criteria air pollutant emissions that exceed local air quality standards.

The AQIP has been prepared based on the best available design practices and also serves to implement several of the key aspects of the City’s Climate Action Plan and Municipal Code.

C. Regulatory Framework Related to Air Quality

There are a number of actions that federal, state, and local jurisdictions have taken to improve air quality, increase energy efficiency, and reduce GHG emissions. This section summarizes those actions.

Air quality is defined by ambient air concentrations of specific pollutants determined by the Environmental Protection Agency (EPA) to be of concern with respect to the health and welfare of the public. The subject pollutants monitored by the EPA include the following:

- Carbon Monoxide (CO),
- Sulfur Dioxide (SO₂),
- Nitrogen Dioxide (NO₂),
- Nitrogen Oxides (NO_x)
- Ozone (O₃),
- Respirable 10- and 2.5-micron particulate matter (PM₁₀ and PM_{2.5}),
- Volatile Organic Compounds (VOC),
- Reactive Organic Gasses (ROG),
- Hydrogen Sulfide (H₂S),
- Sulfates,
- Lead (Pb),
- Vinyl Chloride, and
- Visibility reducing particles (VRP).

The EPA has established ambient air quality standards for these pollutants. These standards are called the National Ambient Air Quality Standards (NAAQS). The California Air Resources Board (CARB) subsequently established the more stringent California Ambient Air Quality Standards (CAAQS). Both sets of standards are shown in Table 3: Ambient Air Quality Standards Matrix. Areas in California where ambient air concentrations of pollutants are higher than the state standard are considered to be in “non-attainment” status for that pollutant.

Regulation of air emissions from non-mobile sources within San Diego County has been delegated to the San Diego County Air Pollution Control District (APCD). As part of its air quality permitting process, the APCD has established thresholds for the preparation of Air Quality Impact Assessments (AQIAs) and/or Air Quality Conformity Assessments (AQCA). APCD has also established an “emissions budget” or Regional Air Quality Strategy (RAQS) for the San Diego Air Basin. This budget considers existing conditions, planned growth based on General Plans for cities within the region, and air quality control measures implemented by the APCD. The project site lies within the jurisdiction of the South Coast Air Quality Management District (SDAQMD); applicable standards are shown in Table 2: Thresholds of Significance for Air Quality Impacts.

Table 2: Thresholds of Significance for Air Quality Impacts

South Coast
Air Quality Management District
21865 Copley Drive, Diamond Bar, CA 91765-4182
(909) 396-2000 • www.aqmd.gov

SCAQMD Air Quality Significance Thresholds

Mass Daily Thresholds ^a		
Pollutant	Construction ^b	Operation ^c
NO _x	100 lbs/day	55 lbs/day
VOC	75 lbs/day	55 lbs/day
PM ₁₀	150 lbs/day	150 lbs/day
PM _{2.5}	55 lbs/day	55 lbs/day
SO _x	150 lbs/day	150 lbs/day
CO	550 lbs/day	550 lbs/day
Lead	3 lbs/day	3 lbs/day

^a Source: SCAQMD CEQA Handbook (SCAQMD, 1993)

^b Construction thresholds apply to both the South Coast Air Basin and Coachella Valley (Salton Sea and Mojave Desert Air Basins).

^c For Coachella Valley, the mass daily thresholds for operation are the same as the construction thresholds.

1. Federal

Clean Air Act (CAA)

Air quality is defined by ambient air concentrations of specific pollutants identified by the EPA to be of concern with respect to health and welfare of the general public. The EPA is responsible for enforcing the Federal CAA of 1970 and its 1977 and 1990 Amendments. The CAA required the EPA to establish National Ambient Air Quality Standards (NAAQS), which identify concentrations of pollutants in the ambient air below which no adverse effects on the public health and welfare are anticipated. In response, the EPA established both primary and secondary standards for several criteria pollutants, which are introduced above. Table 3: Ambient Air Quality Standards Matrix shows the federal and state ambient air quality standards for these pollutants.

The CAA allows states to adopt ambient air quality standards and other regulations provided they are at least as stringent as federal standards. The California Air Resources Board (CARB) has established the more stringent California Ambient Air Quality Standards (CAAQS) for the six criteria pollutants through the California Clean Air Act of 1988 (CCAA), and also has established CAAQS for additional pollutants, including sulfates, hydrogen sulfide (H₂S), vinyl chloride, and visibility-reducing particles. Areas that do not meet the NAAQS or the CAAQS for a particular pollutant are considered to be “nonattainment areas” for that pollutant. On April 30, 2012, the San Diego Air Basin (SDAB) was classified as a marginal nonattainment area for the 8-hour NAAQS for ozone. The SDAB is an attainment area under the NAAQS for all other criteria pollutants. The SDAB currently falls under a national “maintenance plan” for CO, following a 1998 re-designation as a CO attainment area (SDAPCD 2010). The SDAB is currently classified as a nonattainment area under the CAAQS for ozone (serious nonattainment), PM₁₀, and PM_{2.5}.

The U.S. Supreme Court ruled on April 2, 2007, in *Massachusetts v. U.S. Environmental Protection Agency* that CO₂ is an air pollutant, as defined under the CAA, and that the EPA has the authority to regulate emissions of GHGs. The EPA announced that GHGs (including CO₂, CH₄, N₂O, HFC, PFC, and SF₆) threaten the public health and welfare of the American people. This action was a prerequisite to finalizing the EPA's GHG emissions standards for light-duty vehicles, which were jointly proposed by the EPA and the United States Department of Transportation's National Highway Traffic Safety Administration (NHTSA). The standards were established on April 1, 2010, for 2012 through 2016 model year vehicles and on October 15, 2012, for 2017 through 2025 model year vehicles (EPA 2011; EPA and NHTSA 2012).

Light-Duty Vehicle Greenhouse Gas Emissions Standards and Corporate Average Fuel Economy Standards

The EPA and the NHTSA have been working together on developing a national program of regulations to reduce GHG emissions and to improve fuel economy of light-duty vehicles. The EPA is finalizing the first-ever national GHG emissions standards under the CAA, and the NHTSA is finalizing Corporate Average Fuel Economy (CAFE) standards under the Energy Policy and Conservation Act. On April 1, 2010, the EPA and NHTSA announced a joint Final Rulemaking that established standards for 2012 through 2016 model year vehicles. This was followed up on October 15, 2012, when the agencies issued a Final Rulemaking with standards for model years 2017 through 2025. The rules require these vehicles to meet an estimated combined average emissions level of 250 grams per mile by 2016, decreasing to an average industry fleet-wide level of 163 grams per mile in model year 2025. The 2016 standard is equivalent to 35.5 miles per gallon (mpg), and the 2025 standard is equivalent to 54.5 mpg if the levels were achieved solely through improvements in fuel efficiency. The agencies expect, however, that a portion of these improvements will be made through improvements in air conditioning leakage and the use of alternative refrigerants that would not contribute to fuel economy. These standards would cut GHG emissions by an estimated 2 billion metric tons (MT) and 4 billion barrels of oil over the lifetime of the vehicles sold under the program (model years 2017–2025). The combined EPA GHG standards and NHTSA CAFE standards resolve previously conflicting requirements under both federal programs and the standards of the State of California and other states that have adopted the California standards (EPA 2011; EPA and NHTSA 2012).

Table 3: Ambient Air Quality Standards Matrix

Ambient Air Quality Standards						
Pollutant	Averaging Time	California Standards ¹		National Standards ²		
		Concentration ³	Method ⁴	Primary ^{3,5}	Secondary ^{3,6}	Method ⁷
Ozone (O ₃) ⁸	1 Hour	0.09 ppm (180 µg/m ³)	Ultraviolet Photometry	—	Same as Primary Standard	Ultraviolet Photometry
	8 Hour	0.070 ppm (137 µg/m ³)		0.070 ppm (137 µg/m ³)		
Respirable Particulate Matter (PM10) ⁹	24 Hour	50 µg/m ³	Gravimetric or Beta Attenuation	150 µg/m ³	Same as Primary Standard	Inertial Separation and Gravimetric Analysis
	Annual Arithmetic Mean	20 µg/m ³		—		
Fine Particulate Matter (PM2.5) ⁹	24 Hour	—	—	35 µg/m ³	Same as Primary Standard	Inertial Separation and Gravimetric Analysis
	Annual Arithmetic Mean	12 µg/m ³	Gravimetric or Beta Attenuation	12.0 µg/m ³	15 µg/m ³	
Carbon Monoxide (CO)	1 Hour	20 ppm (23 mg/m ³)	Non-Dispersive Infrared Photometry (NDIR)	35 ppm (40 mg/m ³)	—	Non-Dispersive Infrared Photometry (NDIR)
	8 Hour	9.0 ppm (10 mg/m ³)		9 ppm (10 mg/m ³)	—	
	8 Hour (Lake Tahoe)	6 ppm (7 mg/m ³)		—	—	
Nitrogen Dioxide (NO ₂) ¹⁰	1 Hour	0.18 ppm (339 µg/m ³)	Gas Phase Chemiluminescence	100 ppb (188 µg/m ³)	—	Gas Phase Chemiluminescence
	Annual Arithmetic Mean	0.030 ppm (57 µg/m ³)		0.053 ppm (100 µg/m ³)	Same as Primary Standard	
Sulfur Dioxide (SO ₂) ¹¹	1 Hour	0.25 ppm (655 µg/m ³)	Ultraviolet Fluorescence	75 ppb (196 µg/m ³)	—	Ultraviolet Fluorescence; Spectrophotometry (Pararosaniline Method)
	3 Hour	—		—	0.5 ppm (1300 µg/m ³)	
	24 Hour	0.04 ppm (105 µg/m ³)		0.14 ppm (for certain areas) ¹¹	—	
	Annual Arithmetic Mean	—		0.030 ppm (for certain areas) ¹¹	—	
Lead ^{12,13}	30 Day Average	1.5 µg/m ³	Atomic Absorption	—	—	High Volume Sampler and Atomic Absorption
	Calendar Quarter	—		1.5 µg/m ³ (for certain areas) ¹²	Same as Primary Standard	
	Rolling 3-Month Average	—		0.15 µg/m ³		
Visibility Reducing Particles ¹⁴	8 Hour	See footnote 14	Beta Attenuation and Transmittance through Filter Tape	No National Standards		
Sulfates	24 Hour	25 µg/m ³	Ion Chromatography			
Hydrogen Sulfide	1 Hour	0.03 ppm (42 µg/m ³)	Ultraviolet Fluorescence			
Vinyl Chloride ¹²	24 Hour	0.01 ppm (26 µg/m ³)	Gas Chromatography			

Source: California Air Resources Board.

San Diego Air Pollution Control District (SDAPCD) is the local agency responsible for the administration and enforcement of air quality regulations for the County. The SDAPCD and San Diego Association of Governments (SANDAG) are responsible for developing and implementing the clean air plan for attainment and maintenance of the ambient air quality standards in the SDAB. The County's Regional Air Quality Strategies (RAQS) was initially adopted in 1991 and is updated on a triennial basis. The most recent version of the RAQS is expected to be adopted in 2023. The local RAQS, in combination with those from all other California nonattainment areas with serious (or worse) air quality problems, is submitted to CARB, which develops the California State Implementation Plan (SIP). The SIP relies on the same information from SANDAG to develop

emission inventories and emission reduction strategies that are included in the attainment demonstration for the air basin. The current federal and state attainment status for San Diego County is presented in Table 4: San Diego County Attainment Status.

Table 4: San Diego County Attainment Status

Criteria Pollutant	Federal Designation	State Designation
Ozone (8-Hour)	Nonattainment	Nonattainment
Ozone (1-Hour)	Attainment *	Nonattainment
Carbon Monoxide	Attainment	Attainment
PM10	Unclassifiable **	Nonattainment
PM2.5	Attainment	Nonattainment
Nitrogen Dioxide	Attainment	Attainment
Sulfur Dioxide	Attainment	Attainment
Lead	Attainment	Attainment
Sulfates	No Federal Standard	Attainment
Hydrogen Sulfide	No Federal Standard	Unclassified
Visibility	No Federal Standard	Unclassified

* The federal 1-hour standard of 12 pphm was in effect from 1979 through June 15, 2005. The revoked standard is referenced here because it was employed for such a long period and because this benchmark is addressed in State Implementation Plans.

** At the time of designation, if the available data does not support a designation of attainment or nonattainment, the area is designated as unclassifiable.

Source: Air Pollution Control District (<https://www.sdapcd.org>), April 2015.

As stated above, the SDAPCD is responsible for planning, implementing, and enforcing federal and state ambient standards. The following rules and regulations apply to all sources in the jurisdiction of SDAPCD:

SDAPCD Regulation IV Prohibitions; Rule 51: Prohibits the discharge from any source such quantities of air contaminants or other materials that cause or have a tendency to cause injury, detriment, nuisance, annoyance to people and/or the public, or damage to any business or property.

SDAPCD Regulation IV Prohibitions; Rule 55: Fugitive Dust Regulates fugitive dust emissions from any commercial construction or demolition activity capable of generating fugitive dust emissions, including active operations, open storage piles, and inactive disturbed areas, as well as track-out and carry-out onto paved roads beyond a project site.

SDAPCD Regulation IV Prohibitions; Rule 67.0: Architectural Coatings: Requires manufacturers, distributors, and end users of architectural and industrial maintenance coatings to reduce VOC emissions from the use of these coatings, primarily by placing limits on the VOC content of various coating categories.

2. State of California

Toxic Air Contaminants

Toxic Air Contaminants (TACs) are a category of air pollutants that have been shown to have an impact on human health but are not classified as criteria pollutants. Examples include certain aromatic and chlorinated hydrocarbons, certain metals, and asbestos. Air toxics are generated by

a number of sources, including stationary ones such as dry cleaners, gas stations, combustion sources, and laboratories; mobile ones such as automobiles; and area sources such as farms, landfills, construction sites, and residential areas. Adverse health effects of TACs can be carcinogenic (cancer-causing), short-term (acute) noncarcinogenic, and long-term (chronic) noncarcinogenic. Public exposure to TACs is a significant environmental health issue in California.

California's air toxics control program began in 1983 with the passage of the Toxic Air Contaminant Identification and Control Act, better known as Assembly Bill (AB) 1807 or the Tanner Bill. When a compound becomes listed as a TAC under the Tanner process, the CARB normally establishes minimum statewide emission control measures to be adopted by local air pollution control districts (APCDs). Later legislative amendments (AB 2728) required the CARB to incorporate all 189 federal hazardous air pollutants (HAPs) into the state list of TACs.

Supplementing the Tanner process, AB 2588 the Air Toxics "Hot Spots" Information and Assessment Act of 1987 currently regulates over 600 air compounds, including all of the Tanner-designated TACs. Under AB 2588, specified facilities must quantify emissions of regulated air toxics and report them to the local APCD. If the APCD determines that a potentially significant public health risk is posed by a given facility, the facility is required to perform a health risk assessment (HRA) and notify the public in the affected area if the calculated risks exceed specified criteria.

On August 27, 1998, CARB formally identified PM emitted in both gaseous and particulate forms by diesel-fueled engines as a TAC. The particles emitted by diesel engines are coated with chemicals, many of which have been identified by the EPA as HAPs and by CARB as TACs. CARB's Scientific Advisory Committee has recommended a unit risk factor (URF) of 300 in 1 million over a 70-year exposure period for diesel particulate. In September 2000, the CARB approved the Risk Reduction Plan to Reduce Particulate Matter Emissions from Diesel-Fueled Engines and Vehicles (Diesel Risk Reduction Plan; CARB 2000). The Diesel Risk Reduction Plan outlined a comprehensive and ambitious program that included the development of numerous new control measures over the next several years aimed at substantially reducing emissions from new and existing on-road vehicles (e.g., heavy-duty trucks and buses), off road equipment (e.g., graders, tractors, forklifts, sweepers, and boats), portable equipment (e.g., pumps), and stationary engines (e.g., stand-by power generators). These requirements are now in force on a state-wide basis.

California Greenhouse Gas Regulations

There are numerous State plans, policies, regulations, and laws related to GHGs and global climate change. Following is a discussion of some of these plans, policies, and regulations that (1) establish overall State policies and GHG reduction targets; (2) require State or local actions that result in direct or indirect GHG emission reductions for the proposed Project; and (3) require CEQA analysis of GHG emissions.

California Code of Regulations, Title 24, Part 6

California Code of Regulations Title 24 Part 6: California's Energy Efficiency Standards for Residential and Nonresidential Buildings were first established in 1978 in response to a legislative mandate to reduce California's energy consumption. Energy-efficient buildings require less

electricity, natural gas, and other fuels. Electricity production from fossil fuels and on-site fuel combustion (typically for water heating) results in GHG emissions.

The Title 24 standards are updated approximately every three years to allow consideration and possible incorporation of new energy efficiency technologies and methods. The latest update to the Title 24 standards occurred in 2019 and went into effect in January 1, 2020. The newest code update will go into effect on January 1, 2023, with subsequent iterations expected in three-year cycles that may be in-force at time of build-out. Each building that submits for permit will be required to meet the prevailing code at the time of permit submission, at the sole discretion of the authority having jurisdiction.

California Green Building Standards Code

The California Green Building Standards Code (24 California Code of Regulations [CCR], Part 11) is a code with mandatory requirements for new residential and nonresidential buildings (including buildings for retail, office, public schools and hospitals) throughout California. The current version of the code went into effect on January 1, 2020. It is expected that Village 8 East will be required to comply with the 2022 code cycle which goes into effect on January 1, 2023. Part 11 of the California Building Standards Code in Title 24 of the California Code of Regulations, also known as the CalGreen Building Standards Code, is the other relevant code section that focuses on energy efficiency, water conservation, and GHG reduction.

The development of the CalGreen Code is intended to (1) cause a reduction in GHG emissions from buildings; (2) promote environmentally responsible, cost-effective, healthier places to live and work; (3) reduce energy and water consumption; and (4) respond to the directives by the Governor. In short, the code is established to reduce construction waste; make buildings more efficient in the use of materials and energy; and reduce environmental impact during and after construction.

The CalGreen Code contains requirements for storm water control during construction; construction waste reduction; indoor water use reduction; material selection; natural resource conservation; site irrigation conservation; and more. The code provides for design options allowing the designer to determine how best to achieve compliance for a given site or building condition. The code also requires building commissioning, which is a process for the verification that all building systems, like heating and cooling equipment and lighting systems, are functioning at their maximum efficiency.

The CalGreen Code also focuses on Electric Vehicle (EV) infrastructure. Depending on what type of use, EV requirements ranges from EV-capable to fully installed EV charging stations. As it pertains to townhomes (less than 20 units) and single-family homes with attached private garages, the 2022 CalGreen Code requires the garages to be EV-capable with the installation of raceways to accommodate a dedicated 208/240-volt branch circuit. The 2022 CalGreen Code is more stringent than the 2019 Code as it regards multi-family developments with more than 20 units not using private garages. For this typology, a variety of EV infrastructure from EV Ready to fully installed chargers are mandated.

Executive Order S-3-05

On June 1, 2005, Executive Order (EO) S-3-05 proclaimed that California is vulnerable to climate change impacts. It declared that increased temperatures could reduce snowpack in the Sierra Nevada, further exacerbate California's air quality problems, and potentially cause a rise in sea levels. In an effort to avoid or reduce climate change impacts, EO S-3-05 calls for a reduction in GHG emissions to the year 2000 level by 2010, to year 1990 levels by 2020, and to 80 percent below 1990 levels by 2050.

AB 32 – Global Warming Solution Act of 2006

The California Global Warming Solutions Act of 2006, widely known as AB 32, requires that the CARB develop and enforce regulations for the reporting and verification of statewide GHG emissions. CARB is directed to set a GHG emission limit, based on 1990 levels, to be achieved by 2020. The bill requires CARB to adopt rules and regulations in an open public process to achieve the maximum technologically feasible and cost-effective GHG reductions.

Executive Order B-30-15

On April 29, 2015, EO B-30-15 established a California GHG reduction target of 40 percent below 1990 levels by 2030. The EO aligns California's GHG reduction targets with those of leading international governments, including the 28 nation European Union. California is on track to meet or exceed the target of reducing greenhouse gas emissions to 1990 levels by 2020, as established in AB 32. California's new emission reduction target of 40 percent below 1990 levels by 2030 will make it possible to reach the ultimate goal established by EO S-3-05 of reducing emissions 80 percent under 1990 levels by 2050.

AB 1493 – Vehicular Emissions of Greenhouse Gases

AB 1493 (Pavley) requires that CARB develop and adopt regulations that achieve "the maximum feasible reduction of GHGs emitted by passenger vehicles and light-duty truck and other vehicles determined by CARB to be vehicles whose primary use is noncommercial personal transportation in the State." On September 24, 2009, CARB adopted amendments to the Pavley regulations that intend to reduce GHG emissions in new passenger vehicles from 2009 through 2016. The amendments bind California's enforcement of AB 1493 (starting in 2009), while providing vehicle manufacturers with new compliance flexibility. The amendments also prepare California to merge its rules with the federal CAFE rules for passenger vehicles (CARB 2013). In January 2012, CARB approved a new emissions-control program for model years 2017 through 2025. The program combines the control of smog, soot, and global warming gases and requirements for greater numbers of zero-emission vehicles into a single packet of standards called Advanced Clean Cars (CARB 2013).

AB 341

In 2011, the State legislature enacted AB 341 (California Public Resource Code § 42649.2), increasing the diversion target to 75 percent statewide. AB 341 also requires the provision of recycling service to commercial and residential facilities that generate four cubic yards or more of solid waste per week.

Executive Order (EO) S-01-07

This EO, signed by Governor Schwarzenegger on January 18, 2007, directs that a statewide goal be established to reduce the carbon intensity of California's transportation fuels by at least 10 percent by the year 2020. It orders that a Low Carbon Fuel Standard (LCFS) for transportation

fuels be established for California and directs the CARB to determine whether a LCFS can be adopted as a discrete early action measure pursuant to AB 32. CARB approved the LCFS as a discrete early action item with a regulation adopted and implemented in April 2010. Although challenged in 2011, the Ninth Circuit reversed the District Court's opinion and rejected arguments that implementing LCFS violates the interstate commerce clause in September 2013. CARB is therefore continuing to implement the LCFS statewide.

Senate Bill (SB) 375

SB 375 aligns regional transportation planning efforts, regional GHG reduction targets, and affordable housing allocations. Metropolitan Planning Organizations (MPOs) are required to adopt a Sustainable Communities Strategy (SCS), which allocates land uses in the MPO's Regional Transportation Plan (RTP). Qualified projects consistent with an approved SCS or Alternative Planning Strategy categorized as "transit priority projects" would receive incentives to streamline CEQA processing.

CARB: Scoping Plan

On December 11, 2008, the CARB adopted the Scoping Plan (CARB 2008) as directed by AB 32. The Scoping Plan proposes a set of actions designed to reduce overall GHG emissions in California to the levels required by AB 32. Measures applicable to development projects include those related to energy-efficiency building and appliance standards, the use of renewable sources for electricity generation, regional transportation targets, and green building strategy. Relative to transportation, the Scoping Plan includes nine measures or recommended actions related to reducing vehicle miles traveled and vehicle GHGs through fuel and efficiency measures. These measures would be implemented statewide rather than on a project by project basis.

The CARB released the First Update to the Climate Change Scoping Plan in May 2014, to provide information on the development of measure-specific regulations and to adjust projections in consideration of the economic recession (CARB 2014a). To determine the amount of GHG emission reductions needed to achieve the goal of AB 32 (i.e., 1990 levels by 2020) CARB developed a forecast of the AB 32 Baseline 2020 emissions, which is an estimate of the emissions expected to occur in the year 2020 if none of the foreseeable measures included in the Scoping Plan were implemented. CARB estimated the AB 32 Baseline 2020 to be 509 million metric tons (MMT) of CO₂ equivalent (CO₂e). The Scoping Plan's current estimate of the necessary GHG emission reductions is 78 MMT CO₂e (CARB 2014b). This represents an approximately 15.32 percent reduction. The CARB is forecasting that this would be achieved through the following reductions by sector: 25 MMT CO₂e for energy, 23 MMT CO₂e for transportation, 5 MMT CO₂e for high-GWP GHGs, and 2 MMT CO₂e for waste. The remaining 23 MMT CO₂e would be achieved through Cap-and-Trade Program reductions. This reduction is flexible—if CARB receives new information and changes the other sectors' reductions to be less than expected, the agency can increase the Cap-and-Trade reduction (and vice versa).

3. Regional

SANDAG Regional Plan

The Regional Plan (RP) (SANDAG 2021) is the currently approved long-range planning document developed to address the region's housing, economic, transportation, environmental, and overall quality-of-life needs. The RP establishes a planning framework and implementation actions that

increase the region's sustainability and encourage "smart growth while preserving natural resources and limiting urban sprawl." The RP encourages the regions and the County to increase residential and employment concentrations in areas with the best existing and future transit connections, and to preserve important open spaces. The focus is on implementation of basic smart growth principles designed to strengthen the integration of land use and transportation. General urban form goals, policies, and objectives are summarized as follows:

- Mix compatible uses.
- Take advantage of compact building design.
- Create a range of housing opportunities and choices.
- Create walkable neighborhoods.
- Foster distinctive, attractive communities with a strong sense of place.
- Otay Ranch Preserve open space, natural beauty, and critical environmental areas.
- Strengthen and direct development towards existing communities.
- Provide a variety of transportation choices.
- Make development decisions predictable, fair, and cost-effective.
- Encourage community and stakeholder collaboration in development decisions.

As plans are ever evolving, it is recognized that new plans may be approved in the future. SANDAG lists 12 Near-Term Actions that are intended for implementation in the next Regional Plan. Along with the strategies of the approved RP, these concepts are recognized as potential features in development going forward. The 12 Near Term Actions are as follows:

1. The Regional Transportation Improvement Program (RTIP).
2. Develop a long-term specialized transportation strategy through 2050, as part of the next biennial update of the SANDAG Coordinated Plan, to address the increasing specialized service needs of seniors and people with disabilities.
3. Promote Vehicle Miles Traveled (VMT) reduction by applying the Regional Complete Streets Policy to relevant SANDAG plans, programs, and projects.
4. Develop a Regional Mobility Hub Implementation Strategy.
5. Complete a follow-up study that details ways to reduce greenhouse gases by expanding the use of alternative fuels regionwide.
6. Incorporate regional transportation model enhancements to provide more robust data regarding bike and pedestrian travel, carpools, vanpools, carshare, and public health.
7. Expand the Integrated Corridor Management Concept and design for up to three corridors.

8. Complete the comprehensive 10-year review of the TransNet Program in accordance with the TransNet ordinance.
9. Develop innovative financing tools to self-finance near-term projects for the new border crossing at Otay Mesa East.
10. Participate in the target-setting and monitoring processes for federal performance measures and report on progress toward the achievement of these federal performance measure targets in the new System Performance Report.
11. Develop an Intraregional Tribal Transportation Strategy with tribal nations in the region.
12. Explore the development of a Regional Military Base Multimodal Access Strategy.

4. City of Chula Vista

City of Chula Vista Climate Action Plan

Since 2000, Chula Vista has been implementing a Climate Action Plan (CAP) to address the threat of climate change to the local community. The original Carbon Dioxide Reduction Plan was revised to incorporate new climate mitigation and adaptation measures to strengthen the City's climate action efforts and to facilitate the numerous community co-benefits such as utility savings, better air quality, reduced traffic congestion, local economic development, and improved quality of life. To help guide implementation of the CAP, the City regularly conducts GHG emission inventories. The City's CAP was updated in 2008, 2010 and 2017.

Municipal Codes

The Chula Vista City Council adopted the California Energy Code 2022 effective January 1, 2023. The 2022 Building Energy Efficiency Standards progress from the 2019 Energy Code in that there is a greater push toward electrification. The 2019 Energy Code worked toward greater efficiency whereas the 2022 Code focuses on where the energy is sourced from. The 2022 Energy Code is likely to be applicable at the time of permit review.

Per CVMC § 15.24.045, each store in a store building, each flat in a flat building, and each building used as a dwelling shall be so wired that each store, apartment, flat or dwelling shall have separate lighting and/or power distribution panels. Such panels shall not serve other portions of the building. Hotels, motels, hotel apartments and similar types of buildings may be wired from one or more distribution panels. It is expected that this ordinance may be superseded by Title 24 updates though the build-out of the SPA Plan—future buildings will comply with the more stringent of the requirements.

Per CVMC § 20.04.040, all new residential units shall include electrical conduit specifically designed to allow the later installation of a photovoltaic (PV) system which utilizes solar energy as a means to provide electricity. No building permit shall be issued unless the requirements of this section and the Chula Vista Photovoltaic Pre-Wiring Installation Requirements are incorporated into the approved building plans. It is expected that this ordinance may be superseded by Title 24 updates though the build-out of the SPA Plan—future buildings will comply with the more stringent of the requirements.

Additionally, per CVMC § 20.04.030, all new residential units shall include plumbing specifically designed to allow the later installation of a system which utilizes solar energy as the primary means of heating domestic potable water. It is expected that this ordinance may be superseded by Title 24 updates though the build-out of the SPA Plan—future buildings will comply with the more stringent of the requirements following the prevailing approach to water heating.

Finally, per CVMC § 20.04.050, commercial businesses are required to participate in a free resource and energy evaluation of their facilities when they obtain a new business license and every five years thereafter.

The City of Chula Vista has developed a number of strategies and plans aimed at improving air quality. The City is a part of the Cities for Climate Protection Program, which is headed by the International Council of Local Environmental Initiatives (ICLEI). The original plan followed by the City to reduce fossil fuel consumption was the CO2 Reduction Plan, adopted in 2002. Currently, the City uses the Climate Action Plan (CAP) which was adopted in 2017. The Climate Action Plan references the 2002 CO2 Reduction Plan, however, the initiatives set forth in the CAP are more relevant to today's conditions.

They are as follows:

- Water Conservation and Reuse
- Waste Reduction
- Renewable and Efficient Energy
- Smart Growth and Transportation

3. Village 8 East SPA Amendment Project Description

HomeFed Otay Land II, LLC (Project Applicant) is proposing land use changes to the previously approved project resulting in:

- 3,276 multi-family units (from 943 single family and 2,333 multi-family units)
- 20,000 SF of commercial/retail uses in a mixed use setting (no change)
- 7.3 acre neighborhood park (same as before)
- 11.3-acre elementary school site (from a 10.8 acre school site)
- 253.6 acres of Preserve Open Space (OSP) (no change)
- 22.6 acres of Active Recreation (AR) (no change)

Figure 1: Proposed Site Utilization Plan, and Table 5: Village 8 East Proposed Land Use Summary, implement the land uses contemplated by the Otay Ranch for Village 8 East. The site utilization plan and site utilization summary work together and assign a general utilization to each neighborhood within the SPA.

The Proposed Village 8 East Land Use Plan would include a Village Core area that would accommodate a mix of uses including multi-family residential and retail/commercial uses along with an elementary school site and a centrally located 7.3-acre neighborhood park. A future multi-modal bridge, planned to accommodate Neighborhood Electric Vehicles (NEV), bicycles and pedestrians is also planned in the Village Core linking Village 8 East and future Village 9.

The project applicant proposes to amend the Village 8 East land use plan to reflect current market conditions and housing needs, to ensure the community relates more closely to the adjacent Village 8 West community and future Village 9 and University Innovation District planned east of SR-125 and accommodates the SR-125 couplet interchange design between Main Street and Otay Valley Road.

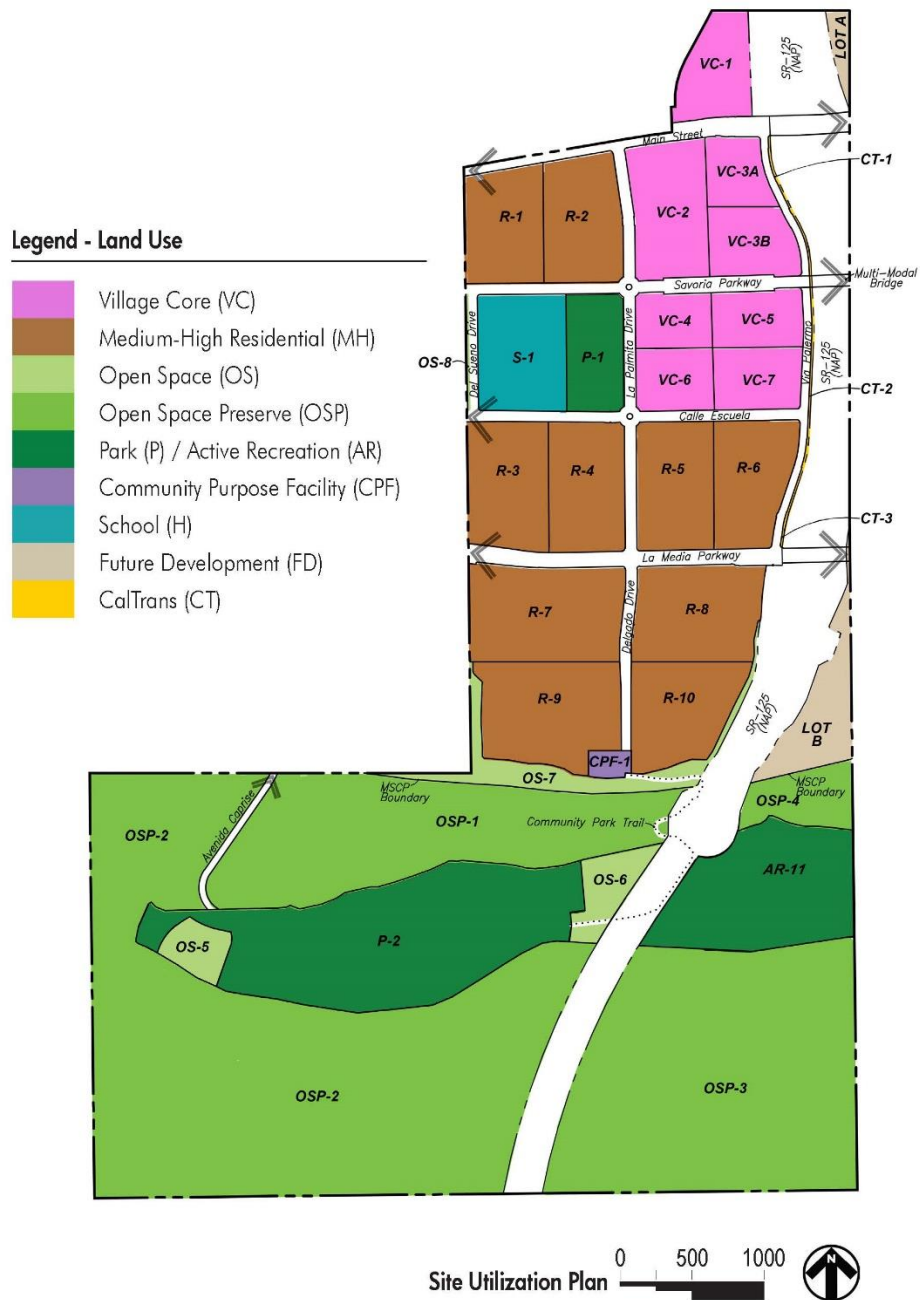
Figure 1: Proposed Site Utilization Plan

Table 5: Village 8 East Proposed Land Use Summary

Parcel	Permitted Density Range	Estimated Units ¹	Gross Acres ²	Estimated Density ³
Medium High Multi-Family Residential				
R-1	11-18 du/ac	154	9.9	15.6
R-2	11-18 du/ac	163	10.7	15.2
R-3	11-18 du/ac	162	11.4	14.2
R-4	11-18 du/ac	147	10.9	13.5
R-5	11-18 du/ac	155	11.0	14.1
R-6	11-18 du/ac	143	10.3	13.9
R-7	11-18 du/ac	226	15.8	14.3
R-8	11-18 du/ac	176	14.0	12.6
R-9	11-18 du/ac	196	15.4	12.7
R-10	11-18 du/ac	142	11.5	12.3
Total MH		1,664	120.9	13.8
Village Core⁴				
VC-1	18-45 du/ac.	275	7.6	36.2
VC-2	18-45 du/ac.	430	11.3	38.1
VC-3A	18-45 du/ac.	161	5.5	29.3
VC-3B ⁵	18-45 du/ac.	0	5.6	0.0
VC-4	18-45 du/ac.	192	4.5	42.7
VC-5 ⁵	18-45 du/ac.	0	5.7	0.0
VC-6	18-45 du/ac.	142	5.3	26.8
VC-7	18-45 du/ac.	148	6.0	24.7
Total VC		1,348	51.5	26.2
Subtotal Residential		3,012	172.4	
Other				
Community Purpose Facility⁶				
CPF-1			1.2	
Subtotal CPF			1.2	
Parks				
P-1 ⁷			7.3	
P-2 ¹¹			43.3	
AR-11			22.6	
Total Parks			73.2	
School				
S-1 ^{7 8}		264	11.3	

Parcel	Permitted Density Range	Estimated Units ¹	Gross Acres ²	Estimated Density ³
Open Space				
MSCP Preserve OS (Lots 1-4)			253.6	
Manufactured/Basin OS (Lots 5-8) ⁹			16.4	
Total Open Space			270.0	
Circulation				
Internal			22.5	
External			9.2	
Total Circulation			31.7	
CALTRANS LOTS (to be dedicated)				
CT-1			1.7	
CT-2			0.1	
CT-3			1.9	
Total CALTRANS Lots			3.7	
Future Development				
Lot A			1.0	
Lot B			8.4	
Total Future Development			9.4	
Subtotal Other			400.5	
OVERALL SPA TOTAL¹⁰		3,276	572.9	

¹ Estimated Units are provided for planning purposes only, do not represent the final unit allocation for each parcel and shall not be used to limit or restrict the final units allocated to any parcel.; The final unit allocation must remain consistent with the permitted density range applicable to the parcel. The final unit allocation shall be determined during Design Review and shall be documented in the Unit Tracking Table (Village 8 East SPA Plan, Attachment 1). Revisions to the Site Utilization Table shall not be required based on changes to the Estimated Units presented herein.

² Final acreage information to be determined during final engineering. Acreage may vary due to rounding. Residential and Village Core gross acreage includes approximately 15.3 of perimeter open space areas. pen space easements to be recorded over perimeter open space slopes to be maintained by the Master HOA or Sub-Association, as determined during final design.

³ Estimated Density calculated based on gross parcel acreage. Final density to be determined during Design Review.

⁴ 20,000 SF of commercial uses are authorized within Village 8 East. Commercial SF may be developed within a single parcel designated VC or distributed among any parcel designated VC (VC-1 through VC-7). The final distribution of commercial SF to be determined during Design Review. The “Permitted Density Range” is not applicable to VC parcels with no residential units.

⁵ VC-3B and VC-5 are anticipated to be developed with non-residential uses only, consistent with the Village Core zoning district. The “Permitted Density Range” is not applicable to VC parcels with no residential units.

⁶ Per the Land Offer Agreement (7/8/2014), the Village 8 East SPA Plan shall designate 4.0 acres of CPF land. The Applicant is proposing to meet a portion of the Village 8 East CPF obligation by designating the 1.2-acre CPF-1 site

as a private recreation facility. The remaining 2.8 acre CPF obligation shall be addressed in a separate agreement between the City of Chula Vista and the Applicant.

⁷ Both the Village 8 East SPA Plan and Tentative Map include the "Proposed" and "Alternative" configuration and acreage for the S-1 School Site and P-1 Neighborhood Park. Either the Proposed or Alternative may be implemented without the need for an amendment to the SPA Plan or TM. If the proposed configuration is implemented, the S-1 site would be 10.0 acre (net) and the P-1 park site would be 6.5 acre (net); however, if the alternative configuration is implemented, the S-1 site would be 12.0 acres (net) and the P-1 park site would be 4.6 acres (net). The final neighborhood park acreage shall be addressed in the future Village 8 East Parks Construction Agreement.

⁸ The S-1 school site has an underlying residential land use designation of High Residential. If the site is not developed as a school site, then it shall be developed as residential; however, if the site is developed as an elementary school, then the 264 units may be reallocated to another Village 8 East parcel or transferred to another village, as permitted in the Village 8 East PC District Regulations, Chapter 10, Implementation.

⁹ A portion of the Edge Trail and associated overlook features (approximately 1.76 acres) are included within the 8.2-acre OS-7 parcel. The Edge Trail area shall be secured with a public access easement and the 1.76 acres shall satisfy a portion of the Village 8 East park obligation. The 1.76-acre Edge Trail area is not counted toward meeting the Village 8 East open space requirement.

¹⁰ Village 8 East acreage adjusted from approved 2014 development area to reflect changes in SR-125 ROW and to facilitate the future SR-125 ROW Decertification process.

¹¹ The P-2 Community Park / OS-6 Alternative would be implemented only upon City approval of the Alternative Compliance Program ("ACP") Permit and Rough Grading Storm Water Quality Management Plan ("SWQMP") (See TM Sheet 6 for additional details). This would increase the P-2 Community Park parcel to 47.4 acres (gross) and 39.0 acres (net) and correspondingly decrease the OS-6 parcel to 4.8 acres (gross) and 0.7 acres (gross).

4. Effect of Project on Local/Regional Air Quality

Construction Emissions

Construction of the proposed project would result in a temporary addition of pollutants to the local airshed caused by soil disturbance, fugitive dust emissions, and combustion pollutants from on-site construction equipment, as well as from off-site trucks hauling construction materials. Construction emissions can vary substantially from day to day, depending on the level of activity, the specific type of operation and, for dust, the prevailing weather conditions. Therefore, such emission levels can only be approximately estimated with a corresponding uncertainty in precise ambient air quality impacts. Fugitive dust (PM₁₀ and PM_{2.5}) emissions would primarily result from grading and site preparation activities. NO_x and CO emissions would primarily result from the use of construction equipment and motor vehicles.

As stated in the Otay Ranch Village 8 East Project – Air Quality and Greenhouse Gas Update Memo (Dudek, September 2023), "construction emissions would remain unchanged, as no change in the construction schedule or required construction equipment is anticipated. In addition, based on our review of the proposed changes, the identified impacts and associated mitigation measures in the previous EIR (City of Chula Vista 2014) remain applicable to this project, and no additional mitigation measures would be required."

Emissions from the construction phase of the prior project were originally estimated through the use of emission factors from the URBEMIS 2007, Version 9.2.4, land use and air emissions model (Jones & Stokes 2007). However, because the emissions, impacts and mitigation measures of the originally approved study have been determined to still be applicable, information within this discussion may contain information pertaining to other parts of the University Villages project.

Construction of the University Villages project was proposed to begin with Village 3 in 2014². Project construction would end with build out of Village 10, which was anticipated to occur in 2030. This timeline is still relevant as it pertains to the Village 8 East SPA Amendment. A detailed description of construction subphases (mass grading, fine grading, trenching, paving, building construction, and architectural coatings), as well as other assumptions made for the purposes of modeling, is provided in the University Villages Project Final Environmental Impact Report (2014). Total construction was and still is expected to take approximately 15 years. For the analysis, it was generally assumed that heavy construction equipment would be operating at the site for approximately 8 hours per day, 5 days per week (22 days per month), during project construction. URBEMIS model assumptions for construction equipment were used in calculating construction emissions as equipment and machinery mix would be typical of residential development. Additional project-specific assumptions regarding vehicle trips, construction schedule, soil import/export, and architectural coatings are included in Appendix A. The equipment mix is meant to represent a reasonably conservative estimate of construction activity.

The proposed project is subject to SDAPCD Rule 55 – Fugitive Dust Control. This requires that the project take steps to restrict visible emissions of fugitive dust beyond the property line. Compliance with Rule 55 would limit any fugitive dust (PM₁₀ and PM_{2.5}) that may be generated during grading and construction activities. To account for dust control measures in the calculations, it was assumed that the active sites would be watered at least two times daily, resulting in an approximately 55% reduction of particulate matter.

The proposed project is also subject to SDAPCD Rule 67: Architectural Coatings which requires manufacturers, distributors, and end users of architectural and industrial maintenance coatings to reduce VOC emissions from the use of these coatings, primarily by placing limits on the VOC content of various coating categories.

Table 6: Estimated Maximum Daily Construction Emissions shows the estimated maximum daily construction emissions associated with the construction phase of the proposed project before and after compliance with Rule 55 and Rule 67. Because the project phasing overlaps with other villages, Table 6 includes emissions for Village Three and a portion of Village Four, Village Eight East and Village Ten.

Table 6: Estimated Maximum Daily Construction Emissions (pounds/day)

Villages Three /Portion of Four, Eight East and Ten

	VOC	NO _x	CO	SO _x	PM ₁₀	PM _{2.5}
<i>Proposed Project Emissions (not compliant with SDAPCD Rules 55 and 67Unmitigated)</i>						
2014	14.99	94.29	108.02	0.10	603.75	128.74

² The original construction schedule beginning in May 2014 is analyzed for the Proposed Project; however, actual construction started at a later date. The construction scenario and schedule analyzed as part of the Proposed Project analysis is considered conservative because over time, emissions for both the construction and operational scenario would decrease due to more stringent air quality standards implemented over time, vehicle fleet turnover to more efficient engines, fuel mix, etc. As the duration of construction would not change (i.e. construction would occur over a 16-year period regardless of start date), the scenario analyzed as part of this analysis is considered conservative for the purposes of quantitatively analyzing air quality impacts.

	VOC	NO _x	CO	SO _x	PM ₁₀	PM _{2.5}
2015	64.44	86.18	107.19	0.11	305.47	67.40
2016	103.46	155.79	202.89	0.20	908.02	195.04
2017	101.83	141.79	194.88	0.20	608.89	132.94
2018	91.99	80.71	145.21	0.19	304.55	67.14
2019	37.55	58.04	89.20	0.10	303.62	65.62
2020	36.83	52.86	86.18	0.10	303.34	65.46
2021	36.46	51.57	76.23	0.10	303.31	65.44
2022	36.46	51.57	76.23	0.10	303.31	65.44
2023	62.99	94.48	130.40	0.16	905.29	192.55
2024	58.65	62.29	104.74	0.16	304.29	66.17
2025	28.75	51.33	68.63	0.07	303.12	65.33
2026	28.59	50.83	64.86	0.07	303.11	65.33
2027	28.59	50.83	64.86	0.07	303.11	65.33
2028	28.59	50.83	64.86	0.07	303.11	65.33
2029	21.88	12.18	25.06	0.06	0.97	0.72
Maximum Daily Emissions (Unmitigated)	103.46	155.79	202.89	0.20	908.02	195.04
Proposed Project Emissions (compliant with SDAPCD Rules 55 and 67)						
2014	14.99	94.29	108.02	0.10	273.75	59.82
2015	47.65	86.18	107.19	0.11	140.47	32.94
2016	77.50	155.79	202.89	0.20	413.02	91.66
2017	75.87	141.79	194.88	0.20	278.89	64.02
2018	66.03	80.71	145.21	0.19	140.44	32.69
2019	28.38	58.04	89.20	0.10	138.62	31.26
2020	27.66	52.86	86.18	0.10	138.34	31.01
2021	27.29	51.57	76.23	0.10	138.31	30.98
2022	27.29	51.57	76.23	0.10	138.31	30.98
2023	47.22	94.48	130.40	0.16	410.29	89.17
2024	42.88	62.29	104.74	0.16	139.29	31.71
2025	22.15	51.33	68.63	0.07	138.12	30.88
2026	21.99	50.83	64.86	0.07	138.11	30.87
2027	21.99	50.83	64.86	0.07	138.11	30.87
2028	21.99	50.83	64.86	0.07	138.11	30.87
2029	15.28	12.18	25.06	0.06	0.97	0.72
Maximum Daily Emissions (Mitigated)	77.50	155.79	202.89	0.20	413.02	91.66
City of Chula Vista Threshold	75	100	550	150	150	55
Threshold Exceeded?	Yes	Yes	No	No	Yes	Yes

Source: URBEMIS 2007 Version 9.2.4. See Appendix A of the Air Quality and Global Climate Change Technical Report for the Otay Ranch University Villages Project for complete results.

Note: Construction emissions shown include emissions from construction of all Villages analyzed under the proposed project, including Village Three and a Portion of Village Four, Village Eight East, and Village Ten.

¹ Construction emissions that would be generated under the Village Eight East Alternative Development Scenario would be essentially the same as construction equipment fleet, daily equipment and construction crew operations, and daily construction trips to and from the site would be

the same as those analyzed under the proposed project. A pounds/per day daily threshold is the only threshold numerically considered for criteria pollutants; therefore, the quantitative analysis under both the proposed project and alternative scenario would be essentially the same.

² "Unmitigated" PM₁₀ and PM_{2.5} emissions as shown do not reflect compliance with SDAPCD Rule 55, which restricts visible fugitive dust emissions beyond the property line. Similarly, "Unmitigated" VOC emissions as shown do not reflect compliance with SDAPCD Rule 67 which restricts the VOC content in architectural coatings. "Mitigated" emissions as shown, account for compliance with these rules.

As shown, daily construction emissions would not exceed the City's significance thresholds for CO and SO_x. However, the VOC, NO_x, PM₁₀ and PM_{2.5} emissions associated with project construction would exceed the City of Chula Vista's emission thresholds. Mitigation Measures AQ-1 – AQ-2 (below) would reduce construction-related NO_x emissions. Note that mitigation available for the reduction of NO_x emissions (as described in mitigation measure AQ-1) is not quantifiable; therefore, emission reductions for NO_x are not shown in Table 6.

MM AQ-1: Prior to approval of any grading permits, the project applicant or its designee shall place the following requirements on all grading plans, and shall be implemented during grading of each phase of the project to minimize NO_x emissions:

- Minimize simultaneous operation of multiple construction equipment units. During construction, vehicles in loading and unloading queues shall turn their engines off when not in use to reduce vehicle emissions;
- All construction equipment shall be outfitted with best available control technology (BACT) devices certified by CARB. A copy of each unit's BACT documentation shall be provided at the time of mobilization of each applicable unit of equipment;
- All construction equipment shall be properly tuned and maintained in accordance with manufacturer's specifications;
- All diesel-fueled on-road construction vehicles shall meet the emission standards applicable to the most current year to the greatest extent possible. To achieve this standard, new vehicles shall be used, or older vehicles shall use post-combustion controls that reduce pollutant emissions to the greatest extent feasible;
- The effectiveness of the latest diesel emission controls is highly dependent on the sulfur content of the fuel. Therefore, diesel fuel used by on- and off-road construction equipment shall be low sulfur (less than 15 ppm) or other alternative, low-polluting diesel fuel formulation.
- The use of electrical construction equipment shall be employed where feasible;
- The use of catalytic reduction for gasoline-powered equipment shall be employed where feasible;
- The use of injection timing retard for diesel-powered equipment shall be employed where feasible.

MM AQ-2: Prior to approval of any grading permits, and during project construction, the project applicant or its designee shall require implementation of the City's Standard Construction Best Management Practices (BMPs), including:

- Water, or utilize another acceptable SDAPCD dust control agent on, the grading areas at least twice daily to minimize fugitive dust;
- Stabilize grading areas as quickly as possible to minimize fugitive dust;
- Apply chemical stabilizer or pave the last 100 feet of internal travel path within the construction site prior to public road entry;
- Install wheel washers adjacent to a paved apron prior to vehicle entry on public roads;
- Remove any visible track-out into traveled public streets within 30 minutes of occurrence;
- Wet wash the construction access point at the end of the workday if any vehicle travel on unpaved surfaces has occurred;
- Provide sufficient perimeter erosion control to prevent washout of silty material onto public roads;
- Cover haul trucks or maintain at least 12 inches of freeboard to reduce blow-off during hauling;
- Suspend all soil disturbance and travel on unpaved surfaces if winds exceed 25 miles per hour (mph);
- Cover/water on-site stockpiles of excavated material; and
- Enforce a 20 mph speed limit on unpaved surfaces.
- Pave permanent roads as quickly as possible to minimize dust;
- During construction, site grading activities within 500 feet of a school in operation shall be discontinued or all exposed surfaces shall be discontinued or all exposed surfaces shall be watered to minimize dust transport off site to the maximum degree feasible, when the wind velocity is greater than 15mph in the direction of the school;
- During blasting, utilize control measures to minimize fugitive dust. Control measures may include, but are not limited to, blast enclosures, vacuum blasters, drapes, water curtains or wet blasting.

MM AQ-3: Prior to approval of the building permit for any uses that are regulated for TACs by the SDAPCD, the project applicant shall demonstrate to the satisfaction of the Development Services Director (or their designee) that the use complies with established criteria (such as those

established by SDAPCD Rule 1200 and CARB). Also, gas stations shall not be located within 50 feet of a sensitive receptor, in accordance with CARB's siting recommendations.

- Per the EIR, impacts specific to TACs, including diesel particulate matter generated from traffic volumes on SR-125, would be less than significant. With respect to the development of on-site land uses, impacts arising from the emission of TACs would be potentially significant if the site is developed to accommodate any light industrial uses, gas stations, or dry cleaning facilities in close proximity to sensitive receptors. Neither the state 1-hour standard nor the 8-hour standard would be equaled or exceeded at any of the intersections studied; potential CO hotspot impacts would be less than significant." "Potentially significant impacts arising from the siting of land uses that emit TACs would be reduced to LTS with implementation of MM AQ-3.

Operational Emissions

Following the completion of construction activities, the proposed project would generate VOC, NO_x, CO, SO_x, PM₁₀, and PM_{2.5} emissions from project land uses, as well as mobile and stationary sources including vehicular traffic from residents, space heating and cooling, water heating, and fireplace (hearth) use.

In September 2023, Chen Ryan modified their traffic analysis to address the reduction in commercial square footage from 40,000 to 20,000 square feet. The findings show that the overall trips are 3,977 less than the 2014 Traffic Analysis. Therefore, the proposed land uses would generate less trips than the previously approved land uses in Village 8 East. It can be concluded that no additional traffic analysis would be required since no new or more substantially significant traffic impacts would occur beyond those analyzed in the previous EIR (the Otay Ranch Village and the University Villages Project Comprehensive SPA Plan Amendment Final Environmental Impact Report 2014).

Although it has been determined that the 2023 proposed project would generate less trips, the proposed project would still impact air quality through the vehicular traffic generated by project residents. According to the project's Traffic Impact Analysis (Chen Ryan 2014), total project-generated daily traffic is estimated to be 77,663 trips per day at full buildout (2030) which includes Village 3 and portion of Village Four, Village Eight East and Village Ten. The URBEMIS 2007 model was utilized to estimate daily emissions from proposed vehicular sources. URBEMIS 2007 default data, including temperature, trip characteristics, variable start information, emissions factors, and trip distances, were conservatively used for the model inputs. Project-related traffic was assumed to be comprised of a mixture of vehicles in accordance with the model outputs for traffic. Emission factors representing the vehicle mix and emissions for 2030 (full buildout) were used to estimate emissions.

In addition to estimating mobile source emissions, the URBEMIS 2007 model was also used to estimate emissions from the project area stationary sources, which include natural gas appliances, hearths, landscaping (which would not produce winter emissions), consumer products, and architectural coatings. All residential units would be constructed with natural gas fireplaces.

The present estimation of proposed operational emissions is based upon typical residential, retail, and industrial uses, and the analysis is considered a reliable estimate of the project's likely

emissions. Table 7, Estimated Daily Maximum Operational Emissions, presents the maximum daily emissions associated with the operation of the proposed project after all phases of construction have been completed. Because the project phasing overlaps with other villages, Table 7 includes emissions for Village Three North and portion of Village Four, Village Eight East and Village Ten. The values shown are the maximum summer and winter daily emissions results from URBEMIS 2007. Complete details of the emissions calculations are provided in Appendix A of the Air Quality and Global Climate Change Technical Report for the Otay Ranch University Village Project.

As shown, daily operational emissions would not exceed the City's significance thresholds for SO_x. However, the VOC, NO_x, CO, , PM₁₀, and PM_{2.5} emissions associated with operation of the project would exceed the City of Chula Vista's significance thresholds.

Table 7: Estimated Daily Maximum Operational Emissions – 2030 (pounds/day)
Villages Three /Portion of Four, Eight East and Ten

Proposed Project Emissions	VOC	NO _x	CO	SO _x	PM ₁₀	PM _{2.5}
Summer						
Motor Vehicles	248.06	242.40	2,753.76	8.32	1,349.61	261.83
Area Sources	396.82	87.52	168.02	0.01	0.52	0.52
Total	644.88	329.92	2,921.78	8.33	1,350.13	262.35
<i>City of Chula Vista Threshold</i>	55	55	550	150	150	55
Threshold Exceeded?	Yes	Yes	Yes	No	Yes	Yes
Winter						
Motor Vehicles	266.89	291.97	2,576.56	6.92	1,349.61	261.83
Area Sources	377.07	131.50	56.44	0.29	3.84	3.80
Total	643.96	423.47	2,633	7.21	1,353.45	265.63
<i>City of Chula Vista Threshold</i>	55	55	550	150	150	55
Threshold Exceeded?	Yes	Yes	Yes	No	Yes	Yes

Source: URBEMIS 2007 Version 9.2.4. See Appendix A for complete results.

Note: Construction emissions shown include emissions from construction of all Villages analyzed under the proposed project, including Village Three and a Portion of Village Four, Village Eight East, and Village Ten. "Summer" emissions are representative of the conditions that may occur during the ozone season (May 1 to October 31) and "Winter" emissions are representative of the conditions that may occur during the balance of the year (November 1 to April 30)

Project design features (refer to Section 6) would help to reduce operational emissions; however, significant reductions in VOC, NO_x, CO, PM₁₀, and PM_{2.5} emissions would be required to reduce emissions of these pollutants to less than significant, and feasible mitigation measures are not available to achieve these reductions. Therefore, even with incorporation of these design features, criteria pollutant emissions for project operations are anticipated to remain above the thresholds for VOC, NO_x, CO, PM₁₀, and PM_{2.5}.

Construction GHG Emissions

GHG emissions would be associated with the construction phase of the proposed project through use of construction equipment and vehicle trips. Emissions of CO₂ were originally estimated using the URBEMIS 2007, Version 9.2.4, land use and air emissions model (Jones & Stokes 2007). The model results were adjusted to estimate CH₄ and N₂O emissions in addition to CO₂. The CO₂ emissions from off-road equipment and vehicles and delivery trucks, which are assumed by URBEMIS 2007 to be diesel fueled, were adjusted by a factor derived from the relative CO₂, CH₄, and N₂O for diesel fuel as reported in the California Climate Action Registry's (CCAR) *General Reporting Protocol* (CCAR 2009) for transportation fuels and the global warming potential for each GHG to estimate the emissions in units of CO₂E. The CO₂ emissions associated with construction worker trips were multiplied by a factor based on the assumption that CO₂ represents 95% of the CO₂E emissions associated with passenger vehicles (EPA 2005). The results were then converted from annual tons per year to metric tons per year. Table 8: Estimated Construction GHG Emissions, shows the estimated annual GHG construction emissions associated with the proposed project. Because the project phasing overlaps with other villages, Table 8 includes emissions for Village Three and a portion of Village Four, Village Eight East and Village Ten.

Table 8: Estimated Construction GHG Emissions (metric tons/year)
Villages Three /Portion of Four, Eight East and Ten

Construction Year	CO ₂ e Emissions (MT/yr)
2014	1,117.58
2015	2,396.80
2016	3,867.28
2017	4,544.40
2018	3,085.30
2019	2,382.27
2020	2,391.37
2021	2,382.19
2022	2,373.07
2023	3,303.83
2024	2,753.49
2025	2,073.77
2026	2,073.80
2027	2,073.80
2028	1,773.19
2029	513.36
Total Construction Emissions	39,105.53
Amortized Annual Construction Emissions	1,303.52

Source: URBEMIS 2007 Version 9.2.4. See Appendix B for complete results.

Note: Construction emissions shown include emissions from construction of all Villages analyzed under the proposed project, including Village Three and a portion of Village Four, Village Eight East, and Village Ten.

Operational GHG Emissions

Operation of the proposed project would result in GHG emissions from vehicular traffic generated by residents, area sources (natural gas appliances, hearth combustion, and landscape maintenance), electrical generation, and water supply. Emissions associated with vehicular traffic, electrical generation, and water supply would be reduced by implementing GHG reduction measures, as indicated below.

Vehicular Traffic

Annual CO₂ emissions from motor vehicle trips for full project buildout were quantified using the URBEMIS 2007 model (refer to Appendix A for additional details and model assumptions). As described earlier, CH₄ and N₂O emissions were accounted for by multiplying the URBEMIS 2007 CO₂ emissions by a factor based on the assumption that CO₂ represents 95% of the CO₂e emissions associated with passenger vehicles (EPA 2005).

Several regulatory initiatives have been passed to reduce on-road vehicle emissions. These initiatives (Pavley and EPA/NHTSA standards for light-duty vehicles and the LCFS) have been estimated to reduce emissions from motor vehicles by approximately 32% by the year 2020, according to the San Diego County Greenhouse Gas Inventory (SDCGHGI, University of San Diego 2008).

Area Sources

Annual CO₂ emissions from natural gas combustion for space and water heating, hearth combustion, and gas-powered landscape maintenance equipment were estimated using URBEMIS 2007. The CO₂ emissions from natural gas combustion were adjusted by a factor derived from the relative CO₂, CH₄, and N₂O for natural gas as reported in the CCAR's *General Reporting Protocol* (CCAR 2009) for stationary combustion fuels and their GWPs.

The previously approved 2014 project is required to comply with Section 15.26.030 of the City's Municipal Code, which requires that new residential projects that fall within climate zone 7 be at least 15% more energy efficient than the 2008 Energy Code. As such, building design would employ energy efficient measures beyond that required by the Energy Code, resulting in a 15% reduction in emissions generated by natural gas use.

Electrical Generation

Annual electricity use for the proposed project was based upon estimated generation rates for land uses in the San Diego Gas & Electric service area. The 2014 FEIR states that the proposed project would consume approximately 65,521,407 kilowatt-hours per year. The generation of electricity through combustion of fossil fuels typically results in emissions of CO₂ and to a smaller extent CH₄ and N₂O. The project as currently proposed will comply with the 2022 California Energy Code or current code cycle at time of construction.

Again, the proposed project would be required to comply with Section 15.26.030 of the City's Municipal Code, which would result in a 15% reduction in emissions generated by electricity use.

Water Supply

Water supplied to the proposed project requires the use of electricity. Accordingly, the supply, conveyance, treatment, and distribution of water would indirectly result in GHG emissions through use of electricity. Water usage rates were obtained from the Overview of Water Service completed for the proposed project (Dexter Wilson Engineering 2014). The estimated electrical usage associated with supply, conveyance, treatment, and distribution of water was obtained from a California Energy Commission report on electricity associated with water supply in California (CEC 2006).

The City's Municipal Code defers to Title 24. At minimum, the proposed project will comply with the 2022 Title 24 code cycle which is more stringent than the code cycle that was in effect at the time of the original Village 8 East project approval. At that time, it was required, all new residential construction, remodels, additions, and alterations must provide a schedule of plumbing fixture fittings that will reduce the overall use of potable water by 20%, which would result in a 20% reduction in the GHG emissions from electricity generated for supply, conveyance, treatment, and distribution of water. The 20% reduction in the overall use of potable water was substantiated in the project's Water Conservation Plan; in fact, the Water Conservation Plans for Villages Three and Portion of Village Four, Village Eight East and Village Ten identify a 29.2% reduction in the overall use of potable water. A new analysis is not being conducted for the proposed amendment project. However, due to the increased stringency of the 2022 Title 24 Codes, energy conservation is being enforced by implementation of the State's water and energy conservation requirements.

Summary of Operational Emissions

The estimated GHG emissions associated with vehicular traffic, area sources, electrical generation, and water supply are shown below in Table 9. Because the project phasing overlaps with other villages, Table 9 includes emissions for Village Three, a portion of Village Four, Village Eight East, and Village Ten. Additional detail regarding these calculations can be found in Appendix B of the Air Quality and Global Climate Change Technical Report for the Otay Ranch University Villages Project. The estimated emissions of CO₂E would be 203,688 metric tons per year without the GHG reduction measures (“business as usual”), and 144,520 metric tons per year with the GHG reduction measures. As indicated in Table 9, the GHG reduction measures would reduce GHG emissions by approximately 29%.

Such reduction measures, at the time of the University Villages FEIR approval (2014) included:

1. A low-carbon fuel standard to reduce the “carbon intensity” of California fuels.
2. Reduction of refrigerant losses from motor vehicle air conditioning system maintenance to restrict the sale of “do-it-yourself” automotive refrigerants.
3. Increased methane capture from landfills to require broader use of state-of-the-art methane capture technologies.

An additional six early action regulations, which were also considered “discrete early action GHG reduction measures,” consisted of:

1. Reduction of aerodynamic drag, and thereby fuel consumption, from existing trucks and trailers through retrofit technology.
2. Reduction of auxiliary engine emissions of docked ships by requiring port electrification.
3. Reduction of perfluorocarbons from the semiconductor industry.
4. Reduction of propellants in consumer products (e.g., aerosols, tire inflators, and dust removal products).
5. Require that all tune-up, smog check and oil change mechanics ensure proper tire inflation as part of overall service in order to maintain fuel efficiency.
6. Restriction on the use of SF₆ from non-electricity sectors if viable alternatives are available.

Table 9: Estimated Operational GHG Emissions (metric tons/year)
Villages Three /Portion of Four, Eight East and Ten

Source	CO ₂ E Emissions	CO ₂ E Emissions w/ GHG Reduction Measures	Percent Reduction
Motor Vehicles	138,188	93,968	32%
Area Sources			
Natural Gas Combustion	18,213	12,749	30%
Hearth Combustion	26	26	0%
Landscaping	39	39	0%
Electrical Generation	22,031	15,422	30%
Water Supply	9,844	6,970	29%
Solid Waste	14,043	14,043	0%
Amortized Annual Construction Emissions	1,304	1,304	0%
Total	203,688	144,520	29.0%

Source: See Appendix B of the 2014 Air Quality and Global Climate Change Technical Report for the Otay Ranch University Villages Project for complete results.

Note: Construction emissions shown include emissions from construction of all Villages analyzed under the proposed project, including Village Three and a Portion of Village Four, Village Eight East, and Village Ten.

Assessment of GHG Impacts

The City of Chula Vista has developed a number of strategies and plans aimed at improving air quality while also addressing global climate change. In November 2002, Chula Vista adopted the Carbon Dioxide Reduction Plan in order to lower the community's major greenhouse gas emissions, strengthen the local economy, and improve the global environment. In addition, the City of Chula Vista requires that an Air Quality Improvement Plan (AQIP) be prepared for all major development projects with air quality impacts equivalent to that of a residential project of 50 or more dwelling units.

As shown in Table 9, with implementation of GHG reduction measures the proposed project would reduce GHG emissions by an estimated 29%. The proposed project would therefore exceed the target of 20% below business as usual that has been established for the purposes of assessing operational GHG emissions of projects in the City of Chula Vista, and this reduction would be consistent with the goals of AB 32. Furthermore, the proposed project would be consistent with the green building standards and energy codes of the City's Municipal Code. Additionally, the proposed project would reduce the overall use of potable water by 29%, consistent with the City's Municipal Code. Lastly, the project design features as stated in Sections 6.0 and 7.0 of this AQIP would help to further reduce GHG emissions. The project would therefore have a less than significant impact on global climate change.

5. Quantitative Project Evaluation

As stated above, the City of Chula Vista previously used the INDEX CO₂ model requirements. This tool is no longer used. Therefore, a quantitative analysis has been performed for Village 8 East using Option Two: Alternative Modeling Programs, specifically a LEED-ND equivalency analysis was conducted. LEED-ND criteria are more appropriate than INDEX indicators for the Village 8 East SPA Plan for the following reasons:

- INDEX indicators do not take habitat preservation and conservation efforts into account, of which the Project is providing a significant amount.
- LEED-ND criteria measure these benefits to a greater and more accurate extent.
- The INDEX approach uses only 16 indicators, whereas LEED-ND has 56 indicators that are able to characterize a project much more comprehensively and thoroughly, and ultimately capture more contributors to GHG emission reductions.
- The underlying basics of the INDEX approach are nearly 15 years old in contrast to LEED-ND's latest update in July of 2018. Consequently, current best practices in urban design, green infrastructure and resilient neighborhoods are not addressed by INDEX indicators but are covered by LEED-ND criteria.
- The California Energy Code and Green Building Standards have been updated since the INDEX approach was established.
- The INDEX model is no longer being used.

The Village 8 East SPA Plan scores the equivalent of 41 points under the LEED-ND rating system. Table 10: LEED Neighborhood Development Plan Village 8 East Equivalency Analysis provides a description of the project attributes that were considered from the LEED-ND rating system. The base ND certification of 40 points is the functional equivalent of INDEX indicator thresholds. Therefore, the Project has demonstrated AQIP compliance.

Table 10: LEED Neighborhood Development Plan Village 8 East Equivalency Analysis

LEED-NDv4 Credit		Options	Possible Points	Village 8 Equivalency Points	Notes
Smart Location & Linkage					
SLLp1	Smart Location	Transit Served	Y/N	Yes	1. New infrastructure will be constructed to serve Village 8 East, but will connect into existing water, recycled water and sewer infrastructure. Village 8 East will also have a Subarea Master Plan approved by Otay Water District. The intent of this prerequisite is being met as development of

LEED-NDv4 Credit		Options	Possible Points	Village 8 Equivalency Points	Notes
					Village 8 East will extend existing infrastructure. 2. 50% of dwellings and businesses within 1/2 mile walk of local bus stop which falls within the minimum weekday trips (60) and weekend trips (40). A local transit stop is planned at Main Street and Santa Marisol and a BRT station is planned adjacent to Village 8 East within the Village 8 West Town Center.
SLLp2	Imperiled Species and Ecological Communities	None	Y/N	Yes	253.6 acres of MSCP designated area are within the SPA boundary, which will be permanently preserved in their natural condition.
SLLp3	Wetland and Water Body Conservation	None	Y/N	Yes	Village 8 East is implementing the MSCP Chula Vista Subarea Plan. Thus, Village 8 East meets the intent of this prerequisite by designating approximately 44% of the SPA area as preserve land which will be conveyed to public ownership for permanent preservation and management.
SLLp4	Agricultural Land Conservation	None	Y/N	Yes	Village 8 East is implementing the MSCP Chula Vista Subarea Plan. Thus, it meets the intent of this prerequisite by designating approximately 44% of the SPA area as preserve land which land will be conveyed to public ownership for permanent preservation and management. No active agricultural land will be converted to other uses.
SLLp5	Floodplain Avoidance	None	Y/N	Yes	Village 8 East is not located within a floodplain.
SLLc1		1. Location Type	10		

LEED-NDv4 Credit		Options	Possible Points	Village 8 Equivalency Points	Notes
	Preferred Locations	2. Connectivity			
		3. High Priority Locations			
SLLc2	Brownfield Remediation	Brownfield Site	1		
		High Priority Redevelopment Area	2		
SLLc3	Access to Quality Transit	Existing/Planned Transit	1-7	3	Weighted allocation of points based on 100 weekday trips and 65 weekend trips.
SLLc4	Bicycle Facilities	Bicycle Storage	1	1	
		Bicycle Location			
		Bicycle Network	1	1	Connects to an existing bicycle network with at least 3 continuous miles (refer to Fig. 2)
SLLc5	Housing and Jobs Proximity	Affordable housing	3		
		30% of total SF residential OR # of jobs within 1/2 mile = # of housing	2		
		Infill project with nonresidential component	1		
SLLc6	Steep Slope Protection		1	1	Per the Otay Ranch GDP §10.C.3 Steep Slope Policy, there is a ranch-wide requirement to preserve 83% of steep slopes and as stated in the Village 8 East SPA §4.3– assuming the Village 8 East steep slope impacts, the Otay Ranch GDP steep slope preservation requirement is exceeded with a calculated 86% preservation.
SLLc7	Site Design for Habitat or Wetland and	Sites w/o Significant habitat or wetlands	1		

LEED-NDv4 Credit		Options	Possible Points	Village 8 Equivalency Points	Notes
	Water Body Conservation	Sites with habitat or wetlands	1		
SLLc8	Restoration of Habitat or Wetlands and Water Bodies		1	1	Village 8 East includes 253.6 acres of Preserve (MSCP) but also connects to the greater MSCP area. The steepest slopes are preserved within the RMP/MSCP Preserve areas. (Refer to Fig. 5)
SLLc9	Long-Term Conservation Management of Habitat or Wetlands and Water Bodies		1	1	The Preserve Owner/Manager is responsible for overseeing the day-to-day and long range preserve management activities within the MSCP Preserve in accordance with the Otay Ranch Resource Management Plan (RMP).
Neighborhood Pattern & Design					
NPDp1	Walkable Streets		Y/N	Yes	All streets have sidewalks, and the mixed-use area is a “Main Street” theme which considers special paving, landscaping and architectural treatments.
NPDp2	Compact Development		Y/N	Yes	Village 8 East has densities from 11-45 du/ac. (Refer to Table 5)
NPDp3	Connected and Open Community		Y/N	Yes	196 intersections/square mile. (Refer to Chula Vista CO2 Index Model Results (approved 2014): Intersection Density. This exceeds the pre-requisite of 140.
NPDc1	Walkable Streets	25' setback (80%)	1	1	Per the Planned Community (PC) District Regulations, no suggested front setbacks equal or are greater than 25' from the right-of-way.
		18' setback (50%)	1	1	The mixed-use retail will be designed to include pedestrian oriented features, consistent with the Otay Ranch GDP and the Village 8 East SPA Plan. All storefronts shall be accessed from sidewalks. Parking should be located on street or in the rear/side of planning areas. The Village 8

LEED-NDv4 Credit		Options	Possible Points	Village 8 Equivalency Points	Notes
					East Design Plan explains a “Main Street” village identity through the commercial and mixed use area. The intent of this credit has been achieved.
		1' setback for nonresidential (50%)	1		
		Functional entries every 75 feet	1	1	The mixed-use retail will be designed to include pedestrian oriented features, consistent with the Otay Ranch GDP and the Village 8 East SPA Plan. All storefronts shall be accessed from sidewalks. Parking should be located on street or in the rear/side of planning areas. The Village 8 East Design Plan explains a “Main Street” village identity through the commercial and mixed use area. The intent of this credit has been achieved.
		Function entries every 30 feet	1		
		Glass on 60% of facades	1	1	The Village 8 East Design Plan explains a “Main Street” village identity through the commercial and mixed use area. That includes storefronts with display windows to create interest and encourage window shopping along the pedestrian walk.
		No blank walls 40% of sidewalk	1	1	Blank walls shall not exceed 40% of the sidewalk when applicable to building use. The village area is intended to be pedestrian oriented.
		Ground-level retail, services must be unshuttered at night	1	1	Architecture will be reviewed during the Design Review process, but it is expected that ground level retail will not be shuttered at night.
		On-street parking provided both sides on 70% of streets	1	1	On-street parking is provided throughout the Village.

LEED-NDv4 Credit		Options	Possible Points	Village 8 Equivalency Points	Notes
		Continuous sidewalks (10' wide on mixed-use blocks)	1		
		Ground-floor residential units at least 24" above grade	1		
		Ground floor retail in multi-stores	1	1	100% retail in the Village Core planning areas would be accessed from the ground floor. Furthermore, all would be accessed from the sidewalk, creating preferable street frontage.
		Building height-street width	1		
		20 mph residential streets	1		
		25 mph mixed use street	1		
		Driveways limited	1		
NPDc2	Compact Development	Density/acre	1-6	3	The SPA Amendment areas have allowed densities of the following: MH: 11 - 18 du/ac H: 18 - 27 du/ac VC 18 - 45 du/ac (Refer to Table 5)
NPDc3	Mixed-Use Neighborhoods	Uses with 1/4 mile walking distances	1-4	1	Project as proposed will provide community-serving retail/commercial, park, school, diverse housing types, preserved open space, transit stop.
NPDc4	Housing Types and Affordability	Diverse housing types	1-7		
		Affordable housing	1-3	1	328 affordable units are proposed in Village 8 East. That is 10% of the total units ($328/3,276 = .10$).
		Additional diverse housing types			
NPDc5	Reduced Parking Footprint	All off-street parking at side or rear	1	1	

LEED-NDv4 Credit		Options	Possible Points	Village 8 Equivalency Points	Notes
NPDc6	Connected and Open Community	Intersections/mile 300-400+	1-3		
NPDc7	Transit Facilities		1	1	Local bus facilities will be provided at the intersection of La Palmita Drive and Main Street (Refer to Fig. 3).
NPDc8	Transportation Demand Management	Transit Passes	1-21 points for every 2 options		
		Developer-sponsored transit			
		Vehicle sharing			
		Unbundling of parking/fees			
		Guaranteed ride home			
		Flexible work arrangements			
NPDc9	Access to Civic & Public Space	90% of units and non-residential use entrances within 1/4 mile of 1 civic and passive use space	1	1	90% of dwelling units are within 1/4 mile walk distance to public space. There are green spaces, parks and open spaces proposed throughout Village 8 East including play fields at the school and the park (P-1) (Refer to Fig. 1).
NPDc10	Access to Recreation Facilities	1 Rec facility of 1 acre within 1/2	1	1	90% of dwelling units are within 1/2 mile walk distance to rec facilities. Individual planning areas may also include rec amenities (Refer to Fig. 1).
NPDc11	Visitability and Universal Design	20% of dwellings are a visitable unit	1		
		At least 5 Universal Design Features	1		
		Kitchen features	1		

LEED-NDv4 Credit		Options	Possible Points	Village 8 Equivalency Points	Notes
		Bedroom/Bathroom features	1		
NPDc12	Community Outreach and Involvement	Community outreach	1	1	A community meeting will be held prior to project approval.
		Charrette	2		
		Endorsement Program	2		
NPDc13	Local Food Production	Neighborhood gardens	1		
		Community supported agriculture	1		
		Farmers Market within 1/2 mile walking distance	1		
NPDc14	Tree-Lined and Shaded Streetscapes	Trees planted 50' on at least 60% of streets	1	1	As confirmed by the project Landscape Architect, street trees will be planted 30-40' on center.
		Shaded sidewalks on 40% of sidewalks within 10 years	1		
		Certification from landscape architect that trees are planted properly and not invasive	1	1	
NPDc15	Neighborhood Schools	Neighborhood school within 1/2 mile	1	1	An elementary school is proposed in Village 8 East (S-1). (Refer to Fig. 1).
Green Infrastructure & Buildings					
GIBp1	Certified Green Buildings		Y/N	No	
GIBp2	Minimum Building Energy Efficiency		Y/N	Yes	

LEED-NDv4 Credit		Options	Possible Points	Village 8 Equivalency Points	Notes
GIBp3	Minimum Building Water Efficiency		Y/N	Yes	
GIBp4	Construction Activity Pollution Prevention		Y/N	Yes	
GIBc1	Certified Green Buildings	Number of buildings certified under LEED OR other green building rating system 10-20% 1 point; 20-30% 2 points; 30-40% 3 points, 40-50% 4 points; +50% 5 points	1-5		
GIBc2	Optimize Building Energy Performance	12% above ASHRAE; OR 20% ASHRAE	1-2		
		ASHRAE 50% Advanced Energy Design	2		
GIBc3	Indoor Water Use Reduction	Reduce water use 40% non-residential	1	1	CalGreen exceeded requirement at the time the original 2014 project was approved. Except for toilets, the 2019 and 2022 CalGreen code is consistent with this credit requirement.
		90% of residential buildings would earn 4 points under LEED v4	1	1	CalGreen exceeded requirement at the time the original 2014 project was approved. Except for toilets, the 2019 and 2022 CalGreen code is consistent with this credit requirement.
GIBc4	Outdoor Water Use Reduction	No irrigation	2		
		Reduced irrigation 30% 1 point; 50% 2 points	1-2	2	California Code exceeds requirements. Previously approved landscape plans meet the California Model Water Efficient Landscape Ordinance (MWELO).
GIBc5	Building Reuse	N/A	1		

LEED-NDv4 Credit		Options	Possible Points	Village 8 Equivalency Points	Notes
GIBc6	Historic Resource Preservation and Adaptive Reuse	N/A			
GIBc7	Minimized Site Disturbance		1		
GIBc8	Rainwater Management	Manage runoff on site 80th percentile 1 point; 85th 2 points; 90th 3 points; 95th 4 points	1-4	2	Stormwater management requirements in the San Diego Region require capture of the 85th percentile
GIBc9	Heat Island Reduction	Non-roof measures	1		
		High-reflectance and vegetated roofs	1		
		Mixed non-roof & roof measures	1		
GIBc10	Solar Orientation	Block orientation	1	1	Block orientation within the planning areas will be determined during the Design Review process. However, with the stringent solar/photovoltaic code requirements (2019 and 2022), The intent of this credit has been met.
		Building orientation	1	1	Building orientation within the planning areas will be determined during the Design Review process. However, with the stringent solar/photovoltaic code requirements (2019 and 2022), The intent of this credit has been met.
GIBc11	Renewable Energy Production	Renewable energy production 5% - 1 point, 12.5% -2 points; 20% -3 points	1-3	1	2019 California Energy Code requires solar installation unless alternative method that is equally as efficient as solar is used. 2022 Code is more stringent the 2019 Code and includes provisions for battery storage, further conserving energy.
GIBc12	District Heating and Cooling	Needs to be 80% of projects annual	2		

LEED-NDv4 Credit		Options	Possible Points	Village 8 Equivalency Points	Notes
		heating and/cooling			
GIBc13	Infrastructure Energy Efficiency	Infrastructure to be 15% annual energy reduction	1		
GIBc14	Wastewater Management	25% of wastewater is reused on-site 1 point; 50% 2 points	1-2		
GIBc15	Recycled and Reused Infrastructure		1		
GIBc16	Solid Waste Management		1	1	CalGreen requires that a minimum of 65% of nonhazardous construction and demolition waste be either recycled or salvaged for reuse.
GIBc17	Light Pollution Reduction		1	1	Per CalGreen requirements.
Innovation & Design Process					
IDCPc1	Innovation				
IDCPc2	LEED® Accredited Professional		1	1	
Regional Priority Credits					
	Regional Priority Credit: Region Defined	Rainwater Management			
	Regional Priority Credit: Region Defined	Mixed-Use Neighborhoods			

LEED-NDv4 Credit		Options	Possible Points	Village 8 Equivalency Points	Notes
	Regional Priority Credit: Region Defined	Housing Types and Affordability			
	Regional Priority Credit: Region Defined				
Total points				41	

Legend - Bicycle Circulation

- Chula Vista Greenbelt Trail
- Chula Vista Regional Trail (Class I Bike Path/Cycle Track)
- Cycle Track
- Village Pathway (Bike Route)
- Multi-Modal Bridge

The map shows a network of bicycle routes connecting various land use zones. Key features include:

- Land Use Zones:** R-1, R-2, VC-1, VC-2, VC-3A, VC-3B, VC-4, VC-5, VC-6, VC-7, S-1, P-1, R-3, R-4, R-5, R-6, R-7, R-8, R-9, R-10, OSP-1, OSP-2, OSP-3, OSP-4, AR-11, P-2, CPF-1.
- Roads:** Main Street, Savana Parkway, Calle Escuela, La Media Parkway, La Palmita Drive, La Jolla Village Drive, Avenida Conces.
- Boundaries:** MSCP Boundary.
- Scale:** 0 to 1000 feet.
- Orientation:** North arrow pointing up.

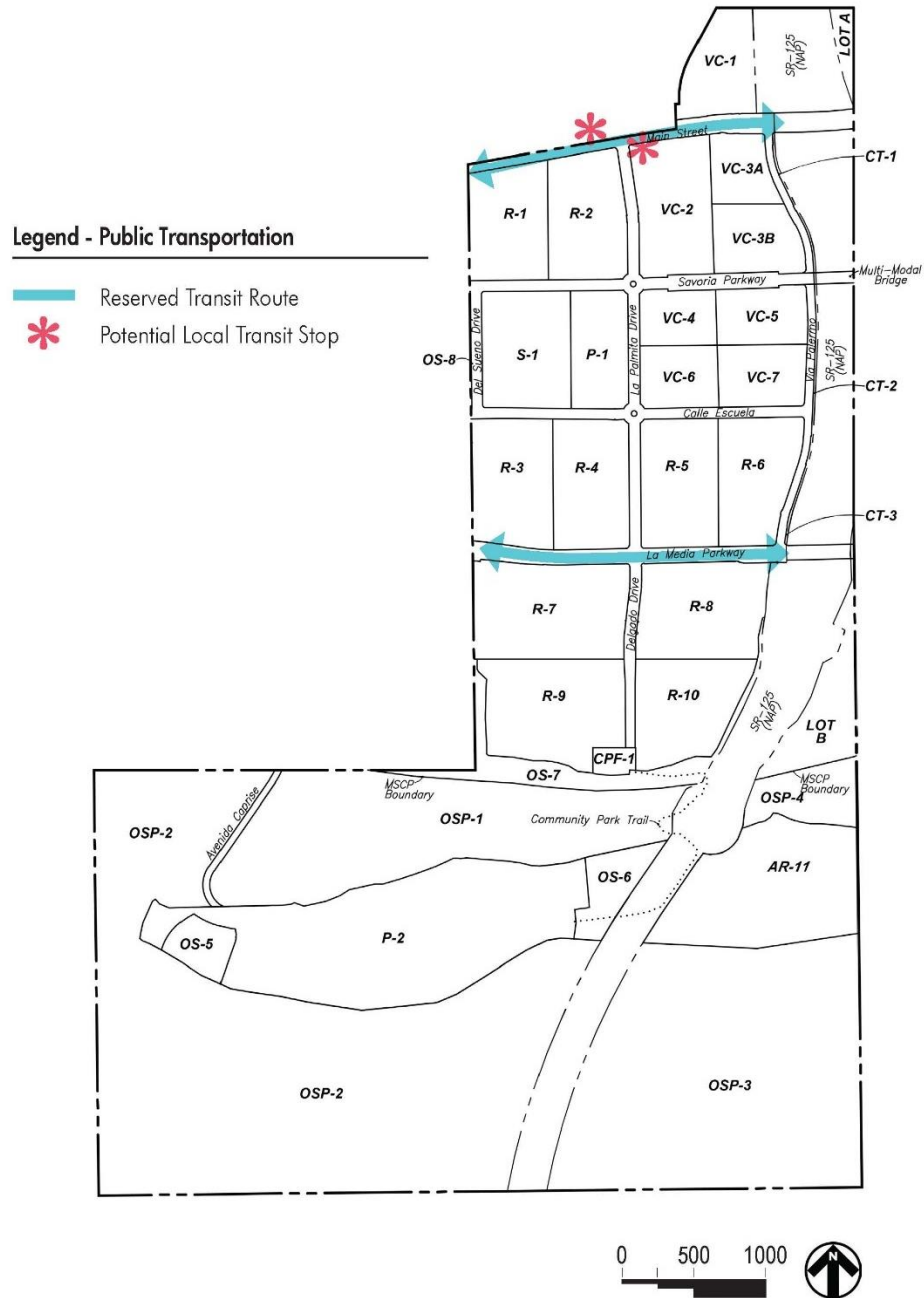
Figure 3: Proposed Transit Plan

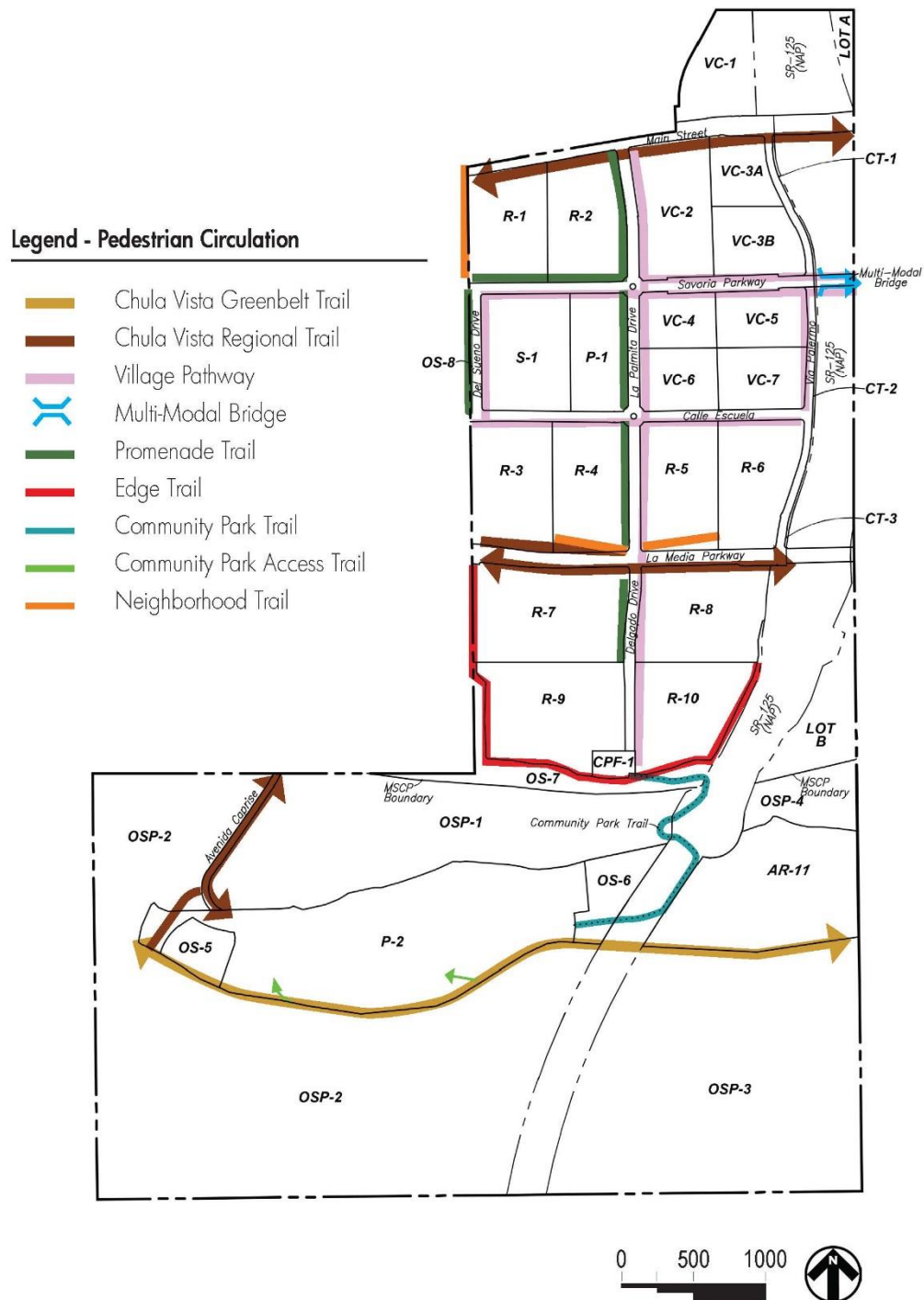
Figure 4: Proposed Pedestrian Circulation Plan

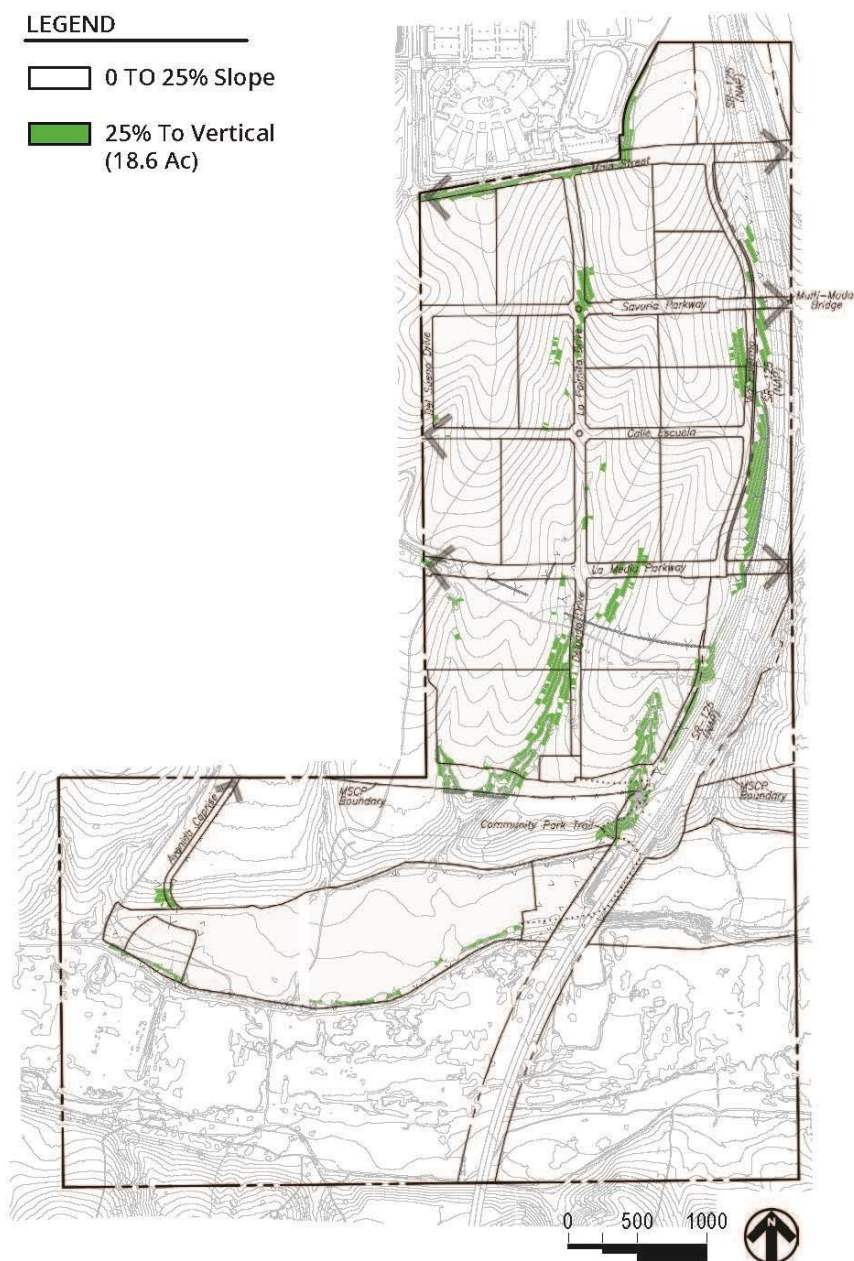
Figure 5: Steep Slopes

Figure 6 is provided as an example of how the development standards promote creation of a pedestrian-oriented village. Pedestrian oriented streets are encouraged on specific streets where topography and grade are not an inhibitor to walking.

Figure 6: Development Standards Example
(Please refer to the Village 8 East PC Regulations Document)

Standard ⁽¹⁾	RM-1	RM-2	Notes
Minimum Density	11 du/ac	18 du/ac	Calculated as total dwelling units per parcel or project area; shall not be calculated on a per-product/home type basis.
Maximum Density	18 du/ac	27 du/ac	
Minimum Lot Area	N/A		Shall not apply
Maximum Lot Coverage	N/A		Shall not apply
Maximum Building Height ⁽⁴⁾	45 feet	60 feet	See section 3.H Height Exceptions
Minimum Public Street Setbacks ⁽²⁾⁽³⁾			
La Palmita Drive	7.5 feet ⁽⁴⁾		All setbacks are subject to California Building Code ("CBC") and California Fire Code ("CFC") standards based on building design and fire rating; see section 3.I Permitted Building Encroachments & Projections
Main Street	5 feet from toe of slope	N/A	
Calle Escuela	5 feet ⁽⁴⁾ ; 4 feet ⁽⁴⁾ for stoop conditions		
Del Sueño Drive	N/A	5 feet ⁽⁴⁾ ; 4 feet for stoop conditions	
La Media Parkway	7.5 feet ⁽⁴⁾	N/A	
Savoria Parkway	5 feet ⁽⁴⁾ ; 4 feet ⁽⁴⁾ for stoop conditions facing street	N/A	
Delgado Drive	5 feet ⁽⁴⁾ ; 4 feet for stoop conditions facing street	N/A	
Via Palermo	5 feet ⁽⁴⁾	N/A	
From Street to porch/ patio/courtyard walls	4 feet ⁽⁴⁾		Fences permitted at back of ROW/property line
Minimum Private Drive / Private Drive Aisle Setbacks			
Building to Private Drive	4 feet ⁽⁴⁾		Measured from back of sidewalk or parkway
Garage Door to Private Drive	17 feet standard; 5 feet allowed for 35% of Private Drive non-sidewalk condition		Regulates driveway aprons
Garage Door to Private Drive Aisle	3 feet; or ≥17 feet		
Building Separations			
Private Drive Aisle Dimension	30 foot garage door to garage door; 24 foot building separation 2 nd story and above See Exhibit 3		Unless otherwise increased or decreased by CBC/CRC

Standard ⁽¹⁾	RM-1	RM-2	Notes
All Other Building Separations	Subject to CBC, California Residential Code (“CRC”) and CFC standards based on building design and fire rating		
Required Open Space ⁽²⁾⁽⁵⁾			
Private Usable Open Space			
Minimum Dimension	6 feet; 60 sq. ft. to qualify	5 feet; 40 sq. ft. to qualify	
Studio/1 Bedroom/2 Bedroom Unit	80 sq. ft. per unit	200 sq. ft. of combined Private and Common Usable Open Space per unit	No dimension shall be less than 5’ to qualify
≥3 Bedroom Unit	120 sq. ft. per unit		
Common Usable Open Space ⁽²⁾⁽⁵⁾	300 sq. ft. per unit		10 foot minimum dimension; CUOS shall be within ¼ mile of the residences to be served
Required Parking ⁽²⁾⁽⁵⁾			
Multi-Family Attached & Detached Residential	Per Unit Parking		See Village 8 East Planned Community District Regulations, Chapter 3 Multi-Family Zoning District and (section 3.J.4) and Chapter 8 Parking Regulations.
Studio	1.0 space per unit		
1 bed/2 bed Units:	2.0 spaces per unit, covered or garage space		
≥3 Bedroom Units	2 spaces per unit (covered or garage spaces) + 0.25 unassigned space for each additional bedroom over 3		
Guest Parking	1 space per 10 units		
Bicycle Parking	Comply with CalGreen requirements		
(1) All standards are minimums unless otherwise noted. (2) Minor modifications to standards are permitted subject to Section 10.E Minor Administrative Modifications. (3) Only public street setbacks shall be regulated. Interior and rear property line setbacks shall not be regulated. Across interior property lines, building separations shall comply with State building and fire codes. Where two or more parcels are developed as a single project, setback shall not be applicable to the property line separating the two parcels; all building separations shall be regulated per building and fire codes. (4) Measured from back of ROW. Required setback is permitted within or to include ‘Landscape Buffer’ noted on the TM and SPA Plan.			

Standard ⁽¹⁾	RM-1	RM-2	Notes
(5) Parking and common usable open space will be calculated for each parcel; but may be combined and implemented as joint use facilities shared between any adjoining parcels. Requirements are permitted to be calculated in the aggregate across two adjoining parcels per section 3.C.5.			

6. Community Design and Site Planning Features

Table 11: Community Design and Site Planning Features, below, provides an overview of the proposed Community Design and Site Planning Features, as well as building and landscape features, which have been integrated into the Village 8 East SPA Plan to create a sustainable community. These measures are based on California Air Pollution Control Officers Association (CAPCOA) Greenhouse Gas Mitigation Measures.

Table 11: Community Design and Site Planning Features

Transportation Related Measures
Village 8 East provides for future local bus services within close proximity of multi-family housing.
Village 8 East SPA streets will provide for a maximum travel speed which allows residential streets to be used by neighborhood electric vehicles and bicycles.
Off-street pathways and trails in Village 8 East will accommodate pedestrian and bicycle travel.
The Village 8 East provides for future local bus services, inclusive of a transit stop at the intersection of Main Street and Santa Marisol.
All Village 8 East development will comply with CalGreen standards for EV charging stations.
Energy-Conservation Related Measures
Project will be compliant with prevailing building and energy codes at the time of permit submission.
Project-wide recycling for residential, school, commercial, and retail establishments will be required as required under the County's recycling ordinance and CalGreen.
Indoor residential appliances will carry the Environmental Protection Agency's (EPA) ENERGYSTAR® certification, as applicable and feasible.
2019/2022 California Green Building Code Title 24, Part 11 (CalGreen) requires that 65% of all new construction waste generated at the site be diverted to recycle or salvage. Additionally, the State has set per capita disposal rates of 5.3 pounds per person per day for the City of Chula Vista. The Project will be in conformance with such requirements.
CVMC 8.25.095 requires all new construction and demolition projects to divert 100% of inert waste (asphalt, concrete, bricks, tile, trees, stumps, rocks and associated vegetation and soils resulting from land clearing from landfill disposal); and 50% of all remaining waste generated, unless partial or full diversion exemption is granted. Contractors will be required to put up a performance deposit and prepare a Waste Management Report form to ensure that all materials are responsibly handled. Upon verification that the diversion goals have been met the performance deposit will be refunded.
Landscape and irrigation to comply with California's Model Water Efficient Landscape Ordinance (MWELO).
All residential units will be part of the local utility demand response program to limit peak energy usage for cooling.
All development will provide PV solar systems and battery storage as required by Title 24.
Energy efficient lighting for streets, parks, and other public spaces will be required. Private developers will use energy efficient lighting and design.

Water-Related Measures to Reduce GHGs
All landscape shall comply with CVMC § 20.12. Landscape Water Conservation requirements as well as 2022 CalGreen requirements.
Drought tolerant, low-water usage native vegetation will be planted in public landscaped areas.
High-efficiency irrigation equipment, such as evapotranspiration controllers, soil moisture sensors and drip emitters, will be required for all projects that install separate irrigation water meters.
Indoor residential plumbing products will carry the EPA's WaterSense certification and be compliant with CalGreen.

7. Chula Vista CO₂ Reduction Plan

This section provides a comparative evaluation between the proposed community/site design features and the energy efficiency emission reduction action measures contained in the City's Carbon Dioxide CO₂ Reduction Plan. This list can be found in Attachment A of the Chula Vista AQIP Guidelines. Table 12 below provides a summary of project consistency with the City's CO₂ reduction action measures.

Table 12: Summary of Village 8 East Consistency with City CO₂ Reduction Action Measures

Action Measure	Project/Community Design Features	Describe how project design will Implement CO₂ Reduction Action Measures
Measure 6 (Enhanced Pedestrian Connections to Transit): Installation of walkways and crossings between bus stops and surrounding land uses.	Village Pathway on Street "A" and Street "B" connecting to internal local bus stop and Promenade Streets/Trails; Intersection neck-downs; Regional Trails on Main Street and Otay Valley Road connected to Village 8 Town Center Rapid Bus stop.	The Project will implement the design features which will enhance the pedestrian connection to transit stops located with the SPA Plan area and the planned Village 8 West Rapid Bus stop. There is a proposed Village 8 East local stop at Main Street and Santa Marisol.
Measure 7 (Increased Housing Density near Transit): General increase in land use and zoning designations to reach an average of at least 14-18 dwelling units per net acre within ¼ mile of major transit facilities.	The amendment for Village 8 East proposes residential densities at a Medium-High to High density range. The densities closest to the transit stops are 11 – 18 du/ac and 18-45 du/ac. Refer to Table 5.	Reduces vehicle-miles traveled that in turn reduces the GHG emissions.
Measure 8 (Site Design with Transit Orientation): Placement of buildings and circulation routes to emphasize transit rather than auto access; also includes bus turn-outs and other transit stop amenities.	Village 8 East SPA Transit Plan / Centrally-located local bus stop at Village Core; P.C. District Regulations – building setbacks	The Village 8 East SPA land use plan site design accommodates a centrally located mixed use and medium-high density core with a transit stop within ¼ mile of the higher density residential uses. The building setback requirements in the PC District Regulations and Village Design Plan policies will provide for pedestrian-scaled

Action Measure	Project/Community Design Features	Describe how project design will Implement CO ₂ Reduction Action Measures
		<p>building frontages to encourage walking. Refer to setback standards provided in Figure 6.</p> <p>The proposed local bus stop will be all-weather and provide seating, per City standards.</p>
<p>Measure 9 (Increased Land Use Mix): Provide a greater dispersion/variety of land uses such as siting of neighborhood commercial uses in residential areas and inclusion of housing in commercial and light industrial areas.</p>	<p>Village Core that provides opportunity for a mix of uses including commercial, park, school, and residential.</p>	<p>Reduces vehicle-miles traveled that in turn reduces the GHG emissions.</p> <p>The Village Core provides a mix of uses including commercial and park uses in a residential area, consistent with Measure 9.</p>
<p>Measure 10 (Reduced Commercial Parking Requirements): Lower parking space requirements; allowance for shared lots and shared parking; allowance for on-street spaces.</p>	<p>The SPA provides for on-street parking.</p>	<p>The project includes on-street parking spaces throughout the Village Core which reduces the need for large, paved parking lots.</p>
<p>Measure 11 (Site Design with Pedestrian/Bicycle Orientation): Placement of buildings and circulation routes to emphasize pedestrian and bicycle access without excluding autos; includes pedestrian benches, bike paths, and bike racks.</p>	<p>P.C. District Regulations – building setbacks</p>	<p>Promotes bicycling and walking thereby reducing vehicle-miles traveled that in turn reduces the GHG emissions.</p> <p>The building setback requirements in the PC District Regulations and Village Design Plan policies will provide for pedestrian-scaled building frontages to encourage walking and bicycling.</p> <p>Bike racks will be provided at parks, the elementary school and the mixed use commercial/retail center in the village core.</p> <p>Garages set back from the living area of homes and are discouraged in fronts of homes on multi-family and cluster units.</p> <p>Refer to Figure 6 (when available).</p>

Action Measure	Project/Community Design Features	Describe how project design will Implement CO ₂ Reduction Action Measures
Measure 12 (Bicycle Integration with Transit and Employment): Provide storage at major transit stops and employment areas. Encourage employers to provide showers at the place of employment near major transit nodes.	Bicycle storage per the P.C. District Regulations. CalGreen requires nonresidential buildings anticipated to generate visitor traffic to provide short-term bicycle racks within 200 feet of the visitors' entrance.	Promotes bicycling that can reduce vehicle-miles traveled that in turn reduces the GHG emissions. The P.C. District Regulations include requirements for bicycle storage and shower/changing facilities in businesses such that future employees may bike to work, consistent with CalGreen requirements.
Measure 13 (Bike Lanes, paths, and Routes): Continued implementation of the City's bicycle master plan. Emphasis is to be given to separate bike paths as opposed to striping bike lanes on streets.	The Circulation of the SPA details the circulation system in the Village including the off-street Village Pathway, the Promenade Streets/Trails; Regional Trail and Greenbelt Trail and all provide bike paths. (Refer to Figure 2 and Figure 4 within this AQIP).	Promotes bicycling that can reduce vehicle-miles traveled that in turn reduces the GHG emissions.
Measure 14 (Energy Efficient Landscaping): Installation of shade trees for new single-family homes as part of an overall City-wide tree planting effort to reduce ambient temperatures, smog formation, energy use, and CO ₂ .	Village 8 East Street tree planting shall comply with the City of Chula Vista Shade Tree Policy Number 576-19. The objective is to maximize shade cover to the greatest extent possible. The Village 8 East street sections provide for landscaped parkways with street trees. The Water Conservation Plan identifies appropriate tree which are water efficient.	Reduces energy consumption that reduces GHG emissions.
Measure 16 (Traffic Signal & System Upgrades): Provide high-efficiency LED lamps or similar as approved by the City Engineer.	Chula Vista Public Works Department is testing the use of induction/LED lighting for public streets in a pilot program. If it is determined that one of these lighting systems is feasible on a citywide basis, the applicable lighting system will be used in Village 8 East.	Reduces energy consumption that reduces GHG emissions.
Measure 18 (Energy Efficient Building Recognition Program): Reducing CO ₂ emissions by applying building standards that exceed current Title 24 Energy Code requirements.	Project will meet code.	The updated Title 24 Building Code requirements are continually more stringent to reduce energy consumption and emissions. Therefore, meeting code requirements will inherently work towards energy efficiency and GHG reductions.

Action Measure	Project/Community Design Features	Describe how project design will Implement CO ₂ Reduction Action Measures
Measure 20 (Increased Employment Density Near Transit): General increase in land-use and zoning designations to focus employment-generating land-uses within ¼ mile of major transit stops throughout the City.	Village Core and medium-high to high density residential close proximity to local bus stop.	Reduces vehicle-miles traveled that in turn reduces the GHG emissions. The Village 8 East SPA land use plan locates a commercial/retail and higher densities near the planned future local bus stop.

8. Credit Towards Increased Minimum Energy Efficiency Standards

Village 8 East will comply with CVMC Sections 15.12 and 15.26 which both defer to California Code, Title 24. Title 24, Part 6 refers to the Energy Code and Part 11 refers to Green Building Standards. These code sections work toward energy efficiency in the building envelope, lighting and appliances, and landscape features.

Detailed provisions related to the calculation and application of credits are currently under development and subject to subsequent review and approval of City Council.

9. Compliance Monitoring

This section includes a written description and a checklist (Table 13) summarizing the project design features and mitigation measures that have been identified to reduce Village 8 East effects on air quality and improve energy efficiency.

Table 13: Village 8 East Air Quality Improvement Plan Compliance Monitoring Checklist

AQIP Project Design Features/Principles	Method of Verification ¹	Timing of Verification	Responsible Party ²	Project Consistency & Compliance Documentation (Column to be Completed with Implementation) ³
PLANNING				
Mixed Use Village Core	Plan Review	Tentative Map	City of Chula Vista	
Elementary School	Plan Review	Tentative Map	City of Chula Vista	
Neighborhood Park	Plan Review	Tentative Map	City of Chula Vista	
Commercial/Retail Center	Plan Review	Tentative Map	City of Chula Vista	
Local Bus Stop	Transit Review	Per SANDAG	SANDAG/City	
Rapid Bus Stop	Transit Review	Per SANDAG	SANDAG/City	

AQIP Project Design Features/Principles	Method of Verification¹	Timing of Verification	Responsible Party²	Project Consistency & Compliance Documentation (Column to be Completed with Implementation)³
CPF-1 (Community Purpose Facility)	Plan Review	Tentative Map	City of Chula Vista	
Private Open Spaces	Plan Review	Tentative Map	City of Chula Vista	
Village Pathway – Street A and Street B	Plan Review	Tentative Map	City of Chula Vista	
Promenade Trails	Plan Review	Tentative Map	City of Chula Vista	
Chula Vista Regional Trail – Main Street and Otay Valley Road	Plan Review	Tentative Map	City of Chula Vista	
Chula Vista Greenbelt Trail	Plan Review	Tentative Map	City of Chula Vista	
Attached Homes	Plan Review	Tentative Map	City of Chula Vista	
Narrower Streets	Plan Review	Tentative Map	City of Chula Vista	
Air Quality Mitigation Measures				
Construction related emissions	Permit Review	Grading Permit	City of Chula Vista	
Siting of sensitive land uses	Permit Review	Building Permit	City of Chula Vista	
TAC Emission Compliance	Permit Review	Building Permit	City of Chula Vista	
BUILDING				
Green Building Standards				
New Construction Recycling Plan	Waste Management Report Review	Construction or demolition permit	City of Chula Vista	
Space of recycling in projects	Plan Check	Tentative Tract OR Building Permit	City of Chula Vista	
Energy Efficiency Standards				
Size of dwellings units	Plan Check	Building Permit	City of Chula Vista	
Building compliance with prevailing code	Plan Check	Building Permit/ Title 24 Energy Report	City of Chula Vista	

AQIP Project Design Features/Principles	Method of Verification¹	Timing of Verification	Responsible Party²	Project Consistency & Compliance Documentation (Column to be Completed with Implementation)³
Installation of energy efficient appliances as code requires	Plan Check	Building Permit	City of Chula Vista	
Indoor water fixture requirements: Hot Water Pipe Insulation Water Efficient Dishwashers (residential only) Dual Flush Toilets	Plan Check	Plumbing Permit	City of Chula Vista	
Installation of Pressure Reducing Valves	Plan Check	Plumbing Permit	Otay Water District	
Landscape Water Conservation	Plan Check	Landscape Plan	City of Chula Vista	
Installation of Recycled Water for street parkway landscape, parks, manufactured slopes and landscape common areas of commercial and multi-family residential sites.	Plan Check	Tentative Tract Final Map, Improvement Plans	Otay Water District/ City of Chula Vista	

Notes:


1. Method of verification may include, but is not limited to, plan check, permit review, and site inspection.
2. Identify the party responsible for ensuring compliance (City of Chula Vista, San Diego APCD, Other).
3. This column shall include all pertinent information necessary to confirm compliance including document type, date of completion, plan/permit number, special notes/comments, and contact information.

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MEMORANDUM

646-386

TO: Jeff O'Connor, HomeFed Otay Land II, LLC

FROM: Fernando Fregoso, P.E.,  Dexter Wilson Engineering, Inc.

DATE: September 14, 2023

SUBJECT: Otay Ranch Village 8 East SPA Amendment Water
Conservation Plan Evaluation

Background

HomeFed Otay Land II, LLC proposes revisions to the Village 8 East land use plan. The land use changes are detailed in the project description, site utilization plan, and site utilization table provided in Attachment 1. Amendments to the Chula Vista General Plan, Otay Ranch General Development Plan, and the Otay Ranch Village 8 East SPA Plan are necessary to implement the proposed changes. Rezone and Tentative Map approval for Village 8 East are also necessary to implement the proposed changes. A Development Agreement amendment is also proposed as part of the project.

The Village 8 East project was approved in 2014 as part of the University Villages Project Comprehensive SPA Plan Amendment Final Environmental Impact Report (2014 FEIR). The project was amended in 2020 to transfer 284 units from Village 8 East to Village 8 West, decreasing the total authorized units within Village 8 East from 3,560 units to 3,276 units.

The proposed land use changes would reconfigure the Village Core mixed-use area to accommodate multi-family residential uses, retail/commercial uses, an elementary school, and a neighborhood park. The revised plan would remain consistent with the previously authorized residential unit count total of 3,276 units for Village 8 East.

The October 2014 Water Conservation Plan for Otay Ranch Village 8 East (October 2014 Water Conservation Plan) was prepared as a supporting document to the EIR. The October 2014 Water Conservation Plan was not revised for the 2020 Village 8 East project amendment. The purpose of this memorandum is to evaluate the impact of the proposed land use changes for Village 8 East on the findings from the October 2014 Water Conservation Plan.

Village 8 East SPA Amendment Summary

A summary of proposed changes to the Village 8 East land use plan is provided as follows:

- Provide 20,000 square feet of commercial/retail uses.
- Distribute 1,348 multi-family homes across eight (8) Village Core parcels.
- Distribute 1,664 multi-family residential units across ten (10) parcels designated Medium-High Residential.

Proposed Land Use Plan

As described in greater detail in the proposed project description, site utilization plan, and land use summary table included in Attachment 1, the proposed project includes changes to the backbone streets, land uses, and residential unit types and distribution throughout the village.

Water Demand Projection – October 2014 Water Conservation Plan

Table 1 summarizes the projected average water demands for Village 8 East based on the approved land use plan as presented in the October 2014 Water Conservation Plan. The October 2014 Water Study analysis used the water demand factors from the April 2013 revision of the 2008 Otay Water District Water Resources Master Plan.

TABLE 1 VILLAGE 8 EAST APPROVED LAND USE PLAN PROJECTED WATER DEMANDS (OCTOBER 2014 WATER STUDY)			
Land Use¹	Quantity	Demand Factor	Average Demand, gpd
Single Family Residential (3-8 Du/Ac)	303 units	500 gpd/unit	151,500
Single Family Residential (>8 Du/Ac)	640 units	300 gpd/unit	192,000
Multi-Family Residential	2,617 units	255 gpd/unit	667,335
Commercial	8.6 ac	1,607 gpd/ac	13,820
School	10.8 ac	1,428 gpd/ac	15,422
CPF	2.9 ac	714 gpd/ac	2,071
Park ²	58.8 ac	0 gpd/ac	6,891
TOTAL			1,049,039

1. Open space preserve, freeway lots and AR-11 are not calculated because either no water demand is projected from these areas or they are not currently proposed for development.

2. To be irrigated with recycled water. Nominal potable water use has been estimated for standard fixtures (lavatories, drinking fountains, etc.).

Water Demand Projection – Proposed Plan (2023 SPA Amendment)

Table 2 summarizes the projected average water demands for Village 8 East based on the currently proposed 2023 SPA Amendment. This projection uses current water demand factors from the 2015 Otay Water District Water Master Plan. The decrease in water demand factors compared to the October 2014 Water Study is due to water conservation efforts in recent years and the proposed changes in residential densities.

TABLE 2 VILLAGE 8 EAST PROPOSED LAND USE PLAN PROJECTED WATER DEMANDS (2023 SPA AMENDMENT)			
Land Use¹	Quantity	Demand Factor	Average Demand, gpd
Multi-Family Residential	3,012 units	170 gpd/unit	512,040
Commercial	51.5 ac	1,607 gpd/ac	82,761
Multi-Family Residential Alternative for Elementary School Site ²	264 units	170 gpd/unit	44,880
CPF	1.2 ac	714 gpd/ac	857
Park/Active Recreation ³	73.2 ac	0 gpd/ac	9,051
TOTAL			649,589

1. Internal and external circulation, open space, open space preserve, and future development areas are not calculated because either no water demand is projected, or these areas are not proposed for development at this time.
2. The elementary school site has an underlying "High" residential land use designation that could accommodate 264 multi-family units if the site is not utilized as a school site. Average demand of 44,880 gpd is conservatively calculated based on multi-family land use. Average demand would decrease to 14,280 gpd (10.0 net-acre school site x 1,428 gpd/acre = 14,280 gpd) if the site is utilized as a school site.
3. Parks and the AR-11 site will be irrigated with recycled water, but nominal potable water use has been estimated for standard fixtures (lavatories, drinking fountains, etc.).

Water Conservation Savings

A water conservation plan was prepared for Village 8 East in 2014 as part of the project approval. In addition to standard water conservation measures, multi-family units within Village 8 East have committed to installing the following two additional measures:

- Dual flush toilets
- Water effluent landscaping

The October 2014 Water Conservation Plan estimates water conservation savings from the use of recycled water and from the implementation of water conservation measures at single family and multi-family residences. Table 3 summarizes the total projected water conservation savings from the October 2014 Water Conservation Plan.

TABLE 3 OTAY RANCH VILLAGE 8 EAST NOVEMBER 2014 WATER CONSERVATION PLAN			
Description¹	Units	Water Savings, gpd/unit	Total Water Savings, gpd
Recycled Water	---	---	274,325
Single Family Residential	943	49.25	46,443
Multi-Family Residential	2,617	24.25	63,462
TOTAL			384,230

Based on the current proposed SPA Amendment, Table 4 provides the estimated recycled water savings and Table 5 summarizes the total estimated water conservation savings.

TABLE 4 OTAY RANCH VILLAGE 8 EAST PROJECTED RECYCLED WATER DEMANDS					
Land Use¹	Quantity	% Irrigated	Irrigated Acreage	Recycled Water Demand Factor	Average Recycled Water Demand, gpd
Irrigated Open Space ²	23.5 ac	100	23.5	1,900 gpd/ac	44,650
Park/Active Recreation	73.2 ac	100	73.2	1,900 gpd/ac	139,080
Village Core/Mixed-Use	51.5 ac	10	5.2	1,900 gpd/ac	9,880
CPF	1.2 ac	20	0.2	1,900 gpd/ac	380
Multi-Family	3,012 units	15	--	45 gpd/unit	135,540
Elementary School ³	11.3 ac	20	2.3	1,900 gpd/ac	4,370
TOTAL					333,900

1. Open space preserve and future development areas are not calculated because either no water demand is projected from these areas, or they are not currently proposed for development.
2. Includes 15.3 acres of perimeter open space located within Residential and Village Core areas and 16.4 acres of Manufactured/Basin Open Space (see Site Utilization Table in Attachment 1). There are two detention basins (8.2 acres total) located within the Manufactured/Basin Open Space areas that are excluded from the Irrigated Open Space acreage total (15.3 acres + 16.4 acres – 8.2 acres = 23.5 acres).
3. The elementary school site has an underlying “High” residential land use designation that could accommodate 264 multi-family units if the site is not utilized as a school site. Average recycled water demand of 4,370 gpd is conservatively calculated based on school use. Average recycled water demand would increase by 7,510 gpd to 11,880 gpd (264 units x 45 gpd/unit = 11,880 gpd) if the site is utilized as a multi-family site.

TABLE 5 OTAY RANCH VILLAGE 8 EAST ESTIMATED WATER CONSERVATION SAVINGS (2023 SPA AMENDMENT)			
Description¹	Units	Water Savings, gpd/unit	Total Water Savings, gpd
Recycled Water ²	---	---	333,900
Multi-Family Residential ³	3,012	24.25	73,041
TOTAL⁴			406,941

1. Open space preserve and future development areas are not calculated because either no water demand is projected from these areas, or they are not currently proposed for development.
2. From Table 4.
3. The elementary school site has an underlying "High" residential land use designation that could accommodate 264 multi-family units if the site is not utilized as a school site. Water savings conservatively exclude the 264 multi-family unit alternative for the school site per Table 4. Multi-family residential water savings would increase by 6,402 gpd (264 units x 24.25 gpd/unit = 6,402 gpd) to 79,443 gpd if the school site is utilized as a multi-family site.
4. Total water savings would increase by 13,912 gpd (Table 4, Footnote 3 increase of 7,510 gpd plus Table 5, Footnote 3 increase of 6,402 gpd) to 420,853 gpd if the elementary school site is utilized as a multi-family site.

Conclusion

The proposed SPA Amendment for Village 8 East will increase total water conservation savings by 5.9 percent. Despite using Otay Water District's lower irrigation demand factor, the estimated recycled water use is increased from the October 2014 Water Conservation Plan mainly due to the amount of park and recreation area that will be irrigated with recycled water. Residential water conservation savings are decreased from the October 2014 Water Conservation Plan due to the shift away from single family units for multi-family units within Village 8 East. The net effect is that projected total water conservation savings are increased from 384,230 gpd to 406,941 gpd, or by 5.9 percent. Attachment 2 presents the preliminary potable water plan for Village 8 East. Attachment 3 presents the preliminary recycled water plan for Village 8 East. Backbone public water line sizing and alignments within Village 8 East shall be confirmed during final engineering.

FF:ah

Attachments

ATTACHMENT 1

**VILLAGE 8 EAST
PROJECT DESCRIPTION
SITE UTILIZATION PLAN
AND
LAND USE SUMMARY**

OTAY RANCH VILLAGE 8 EAST REPLANNING
PROJECT DESCRIPTION
APPLICANT: HOMEFED OTAY LAND II, LLC

Otay Ranch Village 8 East is south of the extension of Main Street, north of the Otay River Valley, east of Village 8 West and west of SR-125. This urban village was originally approved by the Chula Vista City Council in 2014 and subsequently amended in 2020. Current entitlements accommodate a total of 3,276 residential units, including 943 detached homes, 1,893 attached homes and 440 multi-family units in a mixed-use setting, 20,000 square feet of retail/commercial uses, an elementary school site, a neighborhood park and the 51.5-acre (gross) Otay Ranch Community Park South. Access to the village is provided via the extension of Main Street and La Media Parkway with emergency and pedestrian access to the community park provided along a utility corridor in the southeast portion of Village 8 East. Primary access to the community park is via existing Avenida Caprise within Village 8 West.

HomeFed Otay Land II, LLC, (Applicant), proposes to amend the Village 8 East land use plan to reflect current market conditions and housing needs and to ensure the community relates more closely to the adjacent Village 8 West community and future Village 9 planned east of SR-125. The replanning effort also addresses the redesign of the SR-125 interchanges at Main Street and La Media Parkway.

Village 8 East Proposed Land Use: The Proposed Village 8 East Land Use Plan would include a Village Core area that would accommodate a mix of uses including multi-family residential and retail/commercial uses along with an elementary school site and a centrally located neighborhood park. A future multi-modal bridge, planned to accommodate Neighborhood Electric Vehicles (NEV), bicycles and pedestrians is also planned in the Village Core linking Village 8 East and future Village 9.

The proposed project would include 20,000 square feet of commercial/retail uses and 1,348 multi-family homes distributed across eight Village Core parcels. Other residential land uses include 1,664 multi-family residential units in 10 parcels designated Medium-High Residential. The elementary school site has an underlying “High” residential land use designation that could accommodate 264 multi-family units if the site is not utilized as a school site. The project also includes an alternative elementary school site/neighborhood park site configuration which would increase the size of the elementary school site and correspondingly reduce the neighborhood park site. This alternative configuration would be implemented based on the needs of the Chula Vista Elementary School District.

The project also includes 253.6 acres of Preserve Open Space, 16.4 acres of manufactured slopes/basins and the 22.6-acre active recreation site (AR-11) located east of SR-125. Approximately 15.3 acres comprising perimeter slope areas are included in the gross acres of development parcels. The Village 8 East Final Map(s) will include open space easements over perimeter slope areas based on final engineering designs. The 43.3-acre (gross) Otay Ranch Community Park South is located south of Village 8 East. An existing water quality basin that serves Village 8 West is located in the western portion of the community park and the proposed project includes an additional water quality basin in the eastern portion of the community park to serve Village 8 East.

Village 8 East SPA Site Utilization Table (Revised)

Parcel	Permitted Density Range	Estimated Units¹	Gross Acres²	Estimated Density³
Medium High Multi-Family Residential				
R-1	11-18 du/ac.	154	9.9	15.6
R-2	11-18 du/ac.	163	10.7	15.2
R-3	11-18 du/ac.	162	11.4	14.2
R-4	11-18 du/ac.	147	10.9	13.5
R-5	11-18 du/ac.	155	11.0	14.1
R-6	11-18 du/ac.	143	10.3	13.9
R-7	11-18 du/ac.	226	15.8	14.3
R-8	11-18 du/ac.	176	14.0	12.6
R-9	11-18 du/ac.	196	15.4	12.7
R-10	11-18 du/ac.	142	11.5	12.3
Total MH		1,664	120.9	13.8
Village Core ³				
VC-1	18-45 du/ac.	275	7.6	36.2
VC-2	18-45 du/ac.	430	11.3	38.1
VC-3A	18-45 du/ac.	161	5.5	29.3
VC-3B ⁵	18-45 du/ac.	0	5.6	0.0
VC-4	18-45 du/ac.	192	4.5	42.7
VC-5 ⁵	18-45 du/ac.	0	5.7	0.0
VC-6	18-45 du/ac.	142	5.3	26.8
VC-7	18-45 du/ac.	148	6.0	24.7
Total VC		1,348	51.5	26.2
Subtotal Residential		3,012	172.4	
Other				
Community Purpose Facility⁶				
CPF-1			1.2	
Subtotal CPF			1.2	
Parks				
P-1 ⁷			7.3	
P-2A			15.2	
P-2B			28.1	
AR-11			22.6	
Total Parks			73.2	
School				
S-1 ^{7 8}		264	11.3	

Parcel	Permitted Density Range	Estimated Units ¹	Gross Acres ²	Estimated Density ³
Open Space				
MSCP Preserve OS (Lots 1-4)			253.6	
Manufactured/Basin OS (Lots 5-7)			16.4	
Total Open Space			270.0	
Circulation				
Internal			22.5	
External			9.2	
Total Circulation			31.7	
Caltrans Lots (to be dedicated)				
CT-1			1.7	
CT-2			0.1	
CT-3			1.9	
Total Caltrans Lots			3.7	
Future Development				
Lot A			1.0	
Lot B			8.4	
Total Future Development			9.4	
Subtotal Other			400.5	
OVERALL SPA TOTAL⁹		3,276	572.9	

NOTES:

¹ Estimated Units are provided for planning purposes only, do not represent the final unit allocation for each parcel and shall not be used to limit or restrict the final units allocated to any parcel.; The final unit allocation must remain consistent with the permitted density range applicable to the parcel. The final unit allocation shall be determined during Design Review and shall be documented in the Unit Tracking Table (Village 8 East SPA Plan, Attachment 1). Revisions to the Site Utilization Table shall not be required based on changes to the Estimated Units presented herein.

² Final acreage information to be determined during final engineering. Acreage may vary due to rounding. Residential and Village Core gross acreage includes approximately 15.3 of perimeter open space areas. The future Village 8 East Final Map(s) to include open space easements over perimeter open space slopes as determined during final design.

³ Estimated Density calculated based on gross parcel acreage. Final density to be determined during Design Review.

⁴ 20,000 SF of commercial uses are authorized within Village 8 East. Commercial SF may be developed within a single parcel designated VC or distributed among any parcel designated VC (VC-1 through VC-7). The final distribution of commercial SF to be determined during Design Review. The “Permitted Density Range” is not applicable to VC parcels with no residential units.

⁵ VC-3B and VC-5 are anticipated to be developed with non-residential uses only, consistent with the Village Core zoning district. The “Permitted Density Range” is not applicable to VC parcels with no residential units.

⁶ Per the Land Offer Agreement (7/8/2014), the Village 8 East SPA Plan shall designate 4.0 acres of CPF land. The Applicant is proposing to meet a portion of the Village 8 East CPF obligation by designating the 1.2-acre CPF-1 site as a private recreation facility. Pursuant to the Development Agreement Amendment, the remaining 2.8 acre CPF obligation shall be satisfied within Otay Ranch Planning Area 20 South.

⁷ Both the Village 8 East SPA Plan and Tentative Map include the "Proposed" and "Alternative" configuration and acreage for the S-1 School Site and P-1 Neighborhood Park. Either the Proposed or Alternative may be implemented without the need for an amendment to the SPA Plan or TM. The final neighborhood park acreage shall be addressed in the future Village 8 East Parks Construction Agreement.



⁸ The S-1 school site has an underlying residential land use designation of High Residential. If the site is not developed as a school site, then it shall be developed as residential; however, if the site is developed as an elementary school, then the 264 units may be reallocated to another Village 8 East parcel or transferred to another village, as permitted in the Village 8 East PC District Regulations, Chapter 10, Implementation.

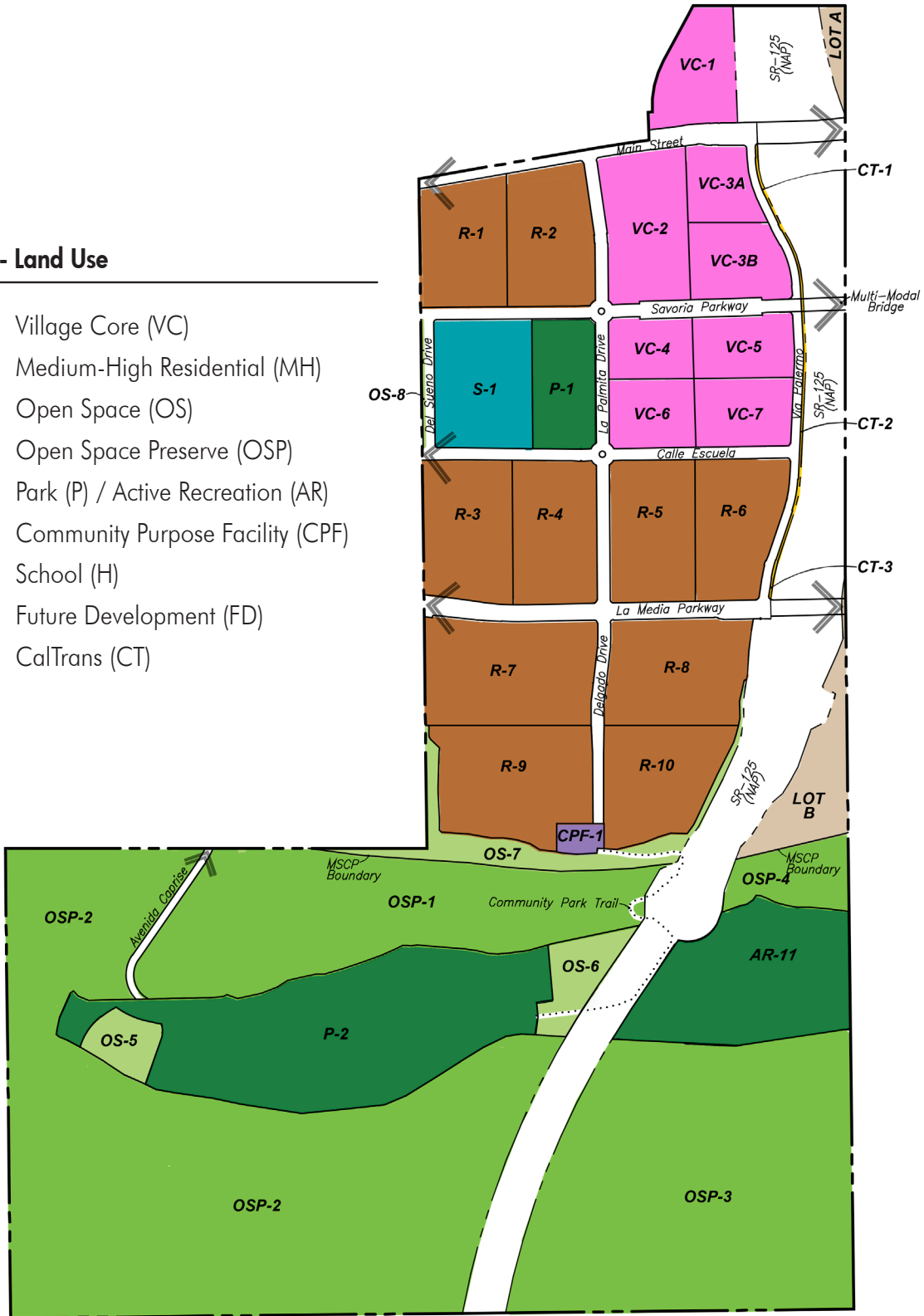
⁹ Village 8 East acreage adjusted from approved 2014 development area to reflect changes in SR-125 ROW and to facilitate the future SR-125 ROW Decertification process.

Circulation: Main Street, between the Village 8 West couplet and the future SR-125 Interchange, would be implemented as a 6-lane prime arterial roadway and includes a grade-separated expanded Regional Trail designed to accommodate a 5-foot bike lane and 10-foot Chula Vista Regional Trail on the south side. Local bus stops are provided on both sides of Main Street. Transit access would be provided in shared flow travel lanes.

La Media Parkway, from its eastern terminus in Village 8 West, would continue through Village 8 East as a four-lane major road with a 17-foot Chula Vista Regional Trail comprised of a 5-foot sidewalk and 12-foot-wide, two-way NEV/Bike Route on the south side. On the north side of La Media Parkway, an 11-foot Chula Vista Regional Trail is provided west of La Palmita Drive and 5-foot sidewalk is provided east of La Palmita Drive. Transit access is planned in shared flow travel lanes.

Legend - Land Use

	Village Core (VC)
	Medium-High Residential (MH)
	Open Space (OS)
	Open Space Preserve (OSP)
	Park (P) / Active Recreation (AR)
	Community Purpose Facility (CPF)
	School (H)
	Future Development (FD)
	CalTrans (CT)



Site Utilization Plan

0 500 1000



SR-125: Concurrent with the replanning effort in Village 8 East, CALTRANS has initiated a Project Study Report-Project Development Support (PSR-PDS) to evaluate alternatives that provide new local street connections, increase capacity, improve mobility, and relieve congestion on State Route 125 (SR-125) between the Otay River and Birch Road. The PSR-PDS includes four preliminary designs for the SR-125 interchanges at Main Street and Otay Valley Road. The Village 8 East land use plan reflects Alternative B. The TM will be revised to reflect the ultimate SR-125 ROW and design.

Alternative B: Couplet/Parallel Street System Interchange Alternative B consists of a couplet/parallel street system interchange with ramps at Main Street and Otay Valley Road acting as a single freeway access point via connected one-way frontage roads (Type L-5 per Caltrans Highway Design Manual (HDM) Section 502.2(C)). For this alternative, vehicles traveling northbound on SR-125 would exit at Otay Valley Road and enter SR-125 at Main Street. Similarly, southbound vehicles would exit SR-125 at Main Street and enter SR-125 at La Media Parkway. The on/off ramps at La Media Parkway and Main Street will be connected by two-lane, one-way frontage roads. This alternative will include three La Media Parkway Valley Road (approximately 94'-4" wide), and a new multi-modal bridge (22' wide).

Discretionary Actions: Discretionary actions which require City Council and Planning Commission consideration and/or approval. The Proposed Project includes an Addendum to Otay Ranch University Villages Project Comprehensive SPA Plan Amendment Final Environmental Impact Report (FEIR) (EIR 13-01; SCH No. 2013071077); approved December 2014, amendments to the City of Chula Vista General Plan, the Otay Ranch General Development Plan, the Otay Ranch Village 8 East Sectional Planning Area Plan, and Appendices, a Rezone and approval of Village 8 East Tentative Map CVT No. 22-0005. A Development Agreement amendment is also proposed as part of the Proposed Project.

Technical Reports and Memos: The following technical reports and memos would be prepared for the proposed project:

- Biological Resources Technical Memorandum (Dudek)
- Air Quality and Global Climate Change Technical Memorandum (Dudek)
- Health Risk Assessment Screening Letter (Ldn Consulting, Inc.)
- Noise Assessment Technical Memorandum (Dudek)
- Comprehensive Project Information Form/Trip Generation Analysis Update (Chen Ryan)
- Archaeological Evaluation of Cultural Resources Letter (Dudek)
- Master Drainage Study (Hunsaker)
- PDP SWQMP (Hunsaker)
- Overview of Sewer Service Update (Wilson Engineering)
- Overview of Water Service Update (Wilson Engineering)
- Geotechnical Investigation Letter (GEOCON)
- Fiscal Impact Analysis Update (Development Planning & Financing Group)

ATTACHMENT 2

**VILLAGE 8 EAST
PRELIMINARY POTABLE WATER PLAN**

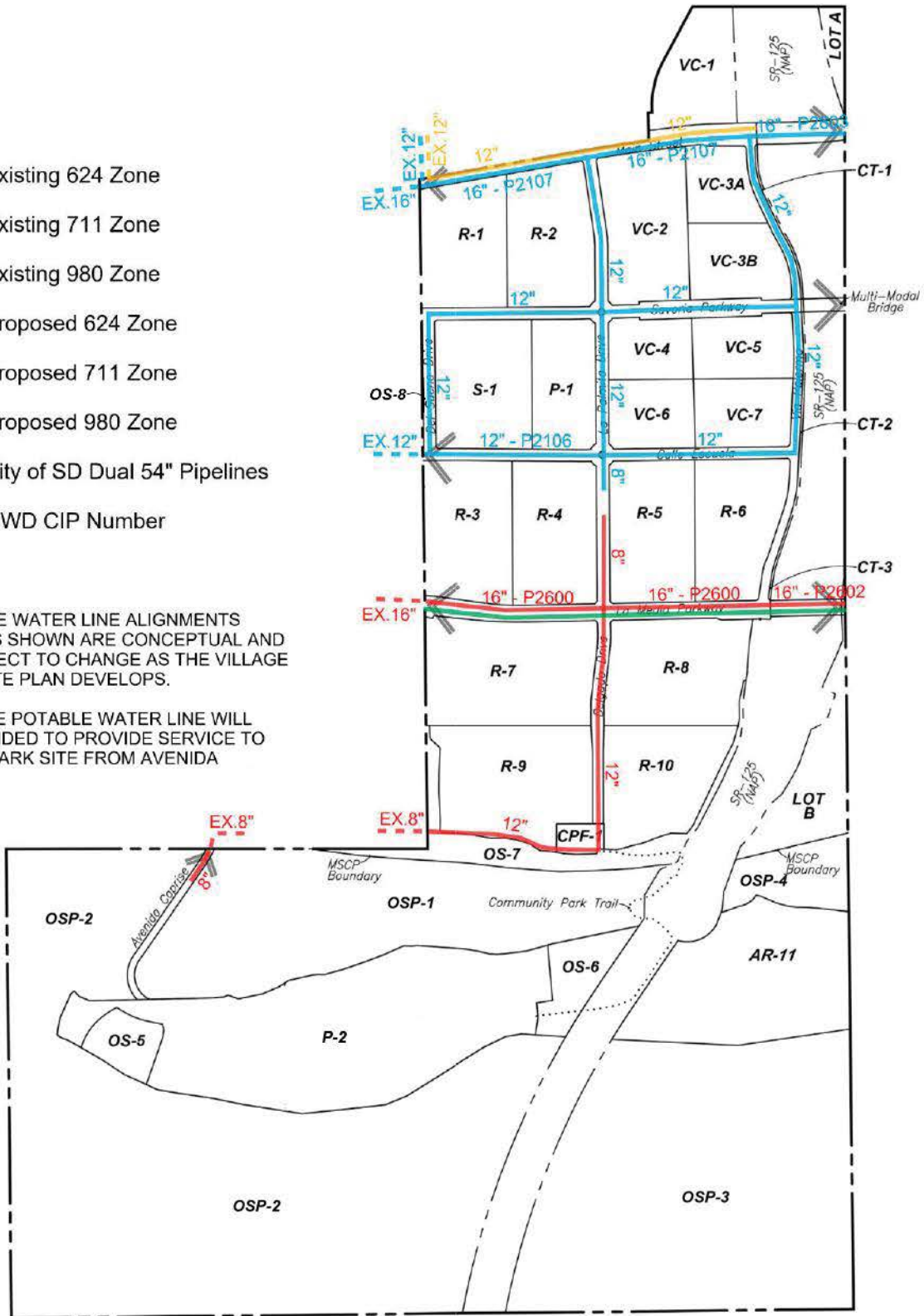
LEGEND

- Existing 624 Zone
- Existing 711 Zone
- Existing 980 Zone
- Proposed 624 Zone
- Proposed 711 Zone
- Proposed 980 Zone
- City of SD Dual 54" Pipelines

P2107 OWD CIP Number

NOTES:

1. BACKBONE WATER LINE ALIGNMENTS AND SIZES SHOWN ARE CONCEPTUAL AND ARE SUBJECT TO CHANGE AS THE VILLAGE 8 EAST SITE PLAN DEVELOPS.
2. A PRIVATE POTABLE WATER LINE WILL BE EXTENDED TO PROVIDE SERVICE TO THE P-2 PARK SITE FROM AVENIDA CAPRISE.



Site Utilization Plan

0 500 1000



VILLAGE 8 EAST
PRELIMINARY POTABLE WATER PLAN
11/9/2023

ATTACHMENT 3

**VILLAGE 8 EAST
PRELIMINARY RECYCLED WATER PLAN**

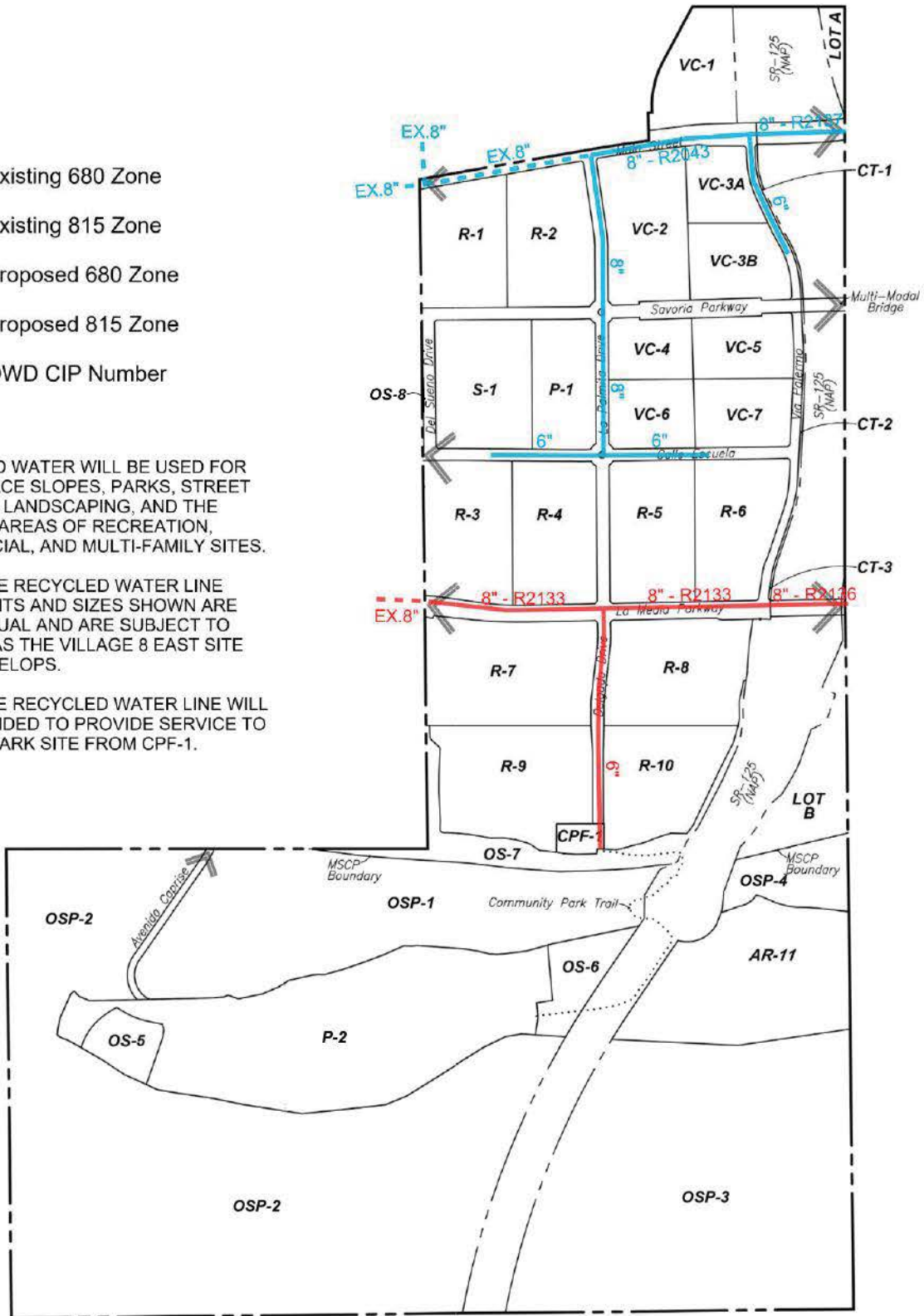
LEGEND

- Existing 680 Zone
- Existing 815 Zone
- Proposed 680 Zone
- Proposed 815 Zone

R2043 OWD CIP Number

NOTES:

1. RECYCLED WATER WILL BE USED FOR OPEN SPACE SLOPES, PARKS, STREET PARKWAY LANDSCAPING, AND THE COMMON AREAS OF RECREATION, COMMERCIAL, AND MULTI-FAMILY SITES.
2. BACKBONE RECYCLED WATER LINE ALIGNMENTS AND SIZES SHOWN ARE CONCEPTUAL AND ARE SUBJECT TO CHANGE AS THE VILLAGE 8 EAST SITE PLAN DEVELOPS.
3. A PRIVATE RECYCLED WATER LINE WILL BE EXTENDED TO PROVIDE SERVICE TO THE P-2 PARK SITE FROM CPF-1.



Site Utilization Plan 0 500 1000

VILLAGE 8 EAST
PRELIMINARY RECYCLED WATER PLAN
11/9/2023

OTAY RANCH VILLAGE 8 EAST

Non-Renewable Energy Conservation Plan

April 2024

Adopted on December 2, 2014
By Resolution No. 2014-235

Amended _____
By Resolution No. _____

Prepared for:

HomeFed Otay Land II, LLC
1903 Wright Place, Suite 220
Carlsbad, CA 92008

Prepared by



Prepared by

WHA, Inc.

680 Newport Center Drive, Suite 300

Newport Beach, CA 92660

(949)-250-0607

Contact: Julia Malisos

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I. Introduction

The Otay Ranch General Development Plan (GDP) requires the preparation of a Non-Renewable Energy Conservation Plan (Plan) that identifies feasible methods to reduce the consumption of non-renewable energy resources. Categories identified in this Plan where reductions may occur include but are not limited to: Transportation, Building Design & Use, Lighting, Recycling, and Land Use.

The Chula Vista region's current reliance on fossil fuels makes up the majority of non-renewable energy consumption. Fossil fuels are directly consumed in the form of gasoline, diesel fuel and natural gas and indirectly as electricity generated from these fuels. The goals, objectives and policies of the GDP require that any new project identify a plan that assists in a long-range strategy that will increase the conservation of and decrease the consumption of non-renewable energy resources.

The Proposed Otay Ranch Village 8 East project includes a Village Core area that would accommodate a mix of uses including multi-family residential and retail/commercial uses along with an elementary school site and a centrally located 7.3-acre neighborhood park. A future multi-modal bridge, planned to accommodate Neighborhood Electric Vehicles (NEV), bicycles and pedestrians is also planned in the Village Core linking Village 8 East and future Village 9.

The proposed project would also include 20,000 square feet of commercial/retail uses and 1,348 multi-family homes distributed across eight Village Core parcels. Other residential land uses include 1,664 multi-family residential units in 10 parcels designated Medium-High Residential. The elementary school site has an underlying "High" residential land use designation that could accommodate 264 multi-family units if the site is not utilized as a school site. The project also includes an alternative elementary school site/neighborhood park site configuration which would increase the size of the elementary school site and correspondingly reduce the neighborhood park site. This alternative configuration would be implemented based on the needs of the Chula Vista Elementary School District.

Additionally, the project provides 253.6 acres of Preserve Open Space, 16.4 acres¹ of manufactured slopes/basins and the 22.6-acre active recreation site (AR-11) located east of State Route (SR) 125. Approximately 15.3 acres comprising perimeter slope areas are included in the gross acres of development parcels. The Village 8 East Final Map(s) will include open space easements over perimeter slope areas based on final engineering designs. The 43.3-acre² (gross) Otay Ranch Community Park South is located south of Village 8 East.

¹ A portion of the Edge Trail and associated overlook features (approximately 1.76 acres) are included within the 8.2-acre OS-7 parcel. The Edge Trail area shall be secured with a public access easement and the 1.76 acres shall satisfy a portion of the Village 8 East park obligation. The 1.76-acre Edge Trail area is not counted toward meeting the Village 8 East open space requirement.

² If the P-2 Community Park / OS-6 Alternative configuration depicted on the Village 8 East Tentative Map is implemented, then the park acreage would be increased to 47.4 acres (gross) and manufactured open space/basins would be reduced by 4.1 acres (gross).

Summary of proposed land use changes to the previously approved project consist of the following:

- 3,276 multi-family units (from 943 single family and 2,333 multi-family units)
- 20,000 SF of commercial/retail uses in a mixed use setting (no change)
- 7.3 acre neighborhood park (no change)³
- 11.3-acre elementary school site (from a 10.8 acre school site)⁴
- 253.6 acres of Preserve Open Space (OSP) (no change)
- 22.6 acres of Active Recreation (AR) (no change)

The project applicant proposes to amend the Village 8 East land use plan to reflect current market conditions and housing needs, and to ensure the community relates more closely to the adjacent Village 8 West community and future Village 9 and University Innovation District planned east of SR 125 and accommodates the SR 125 couplet interchange design between Main Street and Otay Valley Road.

The proposed mix of uses in a higher density environment enables more pedestrian activity rather than car trips. The 2022 CalGreen Code requires energy conservation methods that will reinforce Chula Vista's desire for sustainable development and living.

³ if the alternative configuration is implemented, the S-1 site would be 12.0 acres (net) and the P-1 park site would be 4.6 acres (net).

⁴ If the alternative configuration is implemented, the S-1 site would be 12.0 acres (net) and the P-1 park site would be 4.6 acres (net).

II. Non-Renewable Energy Conservation Plan

Opportunities for energy conservation in Village 8 East are characterized by the following:

A. Transportation

Transportation design features that encourage energy conservation in Village 8 East include:

- ***Reduced Vehicle-trip Miles:***

On the regional level, Village 8 East is designed to accommodate transit service. New transit stops are proposed at the intersection of Main Street and La Palmita Drive.

The internal circulation plan encourages pedestrian activity and bike access by way of “complete” streets as defined within the Section Planning Area (SPA) which includes the Village Pathway, an off-street 10 to 12-foot wide paved path for bicycles and pedestrians. All streets include some form of sidewalk or Promenade Trail to create a fully connected pedestrian network. Main Street includes an off-street 5.5-foot-wide cycle track adjacent to the Chula Vista Regional Trail, and La Media Parkway includes off-street cycle tracks as part of the network. This bike network connects to the Village Pathway in Village 8 West and will cross State Route (SR) 125, linking to Village 9.

Additional measures to promote alternative transportation or reduce traffic congestion include uses such as open space and an elementary school within walking distance to the majority of homes, design features that encourage walking and minimize conflicts between cars and pedestrians, and appropriately scaled architecture and landscape aesthetics that are visually engaging from the sidewalk.

As part of the 2014 FEIR, the Otay Ranch Village Eight East project was approved by the City of Chula Vista City Council in December 2014 and incorporated into the Chula Vista General Plan and the Otay Ranch General Development Plan. The current project would include one minor modification (0.22 acres) to the development area analyzed in the University Villages Comprehensive SPA Plan Amendment FEIR (EIR-13-01; SCH No. 2013071077; City of Chula Vista 2014). The minor change is related to the realignment of Otay Valley Road (La Media Parkway). Proposed Village 8 East land use changes (refer to Section 1 of this document for description) would result in a decrease in trip generation and traffic impacts as compared to the 2014 approved project and would not substantially change trip distribution patterns (Chen Ryan 2023). Due to the elimination of single family units and increase in multi-family units in the Proposed Project, the overall trips calculated for the 2023 proposed project are 4,000 less than the 2014 Traffic Analysis (Chen Ryan TIA 2023).

- ***Alternative Travel Modes***

The GDP describes the automobile oriented improvements as only one component of an integrated mobility system, which includes bicycles, low speed electric vehicles, pedestrian trails and public transit systems. For this reason, all circulation streets in and around Village 8 East have been designed to minimize steep gradients wherever possible. The village has

trails and sidewalks throughout, providing connectivity and access within the village and outside of the village using means other than an automobile.

Furthermore, any residential unit with a private garage will include Electric Vehicle (EV) - Capable infrastructure enabling electric vehicle charging. Common area parking will also include charging stations as required by Code. Attached residential projects (e.g., multi-family) of more than 20 units built after January 1, 2023 will comply with the 2022 California Green Building Code Title 24, Part 11 (CalGreen) code, at a minimum, which includes various requirements from “EV Ready” to installed EV charging stations.

Neighborhood electric vehicles (NEVs) provide a clean alternative vehicular mode of transportation, ideal for shorter trips. The NEV network consists of internal low-speed streets within Village 8 East. NEVs are permitted on all public streets with a posted speed limit of 35 miles per hour or less. The circulation system has been intentionally designed to provide an internally connected system of low-speed streets that allow NEVs to travel between various destinations within Village 8 East. Calle Escuela also provides a connection for NEVs to Village 8 West and the future Multi-Modal Bridge provides a future connection to Village 9 across SR-125. NEVs are not permitted on sidewalks, trails or other pedestrian-only paths.

- ***Increase Use of Transit***

Village 8 East proposes higher density homes that are close to transit and pedestrian/bicycle trails. Enabling safe walking and biking environments as well as convenient access to a planned transit stop encourages transit use. Village 8 East enables non-vehicular travel through land use planning and circulation design.

- ***Roadway Pavement Widths and Street Trees***

Otay Ranch street sections are narrower than typical standards. Narrow streets and a reduction in asphalt pavement reduce the “urban heat-island effect” by limiting the amount of reflective surfaces and reducing the demand for air conditioning. Street trees provide shade which further reduces heat-gain. Street and parking lot tree planting shall comply with the City of Chula Vista Shade Tree Policy Number 576-19 (May 22, 2012). The objective is to maximize shade cover to the greatest extent possible. Shade trees are provided for all new parking lots that will achieve 50% canopy cover over the parking stall areas five to 15 years after planting. Shade street trees are also designed into the village landscape plan reducing pavement temperatures in the hotter months.

The design of all public streets includes sidewalks and landscaping to promote pedestrian circulation throughout the SPA Plan Area. Private street configurations are to be determined during design review and refined during final engineering.

B. Building Design & Use

Building design and use features that encourage energy conservation in Village 8 East include:

- ***Housing Efficiency***

Village 8 East proposes higher densities that typically require attached housing typologies. Such attached homes use less energy for heating and cooling than larger, single-family

detached homes. The SPA Amendment purpose is to incorporate higher densities into Village 8 East including Medium-High Residential, High Residential and Village Core. Allowed densities would range from 11-45 dwelling units per acre.

- ***Solar Orientation***

Passive solar design including the orientation of buildings can take advantage of the sun's warmth in winter to assist with heating as well as minimize heat gain in summer months to assist with cooling. Village 8 East buildings will accommodate 2022 Title 24 standards (at a minimum) which encourage effective solar orientation for useful photovoltaic systems; see also Use of Solar Energy Systems, below.

- ***Building Efficiency***

Buildings in Village 8 East will be required to comply with Title 24, Part 6 of the California Building Standards Code, which regulates energy uses including building envelope, space heating and cooling, hot water heating, and ventilation. The energy code allows builders to use either a performance standard or a prescriptive method; either way, energy efficiency requirements shall be met.

The City of Chula Vista has adopted Green Building Standards (Chula Vista Municipal Code (CVMC) Chapter 15.12) and an Energy Efficiency Ordinance (CVMC Section 15.26) that require compliance with the applicable Title 24 Part 11 and Part 6, respectively.

- ***Water Conservation***

A Water Conservation Plan was prepared as a component of the approved SPA Plan (2014) in conformance with the requirements of the Otay Ranch GDP and the Chula Vista Growth Management Ordinance.

As described in the Water Conservation Plan prepared by Dexter Wilson Engineering, certain landscaped areas are required to utilize recycled water where available based on current Otay Water District (OWD) policies regarding new subdivision development. Consistent with the Otay Ranch GDP, it is anticipated that recycled water will irrigate landscape areas identified in the Water Conservation Plan.

The potential sources and availability for recycled water use are described in more detail in the Water Conservation Plan. Potential demand within the SPA Plan area will be estimated in a subsequent Subarea Water Master Plan to be approved by the OWD prior to project implementation. Recycled water requirements for the project will be coordinated by OWD and the City. Phased construction of recycled water facilities, based on an OWD-approved master plan, will be incorporated into the project Public Facilities Financing Plan (PFFP) and/or subdivision map conditions of approval to assure timely provision of required facilities.

Indoor Water Conservation

- Plumbing fixtures and fixture fittings shall comply with the current California Energy Code.

Outdoor Water Use

- Outdoor water use shall comply with the requirements of the applicable California Green Building Standards Code (2022 or future).
- Controllers for landscaping provided by the builder and installed at the time of final inspection shall comply with the following:
 - Controllers shall be weather- or soil moisture-based controllers that automatically adjust irrigation in response to changes in plants' needs as weather conditions change.
 - Weather-based controllers without integral rain sensors or communication systems that account for local rainfall shall have a separate wired or wireless rain sensor which connects or communicates with the controller(s). Soil moisture-based controllers are not required to have rain sensor input.
- ***Use Improved Construction Standards***

Residential and commercial construction within Village 8 East is required to adhere to the Energy Efficiency Standards of the City of Chula Vista Municipal Code Sections 15.26, 20.04 and the Building and Energy Efficiency Standards in Title 24 Part 6 of the California Code of Building Regulations.
- ***Use of Solar Energy Systems***

Village 8 East will comply with the City of Chula Vista's "Solar Ready" Ordinance which requires solar hot water pre-plumbing (CVMC Section 20.04.030) and photovoltaic pre-wiring requirements (CVMC 20.04.040) as well as the applicable state code requirements.

Chula Vista Municipal Code Section 20.04.040 requires all new residential units to include plumbing specifically designed to the later installation of a system that utilizes solar photovoltaic or other renewable energy resource as a means of generating electricity.

However, all projects approved under the Village 8 East SPA Amendment will be required to meet the California Energy Code current at the time of permit review. Therefore, photovoltaics may be required to be installed rather than pre-wired.

C. Lighting

Energy efficient lighting will be used to light streets, parks and other public spaces. All residential and commercial use lighting would be in compliance with current California Energy Code requirements at the time of permit review.

- ***Energy Efficient Public Lighting***

Standards for Village 8 East will comply with Title 24, Part 6 requiring the use of energy efficient lighting in commercial public areas including plazas and parks. The proposed project will also comply with Title 24, Part 11 regarding light pollution reduction.

The City of Chula Vista Public Works Department has installed LED lights in the City that use 1/3 the electricity without reducing lighting levels and impacting public safety. The lighting system will continue to be used in Village 8 East.

D. Recycling

Residential and Commercial Recycling programs in Village 8 East include:

- Chula Vista Municipal Code Sections 8.23-25 require all commercial and industrial establishments that recycle with a third-party recycler to submit recycling tonnage documentation on an annual basis to the City's conservation coordinator, due on or before January 31st, for the previous year. Those establishments recycling with a franchised hauler do not need to report because the hauler does the reporting to the City. This requirement promotes recycling of materials.

The City of Chula Vista's Recycling and Solid Waste Planning Manual, adopted by the Chula Vista City Council, provides information for adequate space allocated to recycling and solid waste within individual projects, based upon the type of project and collection service needed.

Additionally, the City of Chula Vista encourages the use of compost materials to be incorporated into the soil of all new construction projects to improve soil health, water retention, less water runoff and filtration of water run-off prior to entering storm drains and creeks draining to San Diego Bay. The yard trimmings collected in Chula Vista are composted at the Otay Landfill and may be available for purchase.

- ***New Construction Waste Reduction***

CalGreen requires that a minimum of 65% all new construction waste generated at a site be diverted to recycle or salvage. Additionally, the State has set per capita disposal rates of 5.3 pounds per person per day for the City of Chula Vista. To maintain these targets the following programs must be implemented per Chula Vista Municipal Code Sections 8.23, Solid Waste and Recycling Contract or Franchise; 8.24, Solid Waste and Litter; 8.25, Recycling; and 19.58.340, Trash Enclosures.

All new construction and demolition projects in the City are required to divert from landfill disposal 100% of inert waste to include asphalt, concrete, bricks, tile, trees, stumps, rocks and associated vegetation and soils resulting from land clearing; and 50% of all remaining waste generated. Contractors will be required to put up a performance deposit and prepare a Waste Management Report form to ensure that all materials are responsibly handled. Upon verification that the diversion goals have been met the performance deposit will be refunded. CVMC 8.25.095.

E. Land Use

Land use patterns and project features that conserve non-renewable energy resources and reduce reliance on the automobile within Village 8 East include:

- ***Reduce the Reliance on the Automobile***

The vision for Village 8 East is to develop a community with interconnected uses and varying residential densities. The mix of proposed residential, commercial and community

uses are intended to provide a complementary, mixed-use environment with a focus on promoting a walkable and bikeable community that reduces automobile trips.

The Village proposes sidewalks and trails throughout as well as transit stops along Main Street. The various opportunities encourage walking or biking rather than driving. The trails also connect to the larger regional system as does the transit, thus enabling transit use beyond Village 8 East.

Per the Otay Ranch Village 8 East Project – Air Quality and Greenhouse Gas Update (Dudek, 2023), the proposed Village 8 East SPA Amendment would reduce daily vehicle trips generated by approximately 5% as compared to the 2014 approved project.

- ***Regional Mass Transit Facilities***

Otay Ranch and Village 8 East are designed and ready to accommodate public transportation and alternative travel modes to reduce energy consumption. Village 8 East is designed with transit stops to accommodate connection to the larger regional transit system. In conformance with applicable General Plan goals and policies, public transportation is an integral part of Otay Ranch. The Village 8 East plan has responded by providing such public transit facilities.

In conclusion, this Non-Renewable Energy Conservation Plan supports the goals, objectives, and policies of the GDP by providing methods to reduce energy consumption and increase use of renewable energy in the future Otay Ranch Village 8 East.

OTAY RANCH VILLAGE 8 EAST

Preserve Edge Plan

April 2024

PREPARED FOR:
HOMEFED OTAY LAND II, LLC
1903 Wright Place, Suite 220
Carlsbad, CA 92008

Adopted on December 2, 2014
By Resolution No. 2014-235

Amended XX
By Resolution No. XX



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I. INTRODUCTION

The purpose of the Preserve Edge Plan is to identify allowable uses within the 100-foot Preserve Edge located within the development area adjacent to the Otay Ranch Preserve. In accordance with Policy 7.2 of the Otay Ranch Resource Management Plan, a Preserve Edge Plan is to be developed for all SPA Plans that contain areas adjacent to the Preserve. The Preserve Edge is a 100-foot-wide strip of land within the development area adjacent to the Preserve. To provide further guidance relating to the content of the Preserve Edge Plan, the Chula Vista MSCP Subarea Plan contains policies related to land use adjacency. Otay Ranch GDP, RMP and MSCP policies are summarized and evaluated below. Areas subject to the Preserve Edge Plan requirements and facilities proposed within the Preserve are depicted on Exhibit 1 and further described below.

Legend

-  Brush Management Zone
-  100' Preserve Edge
-  Facilities within Preserve
-  Chula Vista Greenbelt Trail
-  6" Canyon Subdrain/Headwall
-  8" Canyon Subdrain/Headwall

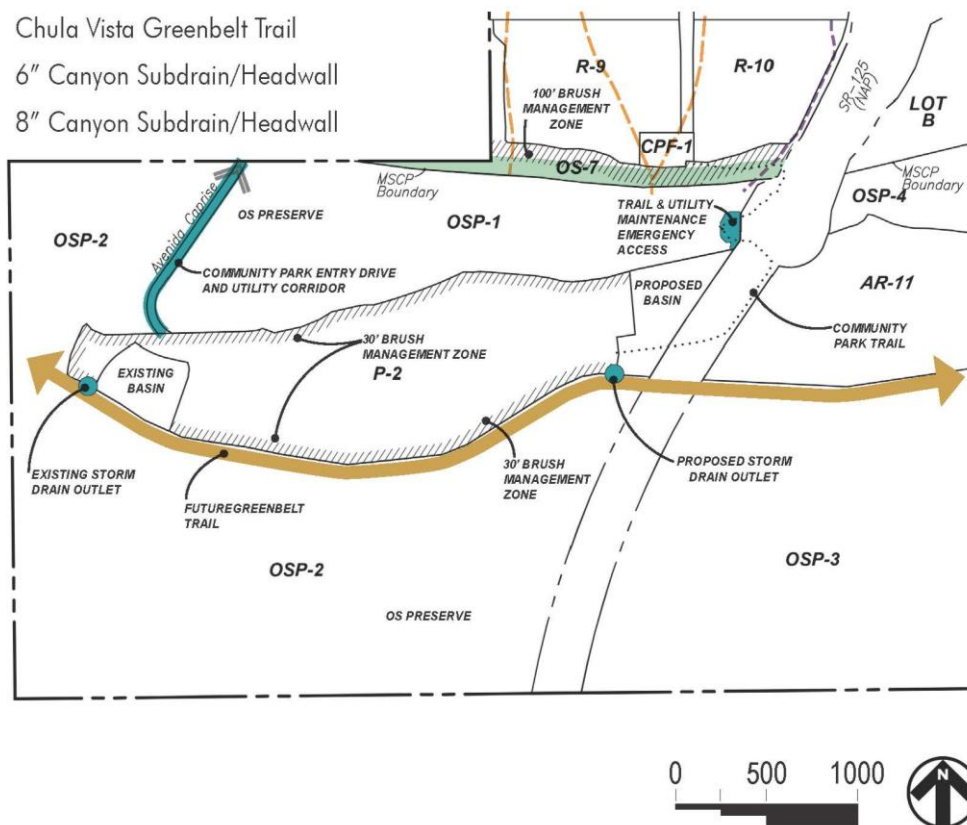


Exhibit 1: Areas Subject to the Preserve Edge Plan and Facilities Proposed within the Preserve

II. FACILITIES AND IMPROVEMENTS PROPOSED WITHIN THE PRESERVE

The facilities described below and depicted on Exhibit 1 are proposed within the MSCP Preserve and are not subject to this Preserve Edge Plan, but rather are discussed for context purposes only. Per the MSCP Subarea Plan, certain infrastructure and roads planned in conjunction with development will be allowed to be constructed, operated and maintained within the Preserve. The Subarea Plan anticipated these “Planned” and “Future” facilities and requires compliance with the siting criteria identified in Section 6.3.3.4 of the Subarea Plan. The Project’s Biological Report provides the siting criteria analysis. Facilities proposed within the Preserve include:

A. Utilities

The Village 8 East SPA Plan (“Project”) includes sewer connections to the existing Salt Creek Interceptor located in the Otay River Valley south of Village 8 East, Potable and Recycled Water Facilities and Storm Drain Facilities necessary to serve Village 8 East and the Active Recreation Area (AR-11) located east of SR-125.

Two storm drain outlets are proposed to serve Villages 8 East and the Community Park. Both storm drain facilities outlet directly to the Otay River. The storm drain outlets are located south of the Otay Ranch Community Park South (P-2 Community Park). These facilities are partially within the area designated “Active Recreation” in the MSCP Subarea Plan and partially within the MSCP Preserve. With development of Village 8 West, located west of Village 8 East, a water quality basin and storm drain outlet were constructed to serve flows from a portion of the Community Park and the adjacent Village 8 West development area. These flows are conveyed through the existing western basin.

The storm drain outlet proposed at the eastern portion of the P-2 Community Park is within the MSCP Preserve and is comprised of a storm drain pipe, headwall/dissipation and rip rap. Storm drain flows from Village 8 East are conveyed to the Otay River Valley via the eastern storm drain outlet.

In addition to the storm drain outlets serving Village 8 East, an existing storm drain facility within the SR-125 right of way conveys flows from existing SR-125 improvements. This facility will be extended with a headwall/dissipation and rip rap outlet structure to the Otay River. This facility is located entirely within the area designated “Active Recreation” in the MSCP Subarea Plan.

The Community Park Trail/Maintenance and Emergency Access Road located west of the SR-125 ROW includes storm drain, recycled water and sewer facilities. The grading associated with a portion of this facility impacts the MSCP Preserve.

A sewer line and potable water line is proposed within the Community Park Entry Drive right-of-way. This facility is sized to serve Village 8 West and includes a sewer connection to serve the Community Park. A potable water line is also

proposed within the Community Park Entry Drive right-of-way sized to serve the Community Park. The Community Park Entry Drive is planned to cross the MSCP Preserve between Village 8 West and the Otay Ranch Community Park South (P-2). (See Exhibits 3 and 4)

B. Canyon Subdrains

A series of canyon subdrains are proposed within the Village 8 East development area and are proposed to outlet south of the residential parcels, within the MSCP Preserve. Two 8" and one 6" subdrains are proposed. See Exhibit 1 for the approximate locations of the subdrains. The subdrain outlets are comprised of a concrete headwall. The outlet pipes extend a maximum of 20' from the Preserve Boundary (See Exhibit 2). Additional details are provided in the Village 8 East Geotechnical Study prepared by GEOCON.

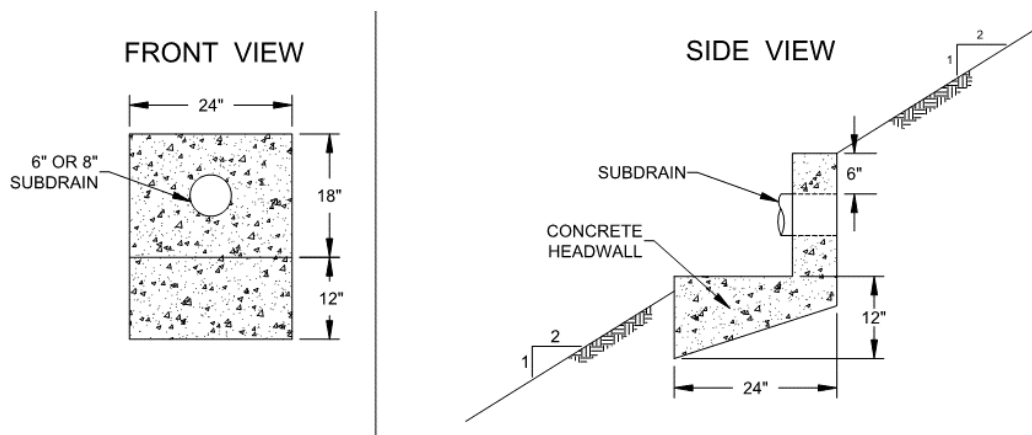


Exhibit 2: Typical Canyon Subdrain Detail

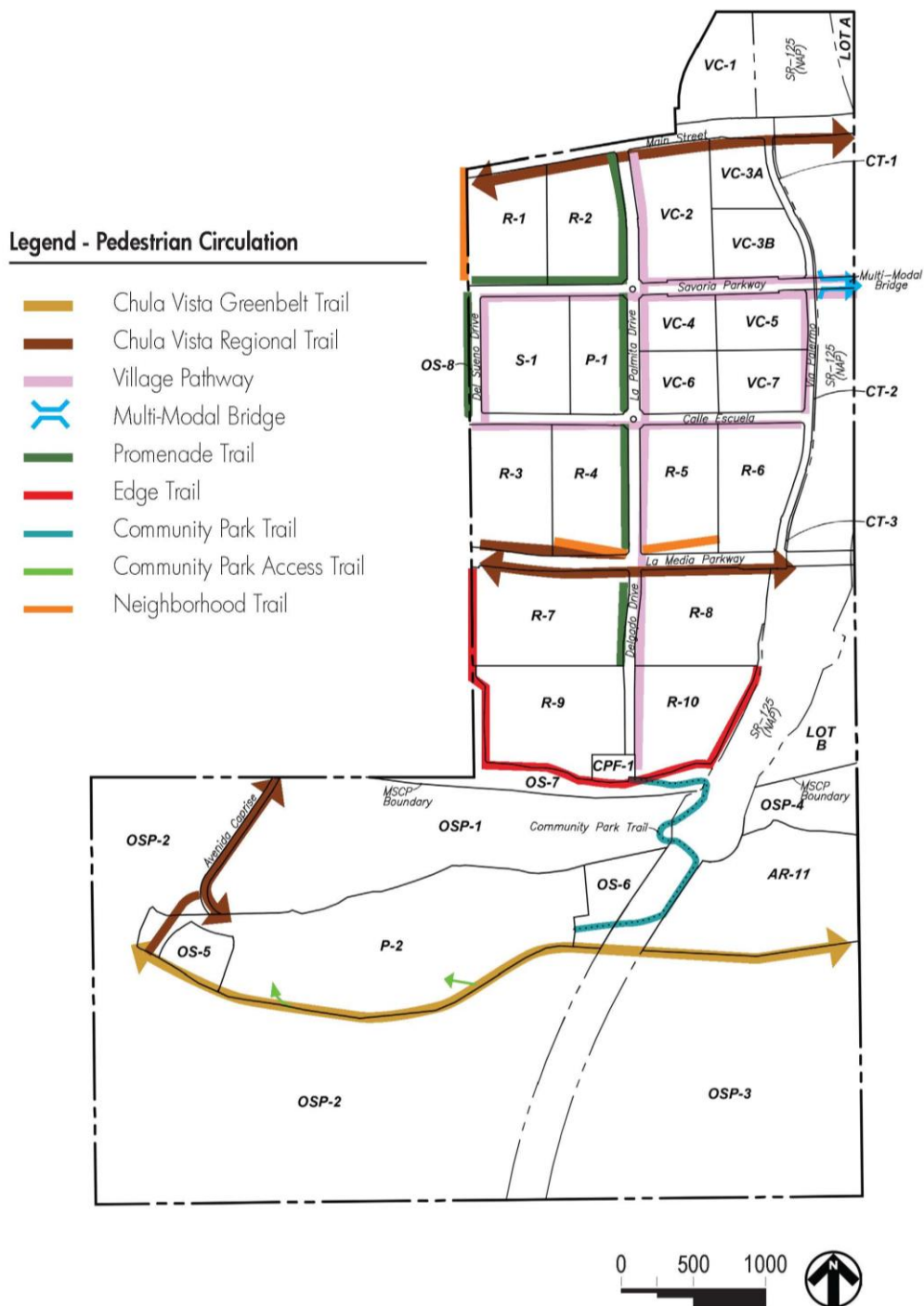
C. Access Facilities

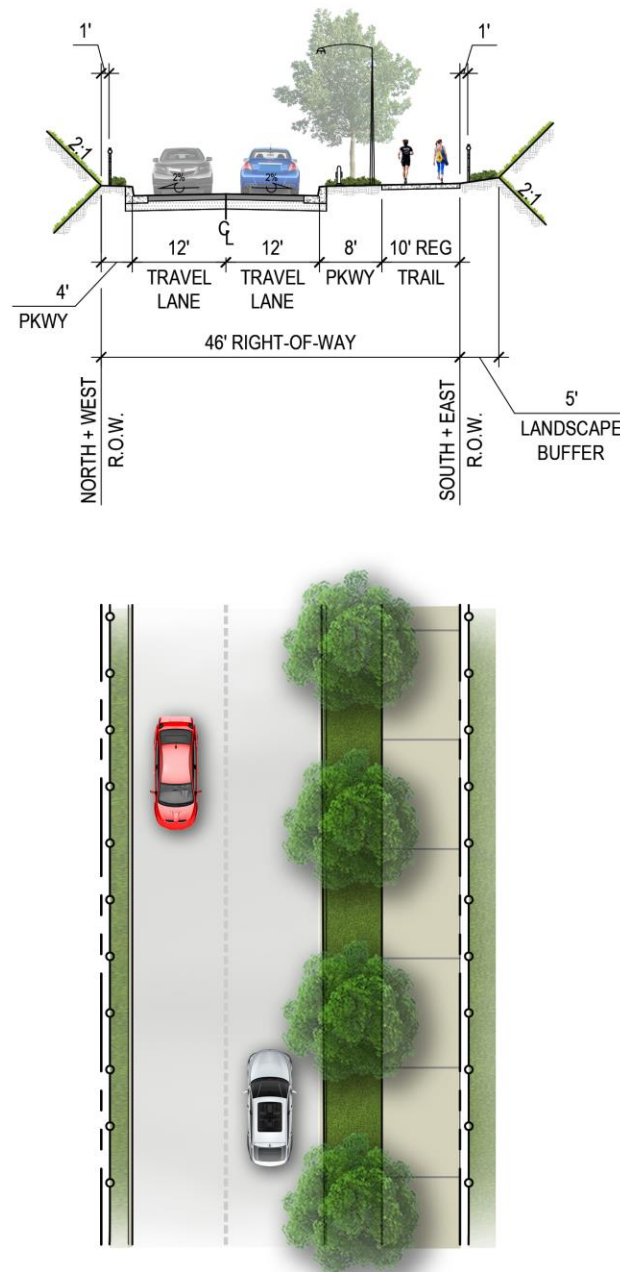
The Village 8 East SPA Plan includes development of a portion of the Active Recreation Area identified in the Otay Ranch GDP, Chula Vista MSCP Subarea Plan and the Otay Valley Regional Park Concept Plan (AR-11). The western portion of AR-11 has been designated as the Otay Ranch Community Park South (P-2) on the Village 8 East Site Utilization Plan. In order to provide vehicular, pedestrian, emergency, and maintenance access to this recreational area and proposed water quality basins, two access points are proposed. The Community Park Entry Drive is entirely within the Preserve, while a portion of the Community Park Trail is within the Preserve.

- Full public vehicular/pedestrian access to the Community Park is planned through adjacent Village 8 West via Avenida Caprise, continuing south through the Preserve (Community Park Entry Drive) and connecting to the Community Park along its northwestern edge. As discussed above, utilities

serving Village 8 West and the Community Park are co-located in the Community Park Entry Drive. This utility corridor has been graded and constructed as part of the Village 8 West project. The Community Park Entry Drive is comprised of two travel lanes, a landscaped parkway and a 10' wide Chula Vista Regional Trail on one side (See Exhibit 4). Post and rail fencing is proposed along the entire length of the Regional Trail. Utilities serving adjacent Village 8 West (storm drain and sewer) are included in the Community Park Entry Drive. Potable water service will be extended within the Community Park Entry Drive right-of-way from the point of connection in Village 8 West to the Community Park.

- The Chula Vista Regional Trail planned along the Community Entry Drive (Avenida Caprise) extends south of the P-2 Park entry. This segment crosses the MSCP Preserve to connect to the planned Chula Vista Greenbelt Trail. Fencing and signage will be incorporated into the trail design as required. (See Exhibit 3 and 7).
- Shared emergency/maintenance/pedestrian access to public storm drain, sewer and recycled water facilities, the Village 8 East basin and the Community Park is provided along the Community Park Trail located adjacent to and within the SR-125 ROW along the eastern end of the Community Park (See Exhibits 3 and 5). This facility is comprised of a 20-24' wide paved roadway. Post and rail fencing is provided along both sides. A small portion of this facility results in grading impacts within the Preserve (See Exhibit 1). In addition to providing access, utilities serving Village 8 East (storm drain and sewer) and the P-2 Community Park/AR-11 (recycled water) are co-located within the public utility and access easement. Public vehicular access is prohibited along the Community Park Trail, except for the portion connecting the P-2 Park and AR-11.
- The Chula Vista Greenbelt Trail/Otay Valley Regional Park (OVRP) Trail is co-located within the existing Salt Creek Sewer Easement on the north side of the Otay River Valley, south of the P-2 Community Park (See Exhibits 3 and 6). This trail is a Planned Facility in the MSCP Subarea Plan. Physical improvements associated with implementation of this trail (fencing and signage) would not create any impacts on the MSCP Preserve, as it is planned within a fully disturbed area. See the Biological Report for the MSCP adjacency analysis.

**Exhibit 3: Pedestrian Circulation Plan**



Note: The Community Park Entry Drive (Avenida Caprise) was included in the adopted Village 8 West SPA and Tentative Map as an off-site improvement. This illustrative representation is consistent with the Village 8 West approved design and is provided for reference only.

Exhibit 4: Community Park Entry Drive

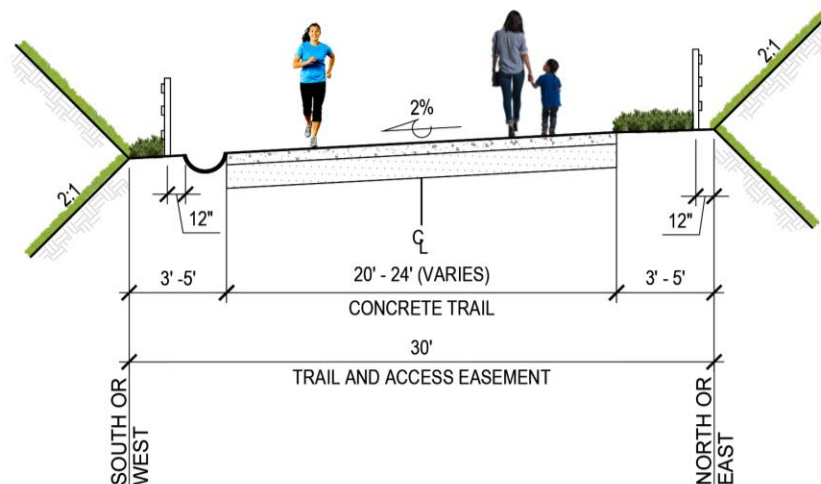


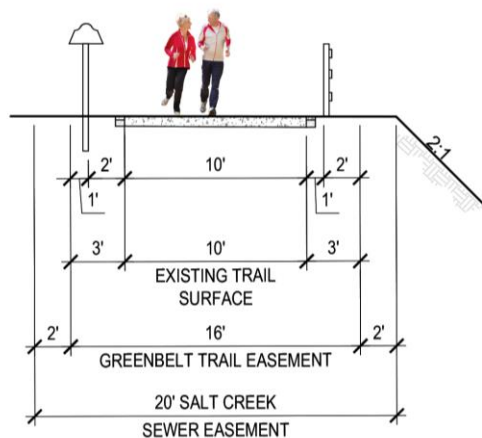
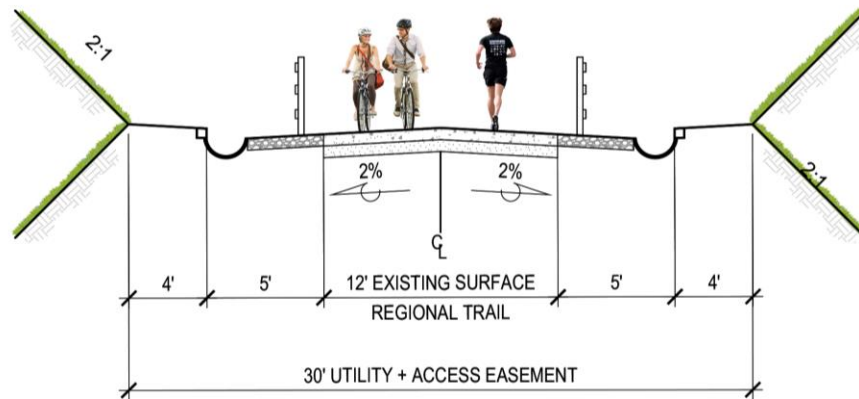
Exhibit 5: Community Park Trail


Exhibit 6: Chula Vista Greenbelt Trail



NOTE: * POST AND RAIL FENCE LOCATIONS
TO BE DETERMINED IN FIELD

Note: Grading and surface improvements within the 30' Utility & Access Easement were approved with the Village 8 West SPA, Tentative Map and Grading Plan as an off-site improvement. Implementation of the Regional Trail component within the utility corridor is limited to fencing, to be determined based on field conditions. This illustrative representation is consistent with the approved design and is provided for reference only.

Exhibit 7: Chula Vista Regional Trail

III. FACILITIES PROPOSED WITHIN THE 100-FOOT PRESERVE EDGE

Pursuant to the Otay Ranch Phase 2 Resource Management Plan:

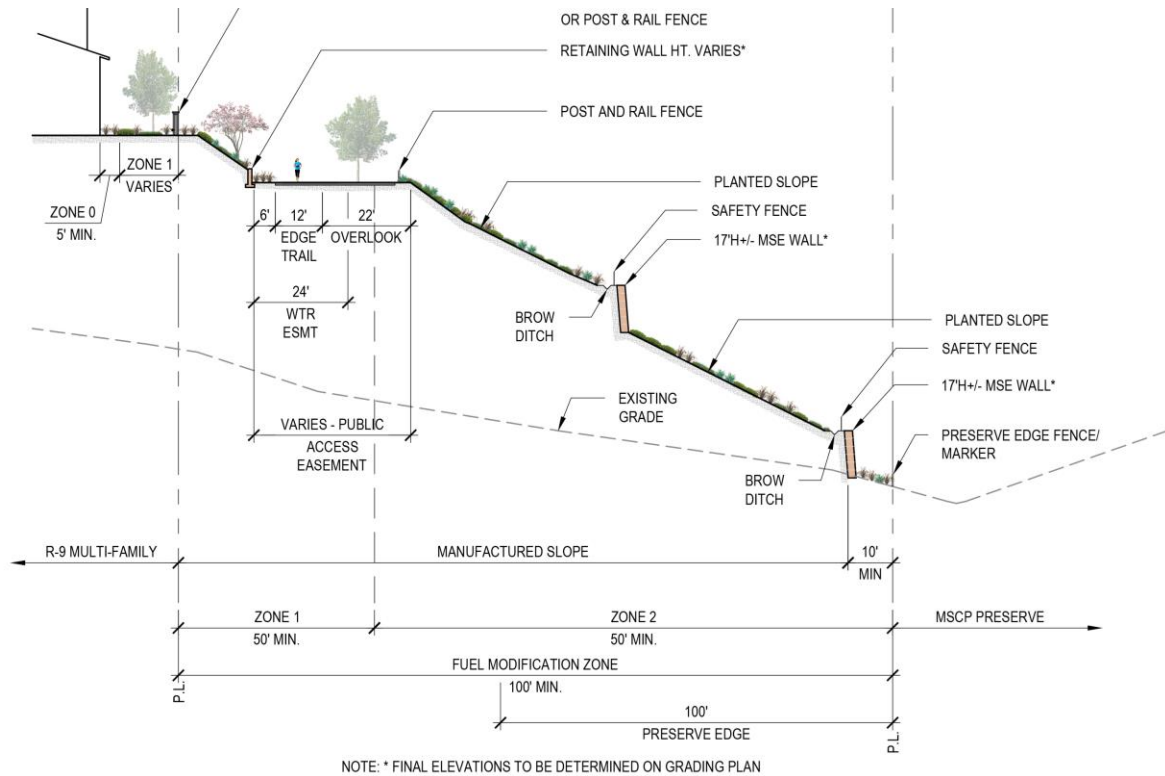
“Development within the 100-foot edge is restricted to uses that are allowed within the Preserve and the following uses:

1. Brush management in order to reduce fire fuel loads and reduce potential fire hazard [7.2].
2. Landscaping that is compatible with open space, as demonstrated by a Preserve Edge Plan [7.2]. No invasive plant species, such as those defined by the California Invasive Plant Council Invasive Plant Inventory, shall be included in the plant palette.
3. Fencing and walls that are built or landscaped in a way to minimize visual impacts to the Preserve and the OVRP. No structures other than fencing and walls shall be allowed [7.2].
4. Trails for passive recreational use. Trails should incorporate fencing or barriers and signage to reduce the likelihood of human intrusion into the Preserve.
5. Detention basins, brow ditches, storm drains, and other drainage features to protect the quality of the adjacent Preserve.”

Consistent with RMP requirements, the Proposed Project includes landscaping, brush management areas, retaining walls and trails, including post and rail fencing, within the Preserve Edge, as depicted on Exhibit 1 and described below. There are no structures proposed within the 100-foot Preserve Edge.

A. Retaining Walls

A series of retaining walls is proposed within the 100' Preserve Edge along the southern edge of Village 8 East, outside of the MSCP Preserve. The retaining wall system is broken into four wall sections ranging in height from $\pm 7'$ to $\pm 17.5'$. Wall heights and locations are conceptual, subject to final engineering. A 10' pedestrian only access and maintenance buffer area is provided between the base of the wall and the MSCP Preserve Boundary. A Preserve Edge Fence or Marker is provided at the Preserve Boundary. (See Exhibit 8)

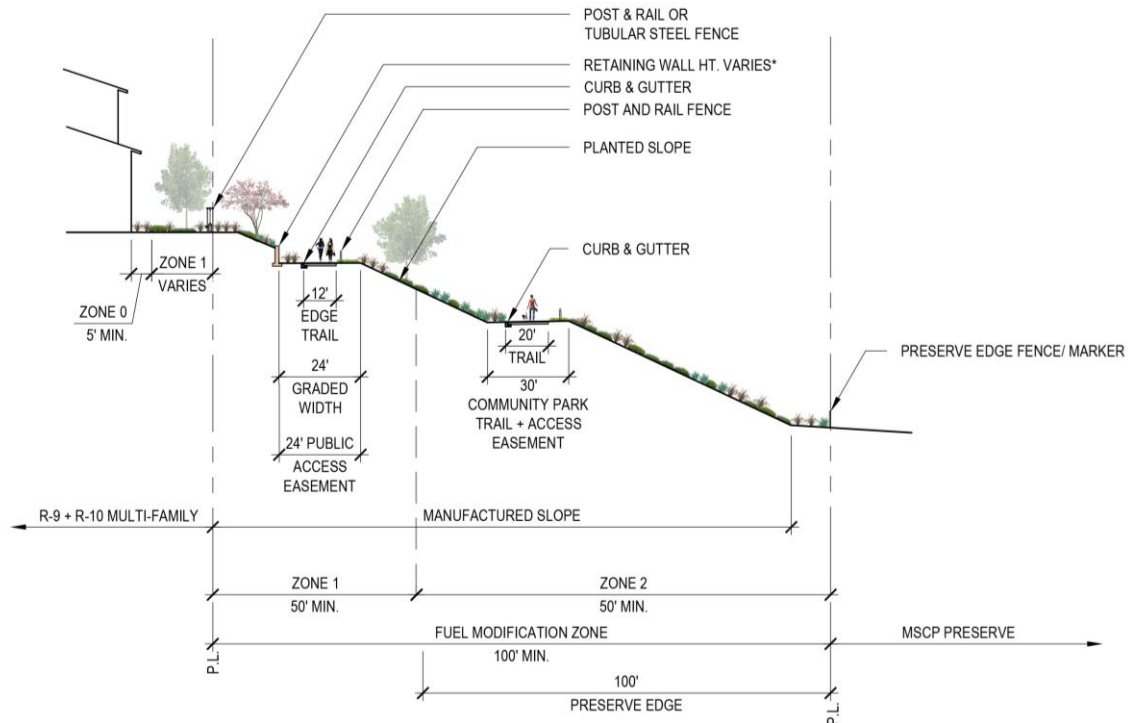


Note: The above exhibit is based on a conceptual plan. Final design to be determined during final engineering, including retaining wall location, height and setback.

Exhibit 8: Cross Section at R-9 Multi-Family

B. Trails

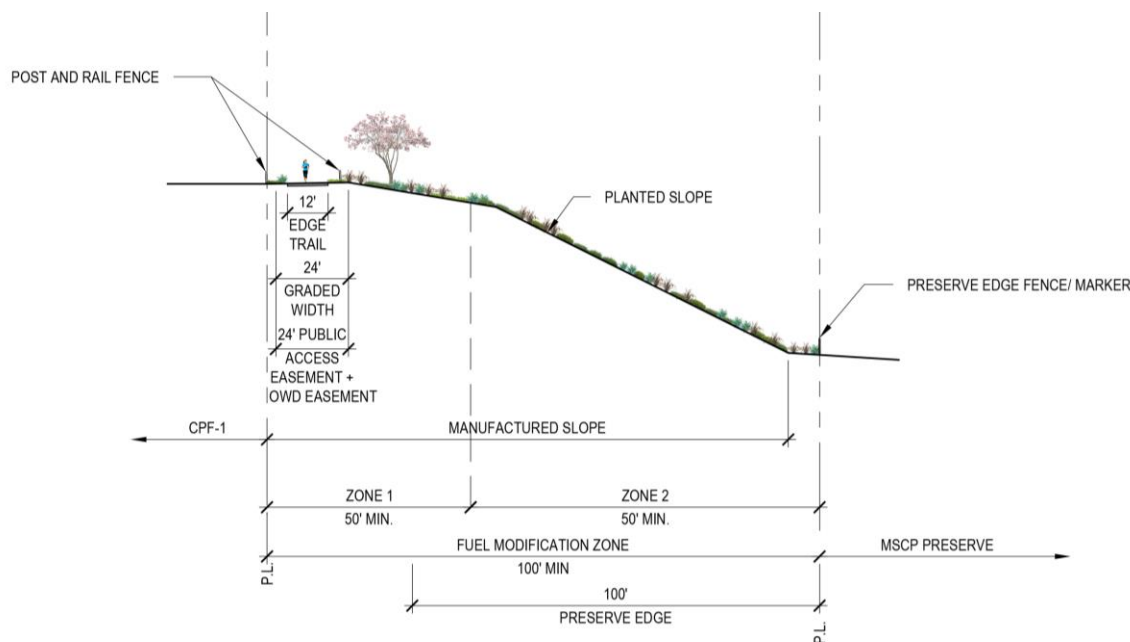
Village 8 East proposes a portion of the Community Park Trail within 100' Preserve Edge. The Community Park Trail provides emergency, pedestrian and maintenance access to a utility corridor co-located with the trail. Within the Village 8 East development area, the Community Park Trail connects to the CPF-1 site, planned as a private recreation facility overlooking the Otay River Valley. This trail segment provides a critical link between Village 8 East and the P-2 Community Park and the City of Chula Vista Greenbelt Trail system located in the Otay River Valley (See Exhibits 5 and 9). Post and rail fencing and signage will be incorporated into the trail design as required.



NOTE: * FINAL ELEVATIONS TO BE DETERMINED ON GRADING PLAN

Note: The above exhibit is based on a conceptual plan. Final design to be determined during final engineering.

Exhibit 9: Cross Section at R-9 & R-10 Multi-Family



Note: The above exhibit is based on a conceptual plan. Final design to be determined during final engineering.

Exhibit 10: Cross Section at CPF-1 Site

IV. COMPLIANCE WITH RMP/MSCP SUBAREA PLAN POLICIES

The following discussion provides a description of policies identified in the Chula Vista MSCP Subarea Plan, which were developed in consideration of the requirements of the RMP, as well as compliance measures to be carried out by the various components of the SPA Plan. The discussion is divided into edge effect issue areas identified in the Subarea Plan.

A. Drainage

MSCP Policy:

"All developed and paved areas must prevent the release of toxins, chemicals, petroleum products, exotic plant materials and other elements that might degrade or harm the natural environment or ecosystem processes within the Preserve. This can be accomplished using a variety of methods including natural detention basins, grass swales or mechanical trapping devices. These systems should be maintained approximately once a year, or as often as needed, to ensure proper functioning. Maintenance should include dredging out sediments if needed, removing exotic plant materials, and adding chemical- neutralizing compounds (e.g., clay compounds) when necessary and appropriate." (Page 7-25)

Compliance:

The *Village 8 East TM Drainage Study* (“Drainage Plan”) and *PDP – Stormwater Quality Management Plan* (“SWQMP”) prepared by Hunsaker and Associates assessed the existing and developed drainage and water quality conditions in the SPA Plan area. In conformance with the GDP and SPA requirements, the Drainage Plan provides the necessary hydrological studies, analysis and design solutions to provide appropriate urban runoff and water quality for the SPA Plan Area as described below and depicted on Exhibit 11, Water Quality Basin Plan.

Drainage

- All pre- development and post- development runoff from Village 8 East is within the Otay River Valley watershed.
- Runoff from the developed portion of Village 8 East and co-mingled flow from La Media Parkway (Village 8 West) will be routed via a storm drain system southerly. A cleanout with an internal diversion will be located at the downstream portion of the system to direct the low flow to a proposed detention base and volume based Modular Wetlands System located in the eastern portion of the P-2 Community Park to address water quality requirements, while the peak flows continue toward the discharge point at the Otay River. The detention basin and Modular Wetlands System outlets directly to the Otay River via internal storm drain systems. Energy dissipating measures such as D-41 headwalls or APWA energy dissipating impact basin (or alternative) along with riprap are proposed at each respective outlet.
- A biofiltration water quality basin is proposed at the southwestern corner of the P-2 Community Park to treat runoff from the park driveway and a portion of the park. The final basin design will occur during the park master planning process.
- Due to the impact of the Savage Dam at the Otay Reservoir, studies have determined that the development of the Village 8 East site will not increase the 100-year frequency peak flows in the Otay River. Therefore, no detention basins are required.

B. Village 8 East Water Quality

The development of the SPA Plan area will implement all necessary requirements for water quality as specified by the State and local agencies.

The development will meet the requirements of the City's Standard BMP Design Manual (BMPDM), the Jurisdictional Runoff Management Program and the Storm Water Management and Discharge Ordinance (as specified in the City of Chula Vista Development and Redevelopment Storm Water Management

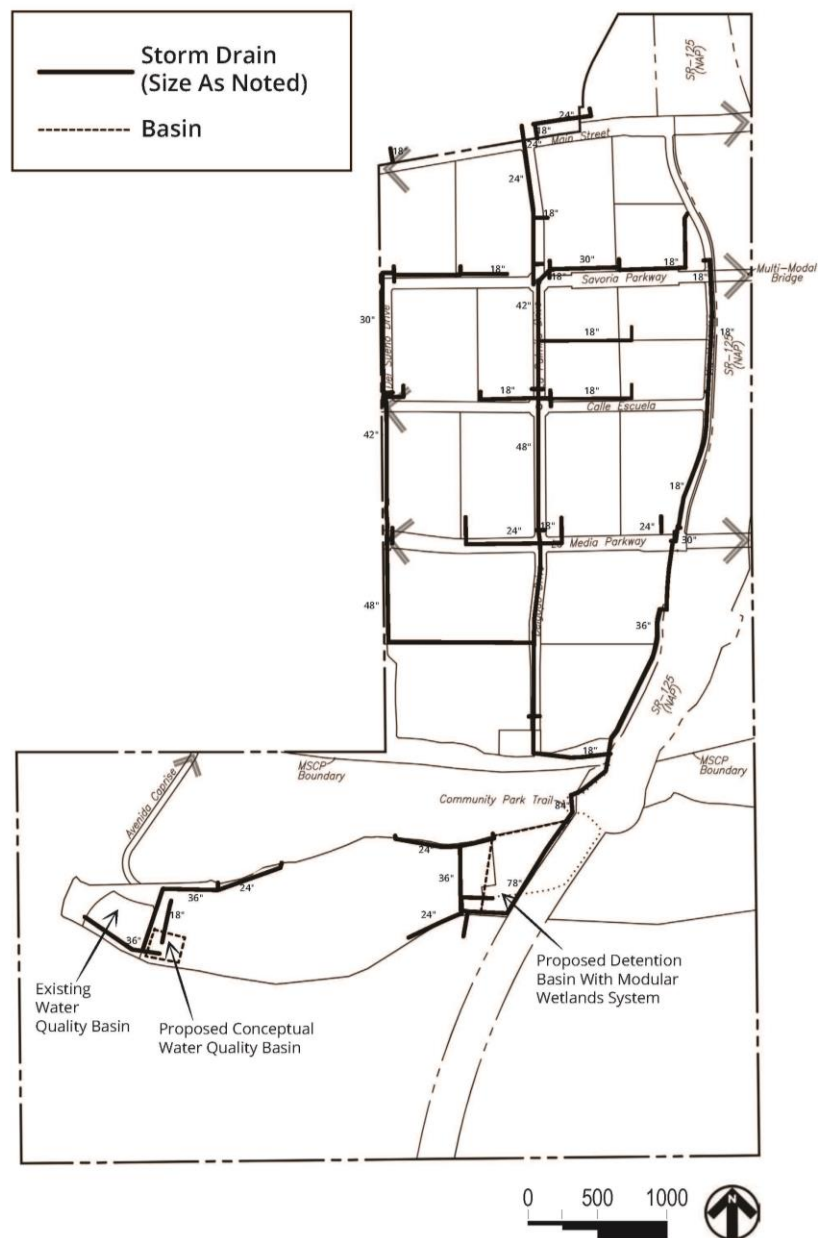
Standards/Requirements Manual).

The Otay River is a USGS blue line stream, which makes it a waterway of the United States under the Clean Water Act (CWA). All development in excess of five acres must incorporate urban runoff planning, which will be detailed at the Tentative Tract Map level. The conceptual grading and storm water control plan for the SPA Plan area provides for water quality control facilities to ensure protection for the Otay River.

According to the San Diego Bay Watershed Management Area Analysis, the Otay River is categorized as an exempt facility from hydromodification management requirements. Since all runoff from the developed area within the Village 8 East SPA is proposed to drain directly to the Otay River, hydromodification management measures are not required for this development.

The Biological Resources Technical Report further discusses the potential for erosion/scouring, habitat removal, habitat conversion, flooding and washing out existing/future facilities and the cumulative effects as a result of increased discharge volumes and the rate of discharge into the Otay River.

In addition to the permanent drainage facilities, temporary desiltation basins to control construction related water quality impacts will be constructed within the SPA Plan Area with each grading phase to control sedimentation during construction. The interim desiltation basins are designed to prevent discharge of sediment from the project grading operations into the natural drainage channel and will be detailed in the Storm Water Pollution Prevention Plans (SWPPP) as required by the Construction General Permit from the State Water Resources Control Board. The exact size, location and component elements of these interim basins will be identified on the grading plans and SWPPP. Temporary, interim measures will occur within the development area.



Note: The above exhibit is based on a conceptual plan. Final design to be determined during final engineering.

Exhibit 11: Water Quality Basin Plan

C. Toxic Substances

MSCP Policy:

"All agricultural uses, including animal-keeping activities, and recreational uses that use chemicals or general by-products such as manure, potentially toxic or impactive to wildlife, sensitive species, habitat, or water quality need to incorporate methods on their site to reduce impacts caused by the application and/or drainage of such materials into the Preserve. Methods shall be consistent with requirements requested by the Regional Water Quality Control Board (RWQCB) and National Pollution Discharge Elimination System Permit (NPDES)." (Page 7-26)

Compliance:

Agricultural uses adjacent to the Preserve have been phased out, consistent with the Village 8 East Agricultural Plan. There are no agricultural activities currently occurring on the site.

As described in greater detail in the SWQMP for Village 8 East, prepared by Hunsaker & Associates, the combination of proposed construction and permanent BMPs will reduce, to the maximum extent practicable, the expected project pollutants and will not adversely impact the beneficial uses of the receiving waters.

Anticipated pollutants from the project site may include sediments, nutrients, heavy metals, organic compounds, trash and debris, oxygen demanding substances, oil and grease, bacteria and viruses and pesticides. Runoff from Village 8 East will be transmitted via public storm drain to a detention/water quality storage basin and volume based Modular Wetlands System located in the eastern portion of the P-2 Community Park.

A second water quality biofiltration basin is conceptually located in the southwestern portion of the P-2 Park to treat flows from the park driveway and a portion of the P-2 Park. Stormwater pollutants are removed through physical and biological processes, including adsorption, filtration, plant uptake, microbial activity, decomposition, sedimentation and volatilization (EPA 1999). Adsorption is the process whereby particulate pollutants attach to soil (e.g., clay) or vegetation surfaces. Pollutants removed by adsorption include metals, phosphorus, and hydrocarbons. Filtration occurs as runoff passes through the bioretention area media, such as the sand bed, ground cover, and planting soil. Treated water is released into the Otay River within 36 hours of capture. This system ensures that, to the greatest extent practicable, Preserve areas adjacent to Village 8 East will not be impacted from toxic substances that may be generated from the Village 8 East project site.

D. Lighting

MSCP Policy:

"Lighting of all developed areas adjacent to the Preserve should be directed away from the Preserve, wherever feasible and consistent with public safety. Where necessary, development should provide adequate shielding with non-invasive plant materials (preferably native), berming, and/or other methods to protect the Preserve and sensitive species from night lighting. Consideration should be given to the use of low-pressure sodium lighting." (Page 7-26)

Compliance:

Improvement plans for areas within or adjacent to the 100' Preserve Edge will include shielded lighting designs that avoid spillover light in the Preserve. Any proposed lighting along the southern edge of Village 8 East and the Community Park Entry Drive will be located the greatest distance possible away from the Preserve, while meeting public safety lighting requirements. The Community Park Concept Plan incorporates active recreation uses such as baseball fields, soccer fields, tennis courts, and parking areas which may include lighting and security lighting on restroom and maintenance buildings. Per the Chula Vista MSCP Subarea Plan (Section 6.3.4 Otay Valley Regional Park Plan Uses, Page 6- 19), "Active recreation uses are identified in the Otay Ranch GDP as allowed uses in the Otay Ranch Preserve are not subject to the 100-foot Edge Plan requirements."

Lighting Plans and accompanying photometric analyses must be prepared in conjunction with improvement plans that include lighting in areas adjacent to the Preserve and during the P-2 Community Park master planning process to illustrate the location of proposed lighting standards and type of light shielding measures. Lighting Plans must demonstrate that light spillage into the Preserve is avoided/minimized to the greatest extent possible. City of Chula Vista updated street lighting standards require installation of energy saving LED lamps on all City streets.

E. Noise

MSCP Policy:

"Uses in or adjacent to the Preserve should be designed to minimize noise impacts. Berms or walls should be constructed adjacent to commercial areas and any other use that may introduce noises that could impact or interfere with wildlife utilization of the Preserve. Excessively noisy uses or activities adjacent to breeding areas, including temporary grading activities, must incorporate noise reduction measures or be curtailed during the breeding season of sensitive bird species."

Where noise associated with clearing, grading or grubbing will negatively impact

an occupied nest for the least Bell's vireo during the breeding season from March 15 to September 15, noise levels should not exceed 60 CNEL. However, on a case-by-case basis, if warranted, a more restrictive standard may be used. If an occupied Least Bell's Vireo nest is identified in a pre-construction survey, noise reduction techniques, such as temporary noise walls or berms, shall be incorporated into the construction plans to reduce noise levels below 60 CNEL.

Where noise associated with clearing, grubbing or grading will negatively impact an occupied nest for raptors between January 15 and July 31 or the California gnatcatcher between February 15 and August 15 (during the breeding season), clearing, grubbing or grading activities will be modified, if necessary, to prevent noise from negatively impacting the breeding success of the pair. If an occupied raptor or California gnatcatcher nest is identified in a pre-construction survey, noise reduction techniques shall be incorporated into the construction plans. Outside the bird breeding season(s), no restrictions shall be placed on temporary construction, noise." (Page 7-26)

Compliance:

The project EIR includes Mitigation Measures requiring pre-grading surveys for gnatcatchers, vireos and nesting raptors. Based on those surveys and locations of nesting birds in the year of grading, if it is determined that the noise impact thresholds established in the Chula Vista MSCP Subarea Plan would be exceeded, the Applicant would be required to reduce the impact below the designated threshold through either modification of construction activities (such as berming) or avoiding clearing, grubbing, grading or construction activities within 300 feet of an occupied nest site. Post-construction noise impacts associated with residential development will be minimized to the greatest extent possible through site layout. There are no single family lots backing onto the Preserve Edge. Activities associated with the ongoing maintenance of the water quality basin and storm drain outlets are provided in the Village 8 East TM Drainage Study.

The proposed P-2 Community Park was identified in the Otay Valley Regional Park Concept Plan as Active Recreation #11. Per the MSCP Subarea Plan, Section 6.3.4, Otay Valley Regional Park Uses, "Active recreation areas are identified in the Otay Ranch GDP as allowed uses in the Otay Ranch Preserve and are not subject to the 100-foot Edge Plan requirements." However, as part of the University Village EIR preparation, Anita Hayworth, Ph.D. (Dudek), reviewed the Conceptual Community Park Concept Plan as it relates to species points in the vicinity of the park. Dr. Hayworth identified up to four gnatcatcher points north of the Community Park site and several documented Vireo sightings west and south of the Otay Quarry. However, noise generating sports fields are located approximately 150 feet from these sensitive receptors. In addition, riparian habitat (Willow patch) within the Otay River Valley is approximately 150 feet south of the soccer field, providing ample setbacks from mapped sensitive habitats. After reviewing minor adjustments

to field locations, Dr. Hayworth indicated that no additional changes to the 2014 Conceptual Community Park Plan were necessary. Further, Dr. Hayworth determined that limitations to park activities during breeding seasons (February 15 and August 15) are not warranted. See Biological Report for MSCP Adjacency Analysis. These recommendations will remain applicable during the park master planning process.

F. Invasive Plant Materials

MSCP Policy:

"No invasive non-native plant species shall be introduced into areas immediately adjacent to the Preserve. All slopes immediately adjacent to the Preserve should be planted with native species that reflect the adjacent native habitat. The plant list contained in the "Wildland / Urban Interface: Fuel Modification Standards," and provided as Appendix L of the Subarea Plan, must be reviewed and utilized to the maximum extent practicable when developing landscaping plans in areas adjacent to the Preserve." (Page 7-27)

Compliance:

Landscape plans within the 100' Preserve Edge will not contain invasive species, as determined by the City of Chula Vista and identified in the MSCP Subarea Plan, Appendices N, List of Invasive Species. Landscape areas within the 100' Preserve Edge including, but not limited to, manufactured slopes, must comply with the Approved Plant List provided as Attachment "A" to this document. This list also meets the requirements outlined in the attachment to the Village 8 East Fire Protection Plan and 2023 Addendum, as some of these areas are also within the 100' Brush Management Zone required by the MSCP Subarea Plan. Any changes to the Approved Plant List must be approved by the Director of Development Services or their designee. The area may be planted with container stock (liners) or a hydroseed mix.

G. Buffers

MSCP Policy:

"There shall be no requirements for buffers outside the Preserve, except as may be required for wetlands pursuant to Federal and/or State permits, or by local agency CEQA mitigation conditions. All open space requirements for the Preserve shall be incorporated into the Preserve. Fuel modification zones must be consistent with Section 7.4.4 of the Subarea Plan."

Compliance:

Brush Management Zones have been incorporated into the proposed development areas of the SPA Plan pursuant to the requirements of the Subarea Plan. Where

appropriate, graded landscaped slope areas will be maintained pursuant to Fire Department requirements and will be outside of the Preserve. The Village 8 East Fire Protection Plan and 2023 Addendum provide specific fuel modification requirements for the entire SPA Plan Area. Consistent with the Chula Vista MSCP requirements, a 100' Brush Management Zone has been established and portions of the Brush Management Zone coincide with the 100' Preserve Edge. A description of the Brush Management Zones is provided below and shown in Exhibits 8, 9, 10 and 13.

Brush Management Zones:

Zone 1: All public and private areas located between a structure's edge and 50 feet outward. These areas may be located on publicly maintained slopes, private open space lots, public streets, and/or private yards.

- Provide a permanent irrigation system within this irrigated wet zone.
- Only those trees on the Approved Plant List and those approved by the Director of Development Services or designee as not being invasive are permitted in this zone.
- All plant and seed material to be locally sourced to the greatest extent possible to avoid genetically compromising the existing Preserve Vegetation.
- Tree limbs shall not encroach within 10 feet of a structure or chimney, including outside barbecues or fireplaces.
- Provide a minimum of 10 feet between tree canopies.
- Additional trees (excluding prohibited or highly flammable species) may be planted as parkway streets on single loaded streets.
- Limit 75% of all groundcovers and sprawling vine masses to a maximum height of 18 inches.
- 25% of all groundcover and sprawling vine masses may reach a maximum height of 24 inches.
- Groundcovers must be of high-leaf moisture content.
- Shrubs shall be less than 2 feet tall and planted on 5-foot centers.
- Randomly placed approved succulent type plant material may exceed the height requirements, provided that they are spaced in groups of no more than three and a minimum of five feet away from described "clear access routes."
- Vegetation/Landscape Plans within this zone shall be in compliance with the Preserve Edge Plan, the Chula Vista MSCP Subarea Plan and the Village 8 East Fire Protection Plan.

Zone 2: All public and private areas located between the outside edge of Zone 1 and 50 feet outward to 100 feet, per the Village 8 East Fire Protection Plan. These areas may be located on public slopes, private open space lots and public streets,

and are subject to the criteria provided below:

- Utilize temporary irrigation to ensure the establishment of vegetation intended to stabilize the slopes and minimize erosion.
- Trees may be located within this zone, provided they are planted in clusters of no more than three. A minimum distance of no less than 20 feet shall be maintained between the tree cluster's mature canopies.
- Only those trees on the Approved Plant List and those approved by the Director of Development Services or Designee as not being invasive are permitted in this zone.
- All plant and seed material to be locally sourced to the greatest extent possible to avoid genetically compromising the existing Preserve Vegetation.
- Limit 75% of all groundcover and sprawling vine masses to a maximum height of 36 inches.
- 25% of all groundcover and sprawling vine masses may reach a maximum height of 48 inches.
- Randomly placed approved succulent type plant material may exceed the height requirements, provided that they are spaced in groups of no more than three and a minimum of five feet away from described "clear access routes."
- Shrubs may be planted in clusters not exceeding a total of 400 sq. ft.
- Provide a distance of no less than the width of the largest shrub's mature spread between each shrub cluster.
- Provide "avenues" devoid of shrubs a minimum width of 6 feet and spaced a distance of 200 linear feet on center to provide a clear access route from toe of slope to top of slope.
- When shrubs or other plants are planted underneath trees, the tree canopy shall be maintained at a height no less than three times the shrub or other plant's mature height (break up any fire laddering effect).
- There shall be no hedges.

A more detailed description of the Brush Management Zones, including maintenance activities, planting programs, etc. is provided in the University Villages Fire Protection Plan and Village 8 East Fire Protection Plan Addendum (2023). Any proposed changes in the Brush Management Zone are subject to approval by the Chula Vista Director of Development Services and the Chula Vista Fire Chief.

The 100' Preserve Edge coincides with the 100' Brush Management Zone in some areas. Retaining walls are also included within Zone 2 of the 100' Brush Management Zone.

The irrigation design proposed for the Preserve Edge includes permanent irrigation within Brush Management Zone 1 (0-50 feet) and temporary irrigation in Zone 2 to ensure the establishment of vegetation intended to stabilize the slope and minimize erosion. The temporary irrigation is described below:

Zone 2 (51 – 100 feet) would be irrigated with temporary above-ground irrigation lines utilized only during plant establishment using sprinkler heads that spray 360 degrees. When the plants have become established, the sprinkler heads will be adjusted to spray only 180 degrees toward the upper 50 feet of the slope.

With proper maintenance and management, the temporary irrigation within Brush Management Zone 2 as described above, does not conflict with the Adjacency Management Issues found in Section 7.5.2 of the City of Chula Vista MSCP Subarea Plan.

Otay Ranch GDP Objective:

Identify allowable uses within appropriate land use designations for areas adjacent to the Preserve.

Policy: All development plans adjacent to the edge of the Preserve shall be subject to review and comment by the Preserve Owner/Manager, the City of Chula Vista, and the County of San Diego to assure consistency with resource protection objectives and policies.

Policy: "Edge Plans" shall be developed for all SPAs that contain areas adjacent to the Preserve. The "edge" of the Preserve is a strip of land 100 feet wide that surrounds the perimeter of the Preserve. It is not a part of the Preserve - it is a privately or publicly owned and maintained area included in lots within the urban portion of Otay Ranch immediately adjacent to the Preserve.

Compliance:

The preparation of this Village 8 East Preserve Edge Plan fulfills the requirement to develop an "Edge Plan" for any SPA Plan Area adjacent to the Preserve and is subject to review and comment by the Preserve Owner/Manager, the City of Chula Vista and County of San Diego. Uses within the 100' Preserve Edge are either privately or publicly owned and maintained.

The Otay Ranch Community Park South located south of Village 8 East is identified as "Active Recreation" in the Chula Vista MSCP Subarea Plan and is not subject to the 100-foot Edge Plan requirements. However, the Community Park Concept Plan was developed and refined based on input from the Applicant's biologist to minimize/avoid impacts on sensitive resources located within the surrounding Preserve areas. See the Otay Ranch Community Park South Concept Plan (Exhibit

12). In addition to the Concept Plan, a cross section depicting the relationship between the community park, the Chula Vista Greenbelt Trail/Salt Creek Sewer Easement and the Otay River Valley is provided in Exhibit 13. The University Villages 2014 Biological Technical Report addressed/analyzed the park in relationship to the MSCP Adjacency Guidelines and provides mitigation measures to be applied during park master planning.

MSCP Adjacency Guidelines

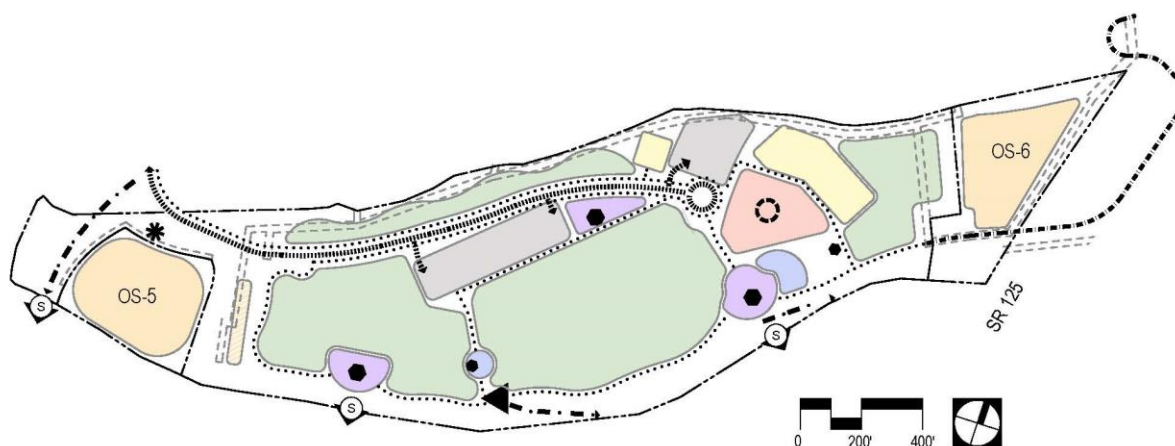
All new development must adhere to the Adjacency Guidelines for drainage found on Page 7-25 of the Subarea Plan. In summary, the guidelines state that:

1. All developed areas must prevent the release of toxins, chemicals, petroleum products, exotic plant materials and other elements that might degrade or harm the natural environment or ecosystem processes within the Preserve.
2. Develop and implement urban runoff and drainage plans which will create the least impact practicable for all development adjacent to the Preserve.
3. All development located within or directly adjacent to or discharging directly to an environmentally sensitive area are required to implement site design, source control, and treatment control Best Management Practices (BMPs).

Compliance:

To adhere to these MSCP guidelines, excessive runoff into the Preserve from adjacent irrigated slopes must be prevented. Erosion control BMPs must be installed prior to planting and watering to prevent siltation into the Preserve. The irrigation system installed on the slopes should have an automatic shutoff valve to prevent erosion in the event the pipes break. Irrigation schedules for the slopes adjacent to the Preserve must be evaluated and tested in the field to determine the appropriate water duration and adjusted, as necessary, to prevent excessive runoff.

A manual weeding program or the focused application of glyphosate shall be implemented on the manufactured slopes adjacent to the Preserve to control weeds that are likely to be encouraged by irrigation. Weed control efforts should occur quarterly or as needed, to prevent weeds on the manufactured slopes from moving into the adjacent Preserve. A qualified monitor shall check the irrigated slopes during plant establishment to verify that excessive runoff does not occur and that any weed infestations are controlled.



LEGEND

SYMBOL DESCRIPTION

	COMMUNITY CENTER		PEDESTRIAN CIRCULATION		TRAIL STAGING AREA
	MULTI-USE SPORTS FIELDS		VEHICULAR CIRCULATION		30' FUEL MOD ZONE
	PICNIC AREA		COMMUNITY PARK TRAIL (MAINTENANCE + EMERGENCY ACCESS)		LOT LINE
	PLAY AREA		GREENBELT TRAIL CONNECTION		EASEMENT
	SPORTS COURTS		PARKING AREA		
	WATER QUALITY DETENTION BASIN		SCENIC OVERLOOK		
	CONCEPTUAL PARK WATER QUALITY DETENTION BASIN		LARGE SHADE STRUCTURE		
	LANDMARK MONUMENT		SMALL SHADE STRUCTURE		
	RESTROOM MAINTENANCE				

Exhibit 12: Otay Ranch Community Park South Concept Plan

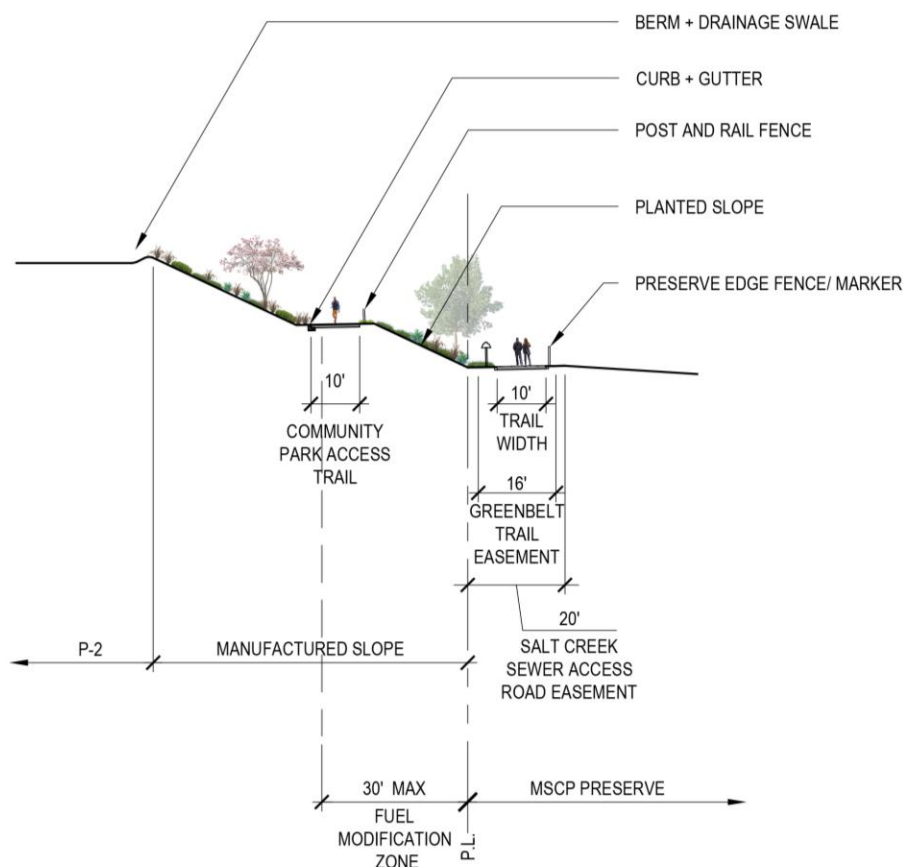


Exhibit 13: Cross Section at Community Park (P-2)

H. Restrict Access

Both the Otay Ranch RMP and Chula Vista MSCP Subarea Plan contain policies that restrict or limit access into the Preserve. These policies are discussed below:

Otay Ranch RMP Policy 6.5:

“Identify restricted use areas within the Preserve.”

Standard: Public access may be restricted within and adjacent to wetlands, vernal pools, restoration areas, and sensitive wildlife habitat (e.g., during breeding season) at the discretion of the Preserve Owner/Manager.

Guidelines:

1. The Preserve Owner/Manager shall be responsible for identifying and designating restricted areas based on biological sensitivity...”

MSCP Policy:

“The public access to finger canyons will be limited through subdivision design, fencing or other appropriate barriers, and signage.”

“Install barriers (fencing, rocks/boulders, appropriate vegetation) and/or signage in new communities where necessary to direct public access to appropriate locations.”

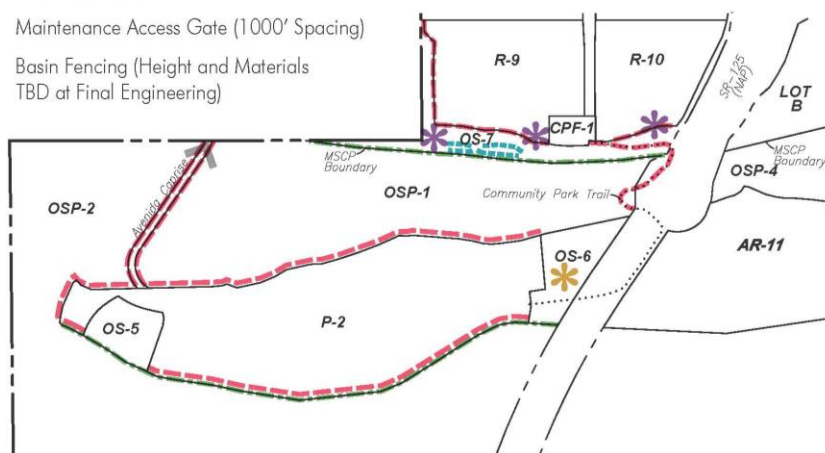
Compliance:

Pursuant to the requirements of the MSCP Subarea Plan and RMP, the land plan has been designed to provide access to the preserve areas at designated locations, directing pedestrians to developed public trails within the Otay River Valley via designated public trails and roadways. The Village Design Plan provides wall and fence details for Village 8 East. Perimeter view fencing/post and rail fencing along the adjacent development parcel boundaries will be provided outside of the Preserve. In addition, a post and rail fence is planned along the down-slope edge of the Edge Trail within the Brush Management Zone. This property will be maintained by the Master HOA, with maintenance funded through a Homeowner's Association. A Preserve Edge Fence/Marker will be provided at the MSCP Boundary.

Access to the Brush Management Zone will be provided via locked gates for maintenance and fire protection activities only located every 1,000' along the southern edge of Village 8 East. Interim access control measures, such as fencing, signage, etc. will be provided within the development area to restrict public access until trail improvements within the Preserve are complete. The conceptual location of perimeter fencing at the Preserve Edge is depicted in Exhibit 14. Perimeter fencing is intended to provide a barrier between development and Preserve areas. The exact location and type of all proposed fencing will be depicted on the overall Village 8 East Landscape Master Plan and will be subject to review and approval by the Director of Development Services or Designee. Signage, identifying the MSCP Preserve and notifying the public of access restrictions, will be provided at key locations along the Preserve Edge. A detailed sign program for trails will be provided on the Village 8 East Landscape Master Plan and will be subject to review and approval by the Director of Development Services and the Public Works Director or designees.

Legend

- Retaining Wall
- Preserve Edge Fence/Marker
- Post and Rail Fence
- ✱ Maintenance Access Gate (1000' Spacing)
- ✱ Basin Fencing (Height and Materials TBD at Final Engineering)

**Exhibit 14: Perimeter Wall (Barrier) at Preserve Edge Plan**

ATTACHMENT “A”

VILLAGE 8 EAST BRUSH MANAGEMENT, PRESERVE EDGE & COMMUNITY PARK

APPROVED PLANT LIST – December 2023

Brush Management Modification (Zones 1 & 2)

Plant and seed material should be locally sourced to the greatest extent possible to avoid genetically compromising existing Preserve vegetation. Notes provided below must be adhered to and planting must be implemented in accordance with the Chula Vista Fire Department's fuel modification guidelines summarized in the Village 8 East Fire Protection Plan and 2023 Addendum.

Trees

Botanical Name	Common Name	BMZ	Notes
<i>Cercis occidentalis</i>	Western Redbud	1	
<i>Heteromeles arbutifolia</i>	Toyon	*	See Note 'A' below
<i>Parkinsonia</i> x 'Desert Museum'	Desert Museum Palo Verde	1	
<i>Platanus racemosa</i>	California Sycamore	1	
<i>Prosopis chilensis</i>	Chilean Mesquite	1	
<i>Prunus ilicifolia</i> 'ilicifolia'	Hollyleaf Cherry	1	
<i>Quercus agrifolia</i>	Coast Live Oak	1	
<i>Quercus engelmannii</i>	Engelmann Oak	1	
<i>Rhus lancea</i>	African Sumac	1	See Note 'B' below

Shrubs, Cacti & Ground Covers

<i>Agave attenuata</i>	Foxtail Agave	1	
<i>Atriplex semibacatta</i>	Berry Saltbush	1	
<i>Baccharis pilularis</i> 'Pigeon Point'	Dwarf Coyote Brush	1 & 2	See Note 'C' below
<i>Cotoneaster dammeri</i> 'Lowfast'	Bearberry Cotoneaster	1	
<i>Encelia californica</i>	California Encelia	2	
<i>Encelia farinose</i>	California Encelia	1 & 2	
<i>Epilobium californicum</i>	California Fuschia	1 & 2	
<i>Epilobium canum</i>	California Fuschia	1 & 2	
<i>Galvezia speciosa</i> 'Fire Cracker'	Bush Snapdragon	2	
<i>Heteromeles arbutifolia</i>	Toyon	*	See Note 'A' below
<i>Isomeris arborea</i>	Bladder Pod	2	
<i>Isocoma menziesii</i> 'Manziesii'	Coast Goldenbush	2	
<i>Iva hayesiana</i>	San Diego Marsh Elder	*	
<i>Limonium perezii</i>	Statice	1	
<i>Myoporum parvifolium</i> 'Putah Creek'	Creeping Myoporum	1	
<i>Nassella pulchra</i>	Purple Needle Grass	2	
<i>Opuntia littoralis</i>	Coastal Prickly Pear Cactus	2	See Note 'E' below
<i>Opuntia oricola</i>	No Common Name	2	See Note 'E' below
<i>Phyla nodiflora</i>	Kurapia	1	
<i>Rhamnus crocea</i>	Redberry	*	
<i>Rhus integrifolia</i>	Lemonade Berry	*	
<i>Rhus ovata</i>	Sugarbush	*	
<i>Salvia apiana</i>	White Sage	2	See Note 'F' below
<i>Simmondsia chinensis</i>	Jojoba	*	See Note 'F' below
<i>Trichostema lanatum</i>	Woolly Blue Curls	*	

Botanical Name	Common Name	BMZ	Notes
Viguiera laciniata	San Diego Sunflower	2	
Yucca schidigera	Mojave Yucca	1 & 2	
Yucca whipplei	Our Lord's Candle	1 & 2	

Hydroseed Application

Plant and seed material should be locally sourced to the greatest extent possible to avoid genetically compromising existing Preserve vegetation

Acmispon americanus	Purshing's lotus	1
Acmispon heermannii	Heerman's lotus	1
Cryptantha intermedia	Common cryptantha	1
Eschscholzia californica	Coastal California Poppy	1
Helianthemum scoparium	Sun Rose	1
Lasthenia gracilis	California Goldfields	1
Lupinus bicolor	Miniature Lupine	1
Sisyrinchium bellum	Blue Eyed Grass	1
Corethrogyne filaginifolia	Sand Aster	2
Encelia farinosa	California Encelia	2
Ericameria palmeri	Palmer's goldenbush	2
Eriophyllum confertiflorum	Golden Yarrow	2
Galium angustifolium	Narrow leaved bedstraw	2
Hazardia squarrosa	Sawtooth goldenbush	2
Hemizonia fasciculata	Common Tarplant	2
Isocoma menziesii	Menzies' goldenbush	2
Iva hayesiana	San Diego Marsh Elder	*
Lasthenia californica	Dwarf goldfields	2
Lupinus excubitus	Grape soda lupine	2
Viguiera laciniata	San Diego Sunflower	2

Brush Management Notes:

- * Indicates larger shrubs that may be utilized in Zone 2, in cluster of no more than 400 SF
- A May be planted within Fuel Management Zone 1 up to 10% of the plant palette mix. No single mass shall exceed 400 sf. These shall be spaced such that the nearest shrub is no closer than the tallest shrub height (at maturity)
- B Plant acceptable on a limited basis (Max. 30% of the area at the time of planting)
- C Only local native shrub species will be utilized. No cultivars shall be permitted.
- D Plant acceptable on a limited basis (Max. 30% of the area at the time of planting)
- E Plants must be locally sourced
- F May be planted in limited quantities and must be properly spaced

Community Park P-2 Plant List

Trees

Arbutus 'Marina'	Marina Strawberry Tree
Brachychiton populneus	Bottle Tree
Cassia leptophylla	Gold Medallion Tree
Citrus species	Citrus
Cupaniopsis anacardioides	Carrotwood
Dracaena draco	Dragon Tree
Eriobotrya deflexa	Bronze Loquat
Geijera parviflora	Australian Willow
Jacaranda mimisifolia	Jacaranda

Botanical Name	Common Name	BMZ	Notes
Koelreuteria bipinnata	Chinese Flame Tree		
Lagerstroemia indica	Lavender Crape Myrtle		
Ligustrum lucidum	Glossy Privet		
Lophostemon confertus	Brisbane Box		
Magnolia grandiflora	Magnolia		
Metrosideros excelsa	New Zealand Christmas Tree		
Olea europea 'Willsonii'	Fruitless Olive		
Parkinsonia x 'Desert Museum'	Desert Museum Palo Verde		
Platanus acerifolia	London Plane Tree		
Platanus racemosa	California Sycamore		
Quercus agrifolia	Coast Live Oak		
Quercus engelmannii	Englemann Oak		
Quercus ilex	Holly Oak		
Rhus lancea	African Sumac		
Tipuana tipu	Tipu Tree		
Ulmus parvifolia 'Drake'	Drake Evergreen Elm		

Shrubs, Cacti, Ornamental Grasses & Ground Covers

Agave attenuata	Foxtail Agave
Aloe species	Aloe
Anigozanthos species	Kangaroo Paw
Baccharis pilularis 'Pigeon Point'	Dwarf Coyote Brush
Bougainvillea species	Bougainvillea
Callistemon citrinus 'Little John'	Little John Bottlebrush
Carex species	Sedge
Ceanothus cultivars	Ceanothus
Chondropetalum tectorum	Cape Rush
Cistus species	Rockrose
Clematis species	Evergreen Clematis Vine
Cordyline australis 'Atropurpurea'	Bronze Dracena
Cotoneaster dammeri 'Lowfast'	Bearberry Cotoneaster
Crassula species	Crassula
Dietes vegeta	Fortnight Lily
Echium fastuosum	Pride of Madeira
Encelia californica	California Encelia
Encelia farinose	California Encelia
Euonymus species	Euonymus
Feijoa sellowiana	Pineapple Guava
Festuca species	Fescue
Ficus pumila	Creeping Fig
Grevillea 'Noellii'	Noel Grevillea
Grewia occidentalis	Lavender Starflower
Helichrysum petiolare 'Limelight'	Limelight Licorice Plant
Hesperaloe species	Red Yucca
Heteromeles arbutifolia	Toyon
Ilex species	Holly
Lantana species	Lantana
Leucophyllum species	Texas Ranger
Leymus condensatus 'Canyon Prince'	Canyon Prince Wild Rye
Ligustrum japonicum 'Texanum'	Texas Privet
Limonium perezii	Statice

Botanical Name	Common Name	BMZ	Notes
Mahonia aquifolium	Oregon Grape		
Mimulus cardinalis	Scarlet Monkeyflower		
Muhlenbergia rigens	Deergrass		
Myoporum parvifolium 'Putah Creek'	Creeping Myoporum		
Myrtus communis	Myrtle		
Nassella pulchra	Purple Needle Grass		
Nephrolepis cordifolia	Sword Fern		
Phormium species	New Zealand Flax		
Phyla nodiflora	Kurapia		
Pittosporum crassifolium 'Compactum'	Evergreen Pittosporum		
Pittosporum tobira 'Wheeler's Dwarf'	Wheeler's Dwarf Pittosporum		
Podocarpus 'Icee Blue' (Columnar)	Icee-Blue Yellow-Wood		
Podocarpus macrophyllus 'Maki'	Shrubby Yew Pine		
Portulcaria afra	Elephant's Food		
Portulcaria afra 'Minima'	Elephant's Mat		
Prunus caroliniana	Carolina Cherry		
Pyracantha species	Firethorn		
Raphiolepis indica	Indian Hawthorn		
Raphiolepis umbellata 'Minor'	Dwarf Yedda Hawthorne		
Rhus integrifolia	Lemonade Berry		
Rhus ovata	Sugarbush		
Rosmarinus species	Rosemary		
Salvia apiana	White Sage		
Scaevola 'Mauve Clusters'	Mauve Clusters Pincushion Flower		
Strelitzia nicolai	Giant Bird of Paradise		
Strelitzia reginae	Bird of Paradise		
Tecoma species	Esperanza		
Tecomaria capensis	Cape Honeysuckle		
Thuja occidentalis 'Degroots Spire'	Degroots Spire Arbovitae		
Trachelospermum jasminoides	Star Jasmine		
Tulbaghia violacea	Sweet Garlic		
Westringia fruticosa 'Mundi'	Low Coast Rosemary		
Wisteria sinensis	Chinese Wisteria		

Turf

Festuca Aquawise Sportslube Mix (from seed)	Sports Field Fescue Mix
Dwarf Tall Fescue (sod)	Marathon II
Cynodon dactylon 'Bandera'	Bandera Bermuda Grass

Hydroseed Application

Plant and seed material should be locally sourced to the greatest extent possible to avoid genetically compromising existing Preserve vegetation.

Acmispon americanus	Purshing's lotus
Acmispon heermannii	Heerman's lotus
Cryptantha intermedia	Common cryptantha
Eschscholzia californica	Coastal California Poppy
Helianthemum scoparium	Sun Rose
Lasthenia gracilis	California Goldfields

Botanical Name	Common Name	BMZ	Notes
Lupinus bicolor	Miniature Lupine		
Sisyrinchium bellum	Blue Eyed Grass		
Corethrogyne filaginifolia	Sand Aster		
Encelia farinosa	California Encelia		
Ericameria palmeri	Palmer's goldenbush		
Eriophyllum confertiflorum	Golden Yarrow		
Galium angustifolium	Narrow leaved bedstraw		
Hazardia squarrosa	Sawtooth goldenbush		
Hemizonia fasciculata	Common Tarplant		
Isocoma menziesii	Menzies' goldenbush		
Iva hayesiana	San Diego Marsh Elder		
Lasthenia californica	Dwarf goldfields		
Lupinus excubitus	Grape soda lupine		

MEMORANDUM

To: Justin Gipson, Fire Division Chief: Director of Fire Prevention and Support Services, Chula Vista Fire Department

From: Dudek Fire Protection; Michael Huff, Principal Fire Protection Planner
Dudek Fire Protection; Noah Stamm, Fire Protection Planner III

Subject: Village 8 East Fire Protection Plan Addendum and Figures Updates

Date: December 2023 (Updated January 2024)

Attachment (s): Attachment 1 – Updated Site Plan and Site Utilization Plan
Attachment 2 – FPP Figure 12 – Updated Fuel Modification Zone Exhibit
Attachment 3a – FPP Figure 13 – Updated Perimeter Fence at Preserve Edge
Attachment 3b – V8 East Park Concept Section at P-2 Park Area
Attachment 4 – Updated FPP Attachment 2 – Approved Plant Palettes for Village 8 East Interior Landscape and Fuel Modification Zones
Attachment 5 – Updated Prohibited Plant List

The University Villages, Village 8 East Fire Protection Plan (FPP) prepared by Dudek was approved by the City Chula Vista Fire Department (CVFD) in 2014. In September 2022, Dudek was asked to evaluate proposed changes related to the Village 8 East replanning effort. HomeFed Otay Land II, LLC (Applicant) has prepared a new tentative map (TM) and amendments to the Village 8 East Sectional Planning Area Plan (SPA), which include an amendment to the FPP. Dudek has evaluated the revised site plan (Attachment 1) and determined that the findings of the approved Fire Protection Plan (FPP) dated July 2014 remain applicable and valid. The site changes do not impact the analysis, results, or requirements of the FPP as long as the FPP's requirements are maintained.

In addition to the revised site plan and SPA, the Village 8 East replanning effort includes an updated landscape plan with a variety of newly proposed plant species along with an updated prohibited plant list. Dudek has reviewed the proposed plant palette and prohibited plant list and provided opinions that required the removal of some species, resulting in the proposed plant palettes which Dudek accepts as meeting the FPP requirements for fuel modification zone areas and separately, for interior landscape areas.

As indicated, Dudek has determined that the findings of the approved 2014 FPP remain applicable with the proposed site plan and SPA updates, with some minor FPP changes. First, the fire and buildings codes have been updated since the FPP was prepared in 2014 with the most recent update adopted on January 1, 2023. The FPP will be amended to incorporate consistency with the latest codes.

Items 1 through 5 below summarize the proposed addenda to the 2014 FPP. Additionally, Attachment 2 – FPP *Figure 12 – Village 8 East Fuel Modification Zone Exhibit* has been updated to reflect the revised Village 8 East TM with no FMZ width reductions except at the P-2 Park.

Item 1. Fire Protection Plan ADDENDUM - CURRENT CODES. The approved FPP (December 2014) shall include the application of all applicable Chapters of the 2022 California Fire Code (CFC), including Chapter 49 and all applicable Chapters of the 2022 California Building Code (CBC), including Chapter 7A, for the entire University Villages, Village 8 East Project Site.

Item 2. Fire Protection Plan ADDENDUM – LAND USE CHANGES.

The FPP is amended to include the following Project Description and Table 1:

Otay Ranch Village 8 East is south of the extension of Main Street, north of the Otay River Valley, east of Village 8 West and west of SR-125. This urban village was originally approved by the Chula Vista City Council in 2014 and subsequently amended in 2020. Current entitlements accommodate a total of 3,276 residential units, including 943 detached homes, 1,893 attached homes and 440 multi-family units in a mixed-use setting, 20,000 square feet of retail/commercial uses, an elementary school site, a neighborhood park and the 51.5-acre (gross) Otay Ranch Community Park South. Access to the village is provided via the extension of Main Street and La Media Parkway with emergency and pedestrian access to the community park provided along a utility corridor in the southeast portion of Village 8 East. Primary access to the community park is via existing Avenida Caprise within Village 8 West.

HomeFed Otay Land II, LLC, (Applicant), proposes to amend the Village 8 East land use plan to reflect current market conditions and housing needs and to ensure the community relates more closely to the adjacent Village 8 West community and future Village 9 planned east of SR-125. The replanning effort also addresses the redesign of the SR-125 interchanges at Main Street and La Media Parkway.

Village 8 East Proposed Land Use: The Proposed Village 8 East Land Use Plan would include a Village Core area that would accommodate a mix of uses including multi-family residential and retail/commercial uses along with an elementary school site and a centrally located neighborhood park. A future multi-modal bridge, planned to accommodate Neighborhood Electric Vehicles (NEV), bicycles and pedestrians is also planned in the Village Core linking Village 8 East and future Village 9.

The proposed project would include 20,000 square feet of commercial/retail uses and 1,348 multi-family homes distributed across eight Village Core parcels. Other residential land uses include 1,664 multi-family residential units in 10 parcels designated Medium-High Residential. The elementary school site has an underlying “High” residential land use designation that could accommodate 264 multi-family units if the site is not utilized as a school site. The project also includes an alternative elementary school site/neighborhood park site configuration which would increase the size of the elementary school site and correspondingly reduce the neighborhood park site. This alternative configuration would be implemented based on the needs of the Chula Vista Elementary School District.

The project also includes 253.6 acres of Preserve Open Space, 16.4 acres of manufactured slopes/basins and the 22.6-acre active recreation site (AR-11) located east of SR-125. Approximately 15.3 acres comprising perimeter slope areas are included in the gross acres of development parcels. The Village 8 East Final Map(s) will include open space easements over perimeter slope areas based on final engineering designs. The 43.3-acre (gross) Otay Ranch Community Park South is located south of Village 8 East. An existing water quality basin that serves Village 8 West is located in the western portion of the community

park and the proposed project includes an additional water quality basin in the eastern portion of the community park to serve Village 8 East.

Parcel	Permitted Density Range	Estimated Units ¹	Gross Acres ²	Estimated Density ³
Medium High Multi-Family Residential				
R-1	11-18 du/ac	154	9.9	15.6
R-2	11-18 du/ac	163	10.7	15.2
R-3	11-18 du/ac	162	11.4	14.2
R-4	11-18 du/ac	147	10.9	13.5
R-5	11-18 du/ac	155	11.0	14.1
R-6	11-18 du/ac	143	10.3	13.9
R-7	11-18 du/ac	226	15.8	14.3
R-8	11-18 du/ac	176	14.0	12.6
R-9	11-18 du/ac	196	15.4	12.7
R-10	11-18 du/ac	142	11.5	12.3
Total MH		1,664	120.9	13.8
Village Core⁴				
VC-1	18-45 du/ac.	275	7.6	36.2
VC-2	18-45 du/ac.	430	11.3	38.1
VC-3A	18-45 du/ac.	161	5.5	29.3
VC-3B ⁵	18-45 du/ac.	0	5.6	0.0
VC-4	18-45 du/ac.	192	4.5	42.7
VC-5 ⁵	18-45 du/ac.	0	5.7	0.0
VC-6	18-45 du/ac.	142	5.3	26.8
VC-7	18-45 du/ac.	148	6.0	24.7
Total VC		1,348	51.5	26.2
Subtotal Residential		3,012	172.4	
Other				
Community Purpose Facility⁶				
CPF-1			1.2	
Subtotal CPF			1.2	
Parks				
P-1 ⁷			7.3	
P-2 ¹¹			43.3	
AR-11			22.6	
Total Parks			73.2	
School				
S-1 ^{7 8}		264	11.3	

Parcel	Permitted Density Range	Estimated Units ¹	Gross Acres ²	Estimated Density ³
Open Space				
MSCP Preserve OS (Lots 1-4)			253.6	
Manufactured/Basin OS (Lots 5-8) ⁹			16.4	
Total Open Space			270.0	
Circulation				
Internal			22.5	
External			9.2	
Total Circulation			31.7	
CALTRANS LOTS (to be dedicated)				
CT-1			1.7	
CT-2			0.1	
CT-3			1.9	
Total CALTRANS Lots			3.7	
Future Development				
Lot A			1.0	
Lot B			8.4	
Total Future Development			9.4	
Subtotal Other			400.5	
OVERALL SPA TOTAL¹⁰		3,276	572.9	

NOTES:

¹ Estimated Units are provided for planning purposes only, do not represent the final unit allocation for each parcel and shall not be used to limit or restrict the final units allocated to any parcel.; The final unit allocation must remain consistent with the permitted density range applicable to the parcel. The final unit allocation shall be determined during Design Review and shall be documented in the Unit Tracking Table (Village 8 East SPA Plan, Attachment 1). Revisions to the Site Utilization Table shall not be required based on changes to the Estimated Units presented herein.

² Final acreage information to be determined during final engineering. Acreage may vary due to rounding. Residential and Village Core gross acreage includes approximately 15.3 of perimeter open space areas. Open space easements to be recorded over perimeter open space slopes to be maintained by the Master HOA or Sub-Association, as determined during final design.

³ Estimated Density calculated based on gross parcel acreage. Final density to be determined during Design Review.

⁴ 20,000 SF of commercial uses are authorized within Village 8 East. Commercial SF may be developed within a single parcel designated VC or distributed among any parcel designated VC (VC-1 through VC-7). The final distribution of commercial SF to be determined during Design Review. The “Permitted Density Range” is not applicable to VC parcels with no residential units.

⁵ VC-3B and VC-5 are anticipated to be developed with non-residential uses only, consistent with the Village Core zoning district. The “Permitted Density Range” is not applicable to VC parcels with no residential units.

⁶ Per the Land Offer Agreement (7/8/2014), the Village 8 East SPA Plan shall designate 4.0 acres of CPF land. The Applicant is proposing to meet a portion of the Village 8 East CPF obligation by designating the 1.2-acre CPF-1 site as a private recreation facility. The remaining 2.8 acre CPF obligation shall be addressed in a separate agreement between the Applicant and the City of Chula Vista.

⁷ Both the Village 8 East SPA Plan and Tentative Map include the “Proposed” and “Alternative” configuration and acreage for the S-1 School Site and P-1 Neighborhood Park. Either the Proposed or Alternative may be implemented without the need for an amendment to the SPA Plan or TM. The final neighborhood park acreage shall be addressed in the future Village 8 East Parks Construction Agreement.

⁸ The S-1 school site has an underlying residential land use designation of High Residential. If the site is not developed as a school site, then it shall be developed as residential; however, if the site is developed as an elementary school, then the 264 units may be reallocated to another Village 8 East parcel or transferred to another village, as permitted in the Village 8 East PC District Regulations, Chapter 10, Implementation.

⁹ A portion of the Edge Trail and associated overlook features (approximately 1.76 acres) are included within the 8.2-acre OS-7 parcel. The Edge Trail area shall be secured with a public access easement and the 1.76 acres shall satisfy a portion of the Village 8 East park obligation. The 1.76-acre Edge Trail area is not counted toward meeting the Village 8 East open space requirement.

¹⁰ Village 8 East acreage adjusted from approved 2014 development area to reflect changes in SR-125 ROW and to facilitate the future SR-125 ROW Decertification process.

¹¹ The P-2 Community Park / OS-6 Alternative would be implemented only upon City approval of the Alternative Compliance Program (“ACP”) Permit and Rough Grading Storm Water Quality Management Plan (“SWQMP”) (See TM Sheet 6 for additional details). This would increase the P-2 Community Park parcel to 47.4 acres (gross) and 39.0 acres (net) and correspondingly decrease the OS-6 parcel to 4.8 acres (gross) and 0.7 acres (gross).

Local bus stops are provided on both sides of Main Street. Transit access would be provided in shared flow travel lanes.

La Media Parkway, from its eastern terminus in Village 8 West, would continue through Village 8 East as a four-lane major road with a 17-foot Chula Vista Regional Trail comprised of a 5-foot sidewalk and 12-foot-wide, two-way NEV/Bike Route on the south side. On the north side of La Media Parkway, an 11-foot Chula Vista Regional Trail is provided west of La Palmita Drive and 5-foot sidewalk is provided east of La Palmita Drive. Transit access is planned in shared flow travel lanes.

SR-125: Concurrent with the replanning effort in Village 8 East, CALTRANS has initiated a Project Study Report-Project Development Support (PSR-PDS) to evaluate alternatives that provide new local street connections, increase capacity, improve mobility, and relieve congestion on State Route 125 (SR-125) between the Otay River and Birch Road. The PSR-PDS includes four preliminary designs for the SR-125 interchanges at Main Street and Otay Valley Road. The Village 8 East land use plan reflects Alternative B. The TM will be revised to reflect the ultimate SR-125 ROW and design.

Alternative B: Couplet/Parallel Street System Interchange Alternative B consists of a couplet/parallel street system interchange with ramps at Main Street and Otay Valley Road acting as a single freeway access point via connected one-way frontage roads (Type L-5 per Caltrans Highway Design Manual (HDM) Section 502.2(C)). For this alternative, vehicles traveling northbound on SR-125 would exit at Otay Valley Road and enter SR-125 at Main Street. Similarly, southbound vehicles would exit SR-125 at Main Street and enter SR-125 at La Media Parkway. The on/off ramps at La Media Parkway and Main Street will be connected by two-lane, one-way frontage roads. This alternative will include three La Media Parkway Valley Road (approximately 94'-4" wide), and a new multi-modal bridge (22' wide).

Discretionary Actions: Discretionary actions which require City Council and Planning Commission consideration and/or approval. The Proposed Project includes an Addendum to Otay Ranch University Villages Project Comprehensive SPA Plan Amendment Final Environmental Impact Report (FEIR) (EIR 13-01; SCH No. 2013071077); approved December 2014, amendments to the City of Chula Vista General Plan, the Otay Ranch General Development Plan, the Otay Ranch Village 8 East Sectional Planning Area Plan, and Appendices, a Rezone and approval of Village 8 East Tentative Map CVT No. 22-0005. A Development Agreement amendment is also proposed as part of the Proposed Project.

Technical Reports and Memos: The following technical reports and memos would be prepared for the proposed project:

- Biological Resources Technical Memorandum (Dudek)
- Air Quality and Global Climate Change Technical Memorandum (Dudek)
- Health Risk Assessment Screening Letter (Ldn Consulting, Inc.)
- Noise Assessment Technical Memorandum (Dudek)
- Comprehensive Project Information Form/Trip Generation Analysis Update (Chen Ryan)
- Archaeological Evaluation of Cultural Resources Letter (Dudek)
- Master Drainage Study (Hunsaker)
- PDP SWQMP (Hunsaker)
- Overview of Sewer Service Update (Wilson Engineering)
- Overview of Water Service Update (Wilson Engineering)

- Geotechnical Investigation Letter (GEOCON)
- Fiscal Impact Analysis Update (Development Planning & Financing Group)

Item 3. Fire Protection Plan ADDENDUM-FUEL MODIFICATION ZONE AND FENCE CHANGES. Fuel Modification Zones will remain the same throughout the University Villages, Village 8 East Project area with the following exceptions:

- 1) a reduction of the 100-foot FMZ around the perimeter of the Otay Ranch Community Park South (P-2) to 30 feet (see Attachment 2). It should be noted that there will be a structure(s) proposed within the P-2 Park area, however, the location of the structure(s) is not yet identified. Any structures located within the P-2 Park area will be provided with 100 feet or more of irrigated fuel modification around all sides.
- 2) the six-foot tall CMU fire wall that was previously proposed along the rear yards of the structures at the southern edge of the development area, is now unnecessary and will instead be tubular steel or post & rail (Attachment 3a). The six-foot CMU fire wall along the rear yards of the structures is being eliminated because a full 100 feet of on-site fuel modification (i.e. Zones 0, 1, and 2) is achievable along exposed sides of the structures along the southern boundary that are exposed to the naturally-vegetated open space areas. Furthermore, within the fuel modification zones, there are multiple MSE/retaining walls proposed that range in height between 3 and 12 feet, as well as multi-tiered edge trails/community park trails that are between 8 feet and 20 feet wide. The inclusion of the MSE/retaining walls and the trails provide and equivalent separation of fuels. Finally, the P-2 Park area that is south of the V8 East community provides an irrigated fuel break that separates the fuels around V8 East. See Attachments 3a and 3b for cross sections of the fuel modification zones adjacent to the southern portion of the development. and;
- 3) the inclusion of Zone “0”, which will be located on all sides of and directly adjacent to all structures. Zone 0 extends 5 feet from buildings, structures, decks, etc.

1.) Otay Ranch Community Park South (P-2) FMZ Reduction

The 100 feet of FMZ around the Community Park South is considered unnecessary based on the park’s landscape, maintenance, and ignition resistant conditions. Therefore, the FMZ has been reduced to 30 feet of maintained zone around the perimeter of the P-2 Park to augment the already lower fuel, maintained and managed park landscape. It should be noted that there will be a structure(s) proposed within the P-2 Park area, however, the location of the structure(s) is not yet identified. Any structures located within the P-2 Park area will be provided with 100 feet or more of irrigated fuel modification around all sides.

3.) Inclusion of Zone “0”

The Zone “0” ember-resistant zone is currently not required by law, but science has proven it to be the most important of all the defensible space zones. This zone includes the area under and around all attached decks, and requires the most stringent wildfire fuel reduction. The ember-resistant zone is designed to keep fire or embers from igniting materials that can spread the fire to a home. The following provides guidance for this zone, which may change based on the regulation developed by the Board of Forestry and Fire Protection.

- Use hardscape like gravel, pavers, concrete and other noncombustible mulch materials. No combustible bark or mulch
- Remove all dead and dying weeds, grass, plants, shrubs, trees, branches and vegetative debris (leaves, needles, cones, bark, etc.); Check and clear roofs, gutters, decks, porches, stairways, etc.
- Remove all branches within 10 feet of any chimney or stovepipe outlet
- Limit plants in this area to low growing, nonwoody, properly maintained plants

- Limit combustible items (outdoor furniture, planters, etc.) on top of decks
- Relocate firewood and lumber at least 30-feet from structures
- Vegetation limited to no more than 6" to 18" in height
- Vegetation shall be irrigated
- Replace combustible fencing, gates, and arbors attach to the home with noncombustible alternatives
- Consider relocating garbage and recycling containers outside this zone
- Consider relocating boats, RVs, vehicles and other combustible items outside this zone

Zone 1 and 2 Fuel modification and fire safety standards will follow the recommendations of Section 4.1 through 4.1.3 of the Project's approved FPP. Zone 1 will include all public and private areas located between a structure's edge and 50 feet outward and Zone 2 will include all public and private areas located between the outside edge of Zone 1 and a minimum of 50 feet outward to 100 feet, per the Project's FPP (dated July 2014). FMZ consistent landscape or hardscape is allowable and consistent with the intent of a 100-foot wide FMZ.

Item 4. Fire Protection Plan ADDENDUM- Appendix C Proposed Plant Palette. The Proposed plant palettes for all areas including the landscape and fuel modification zone areas are provided as Attachment 4 to this technical memorandum. These plant palettes shall supersede the palettes presented in the 2014 FPP (FPP Attachment 2).

Item 5. Fire Protection Plan ADDENDUM – Prohibited Plant List. The Proposed prohibited plant list (Attachment 5) has been edited to remove California pepper (*Schinus mole*), camphor tree (*Cinnamomum camphora*), bottle brush (*Callistemon* sp) with proper maintenance, olive tree (*Olea europa*), manzanita (*Arctostaphylos* sp.), coyote bush (*Baccharis* sp.), iceplant (*Carpobrotus* sp), English ivy (*Hedera helix*) with maintenance, Mahonia (*Mahonia* sp), Laurel sumac (*Rhus lancea*) at low densities, purple nightshade (*Solanum xantii*) and periwinkle (*Vinca major*). These plants are proposed to be used in modest applications as isolated individuals within the interior landscape areas and be subject to ongoing maintenance to address their accumulation of debris. This prohibited plant list shall supersede the palettes presented in the 2014 FPP (FPP Attachment 3).



Dudek has reviewed the proposed changes to the site plan, plant palette and prohibited plant lists and find that the proposed changes are acceptable and do not conflict with the intent of the 2014 FPP. In addition, the Project will apply all applicable Chapters of the 2022 Fire and Building Codes, including Chapters 49 of the CFC and Chapter 7A of the CBC).

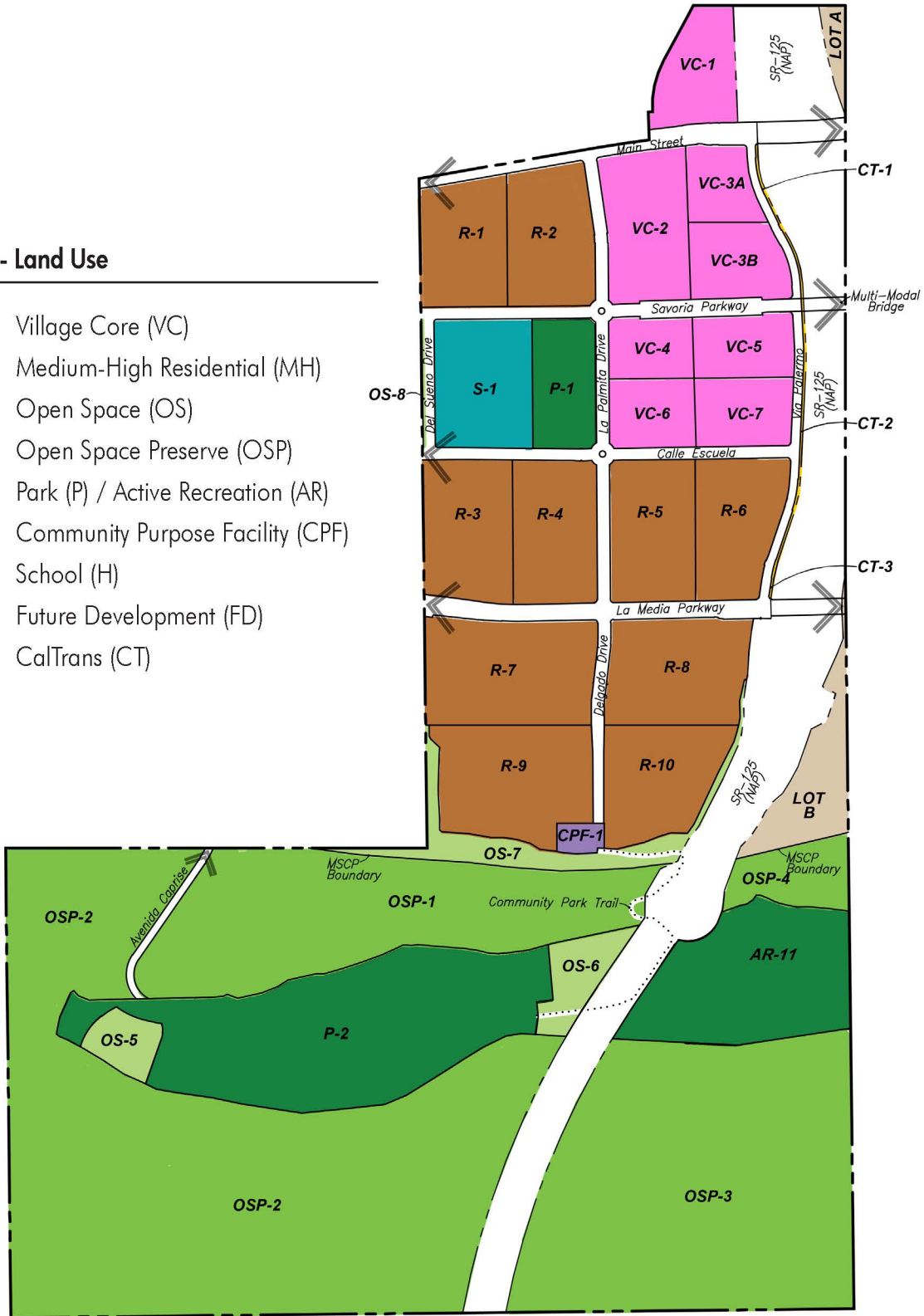
Please feel free to contact me at (619) 992-9161, if you have any questions or require any additional information.

Attachment 1

Updated FPP Figure 1 –Site Plan and Updated Site
Utilization Plan

Legend - Land Use

	Village Core (VC)
	Medium-High Residential (MH)
	Open Space (OS)
	Open Space Preserve (OSP)
	Park (P) / Active Recreation (AR)
	Community Purpose Facility (CPF)
	School (H)
	Future Development (FD)
	CalTrans (CT)

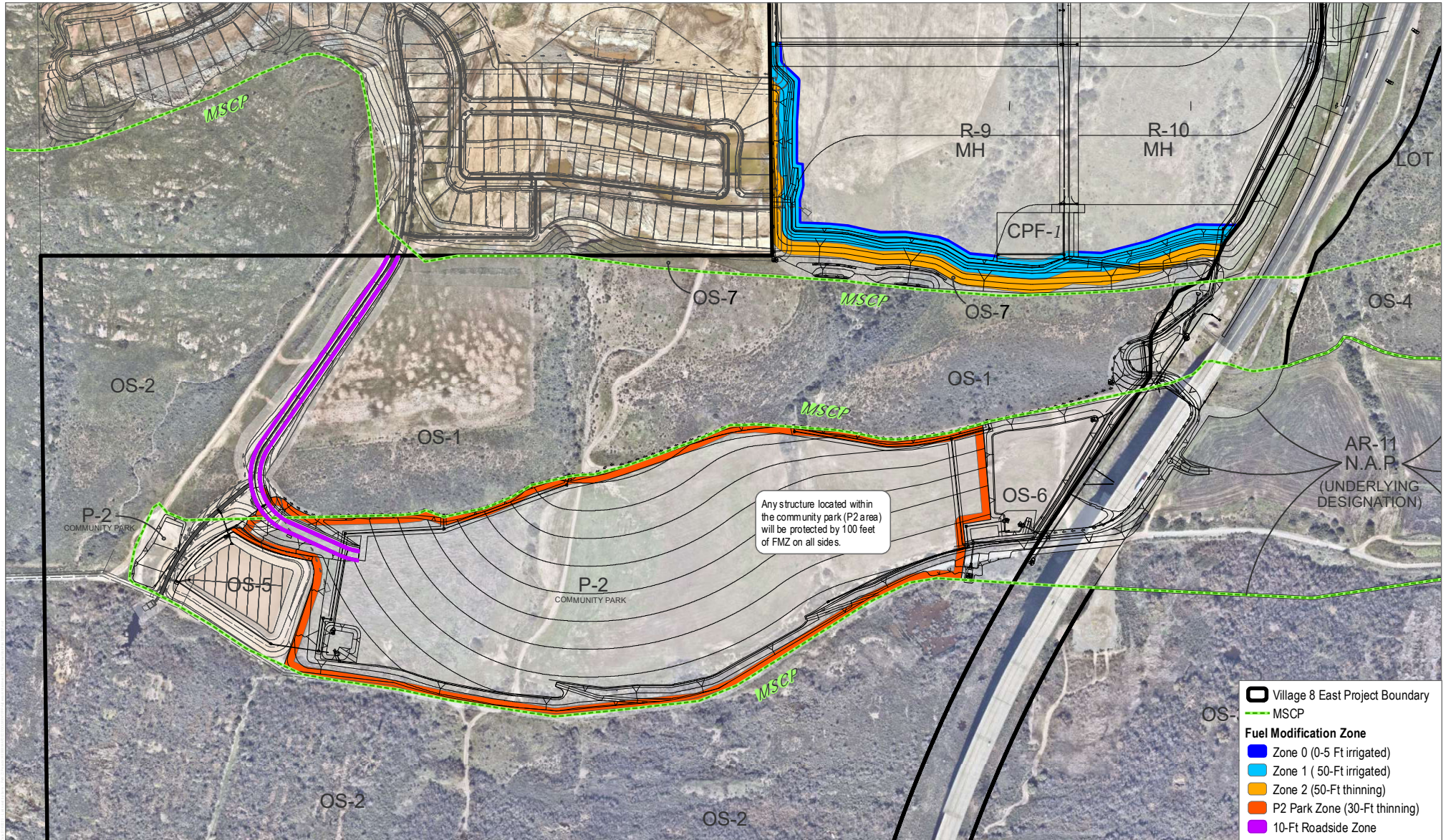


Site Utilization Plan



Attachment 2

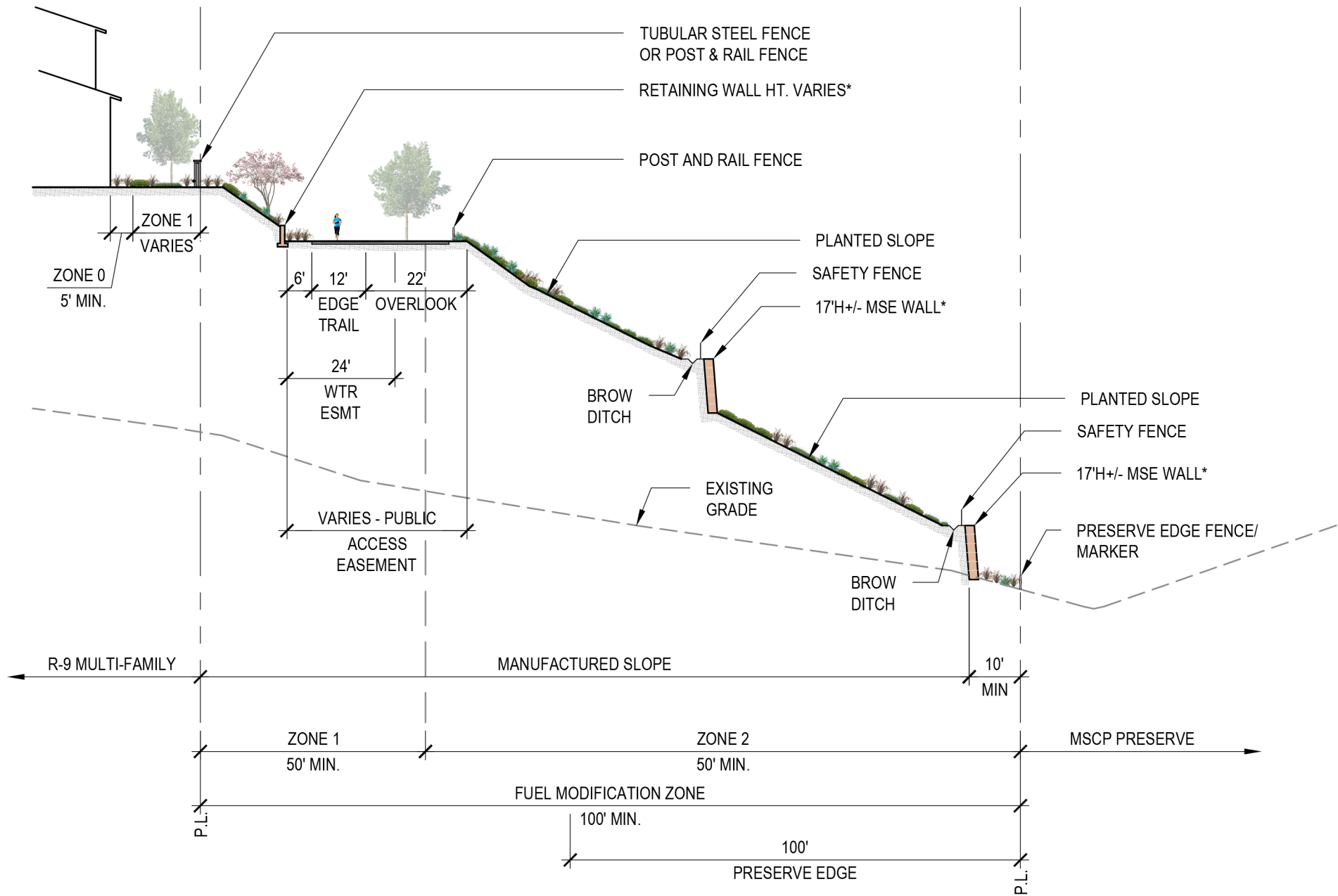
Updated FPP Figure 12 –Village 8 East Fuel Modification
Zone Exhibit Revised Village 8 East TM



SOURCE: Hursaker 2022; SAN GIS 2022

Attachment 3a

Updated FPP Figure 13 – Perimeter Wall at Preserve Edge



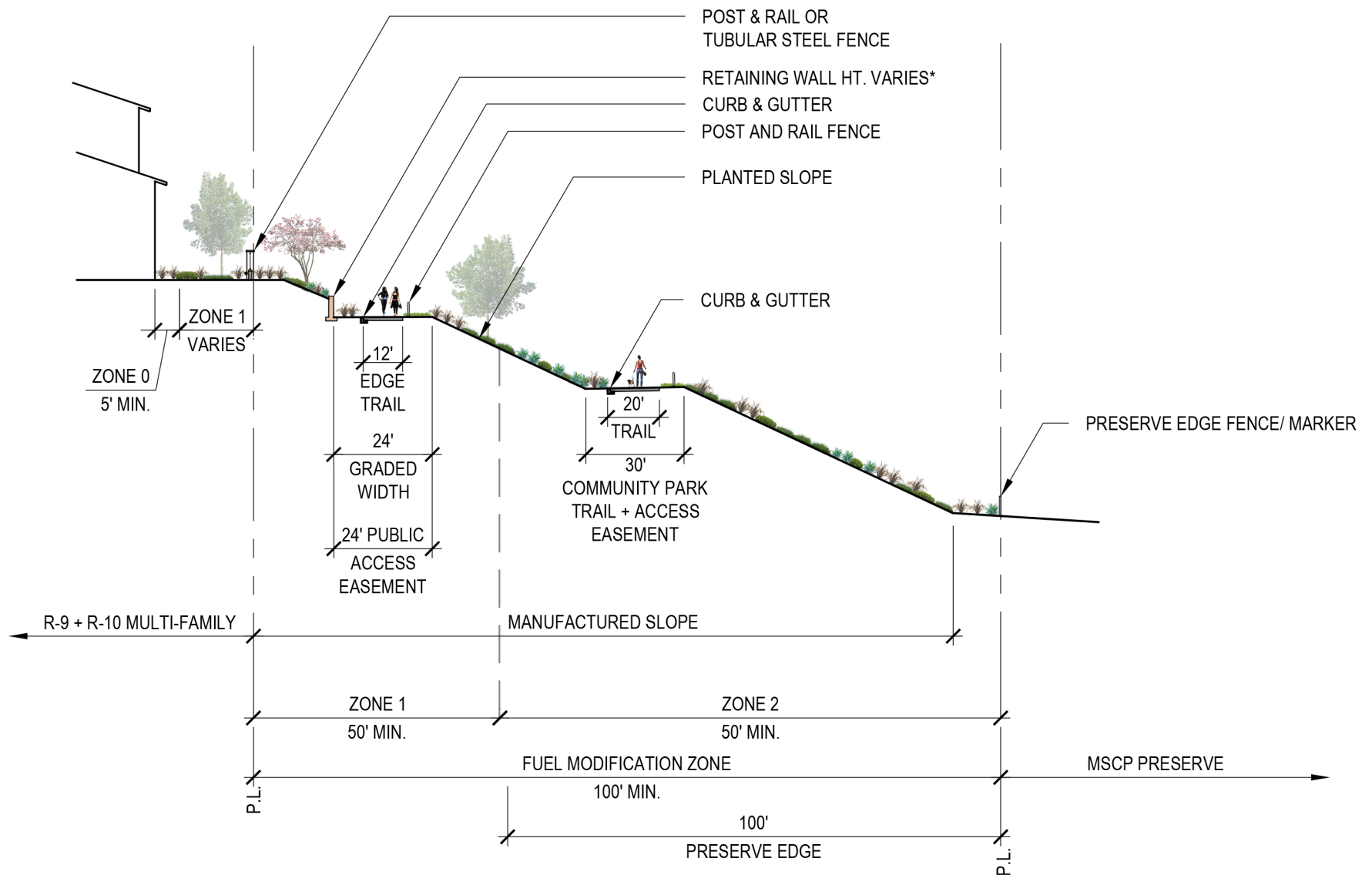
NOTE: * FINAL ELEVATIONS TO BE DETERMINED ON GRADING PLAN

Otay Ranch

Village 8 East - Preserve Edge Plan

Section 01 - Multi-Family to Preserve with MSE

01 Feb 24



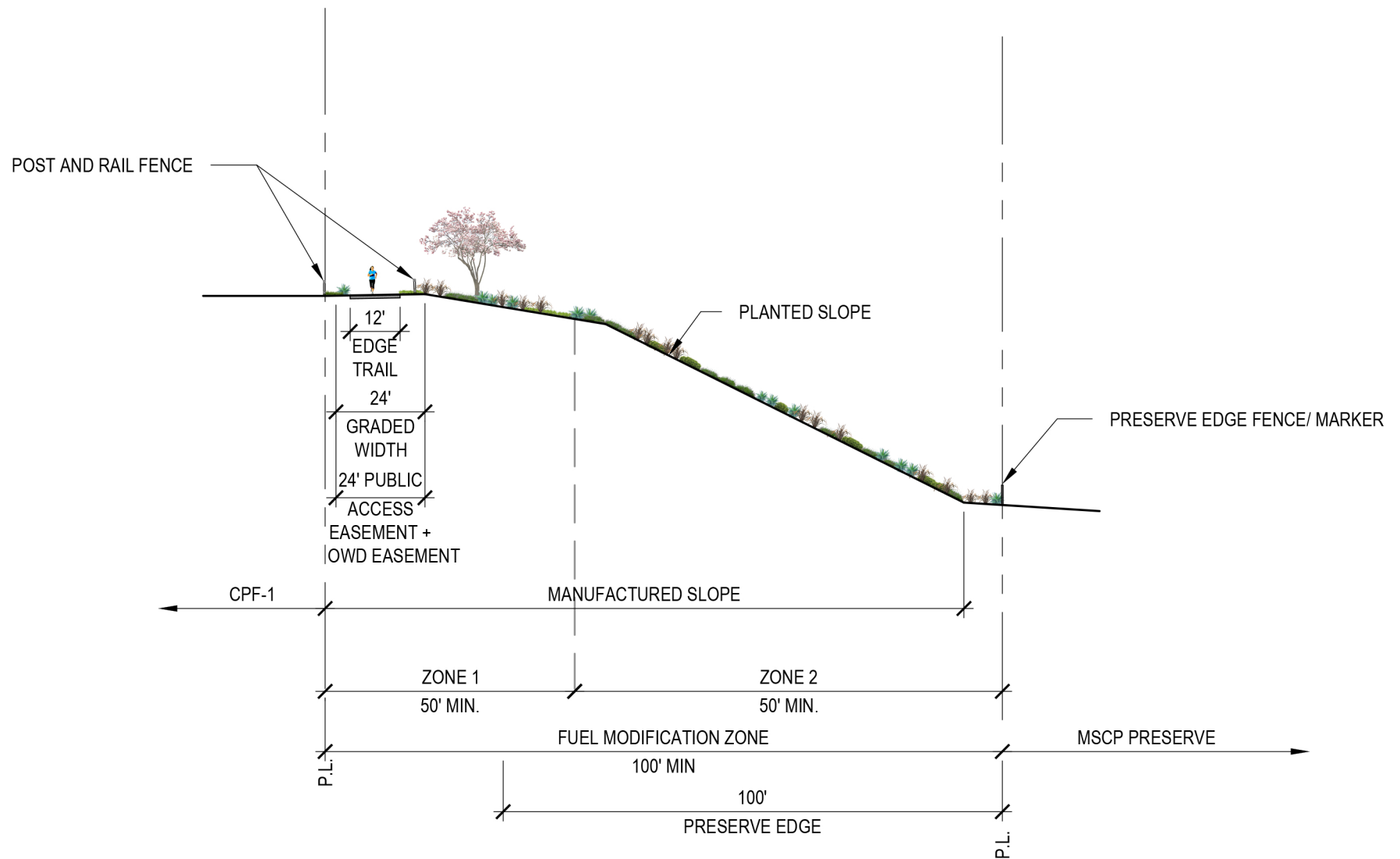
NOTE: * FINAL ELEVATIONS TO BE DETERMINED ON GRADING PLAN

Otay Ranch

Village 8 East - Preserve Edge Plan

Section 02 - Multi-Family to Preserve

22 Jan 24

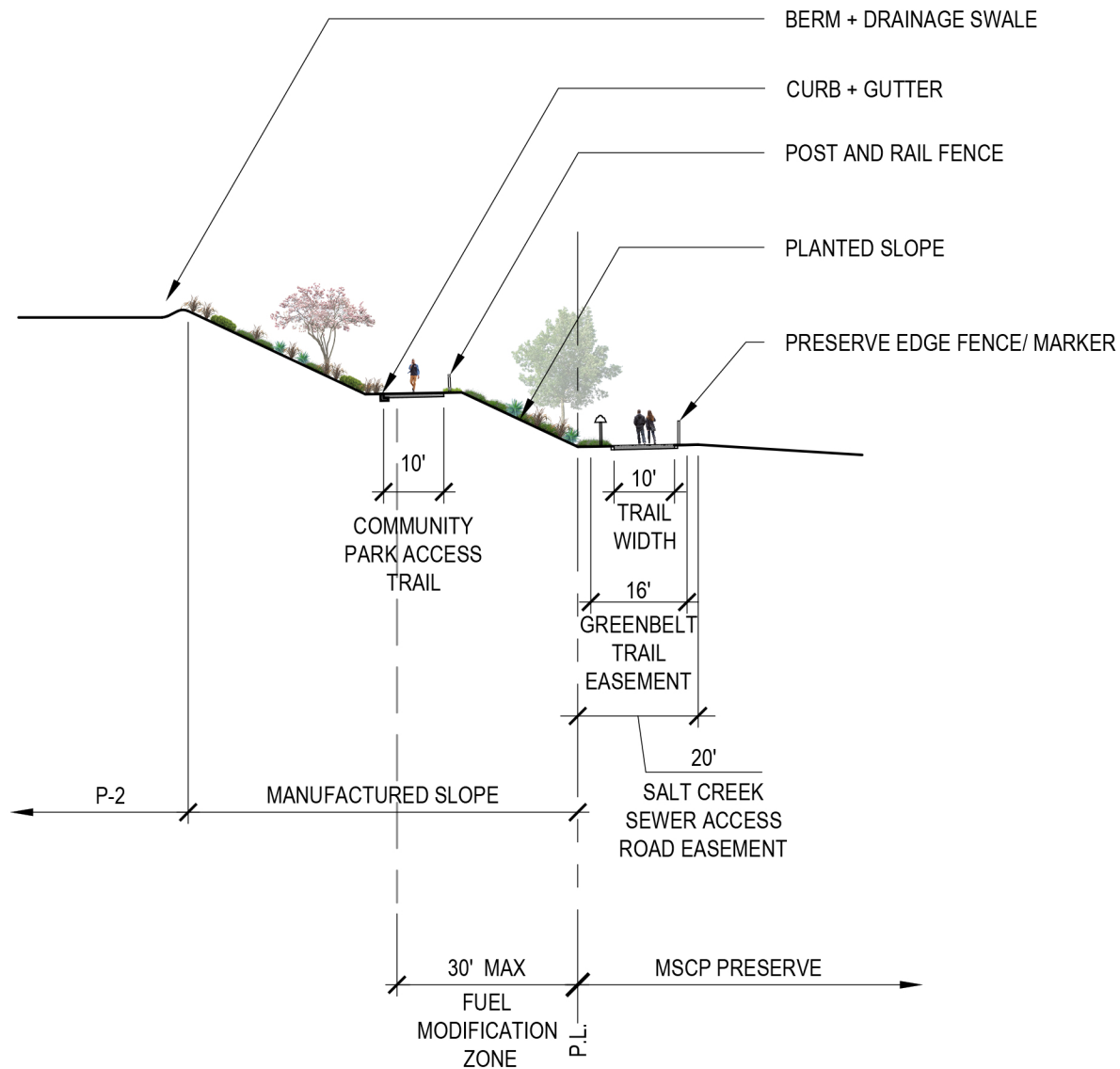


Otay Ranch

Village 8 East - Preserve Edge Plan

Section 03 - CPF1 to Preserve

02 Jan 24



Otay Ranch

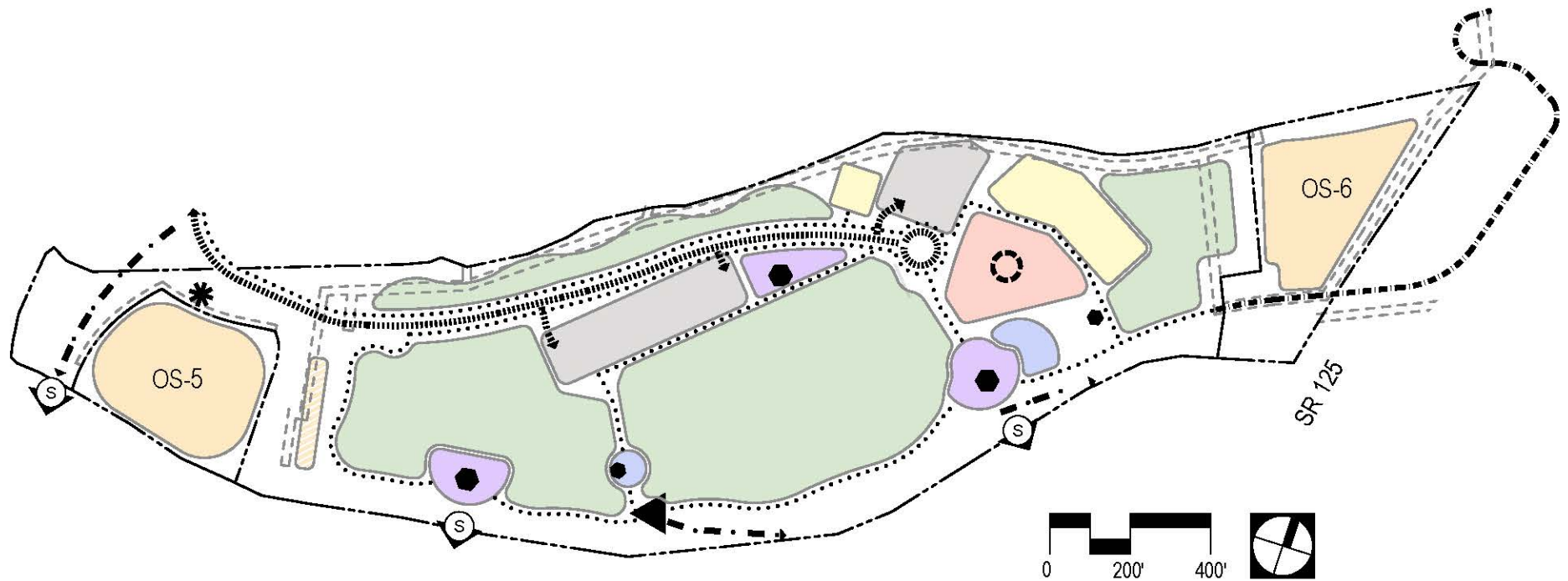
Village 8 East - Preserve Edge Plan

Section 04 - P2 to Preserve

02 Jan 24

Attachment 3b

V8 East Park Concept Section at P-2 Park Area



LEGEND

SYMBOL	DESCRIPTION		
	COMMUNITY CENTER		PEDESTRIAN CIRCULATION
	MULTI-USE SPORTS FIELDS		VEHICULAR CIRCULATION
	PICNIC AREA		COMMUNITY PARK TRAIL (MAINTENANCE + EMERGENCY ACCESS)
	PLAY AREA		GREENBELT TRAIL CONNECTION
	SPORTS COURTS		PARKING AREA
	WATER QUALITY DETENTION BASIN		SCENIC OVERLOOK
	CONCEPTUAL PARK WATER QUALITY DETENTION BASIN		LARGE SHADE STRUCTURE
	LANDMARK MONUMENT		SMALL SHADE STRUCTURE
	RESTROOM MAINTENANCE		TRAIL STAGING AREA
			30' FUEL MOD ZONE
			LOT LINE
			EASEMENT

Attachment 4

Updated FPP Attachment 2 – Approved

Plant Lists

ATTACHMENT “A”

VILLAGE 8 EAST BRUSH MANAGEMENT, PRESERVE EDGE & COMMUNITY PARK

APPROVED PLANT LIST – December 2023

Brush Management Modification (Zones 1 & 2)

Plant and seed material should be locally sourced to the greatest extent possible to avoid genetically compromising existing Preserve vegetation. Notes provided below must be adhered to and planting must be implemented in accordance with the Chula Vista Fire Department’s fuel modification guidelines summarized in the Village 8 East Fire Protection Plan and 2023 Addendum.

Trees

Botanical Name	Common Name	BMZ	Notes
<i>Cercis occidentalis</i>	Western Redbud	1	
<i>Heteromeles arbutifolia</i>	Toyon	*	See Note 'A' below
<i>Parkinsonia</i> x 'Desert Museum'	Desert Museum Palo Verde	1	
<i>Platanus racemosa</i>	California Sycamore	1	
<i>Prosopis chilensis</i>	Chilean Mesquite	1	
<i>Prunus ilicifolia</i> 'ilicifolia'	Hollyleaf Cherry	1	
<i>Quercus agrifolia</i>	Coast Live Oak	1	
<i>Quercus engelmannii</i>	Engelmann Oak	1	
<i>Rhus lancea</i>	African Sumac	1	See Note 'B' below

Shrubs, Cacti & Ground Covers

<i>Agave attenuata</i>	Foxtail Agave	1	
<i>Atriplex semibacatta</i>	Berry Saltbush	1	
<i>Baccharis pilularis</i> 'Pigeon Point'	Dwarf Coyote Brush	1 & 2	See Note 'C' below
<i>Cotoneaster dammeri</i> 'Lowfast'	Bearberry Cotoneaster	1	
<i>Encelia californica</i>	California Encelia	2	
<i>Encelia farinose</i>	California Encelia	1 & 2	
<i>Epilobium californicum</i>	California Fuschia	1 & 2	
<i>Epilobium canum</i>	California Fuschia	1 & 2	
<i>Galvezia speciosa</i> 'Fire Cracker'	Bush Snapdragon	2	
<i>Heteromeles arbutifolia</i>	Toyon	*	See Note 'A' below
<i>Isomeris arborea</i>	Bladder Pod	2	
<i>Isocoma menziesii</i> ‘Manziesii’	Coast Goldenbush	2	
<i>Iva hayesiana</i>	San Diego Marsh Elder	*	
<i>Limonium perezii</i>	Statice	1	
<i>Myoporum parvifolium</i> 'Putah Creek'	Creeping Myoporum	1	
<i>Nassella pulchra</i>	Purple Needle Grass	2	
<i>Opuntia littoralis</i>	Coastal Prickly Pear Cactus	2	See Note 'E' below
<i>Opuntia oricola</i>	No Common Name	2	See Note 'E' below
<i>Phyla nodiflora</i>	Kurapia	1	
<i>Rhamnus crocea</i>	Redberry	*	
<i>Rhus integrifolia</i>	Lemonade Berry	*	
<i>Rhus ovata</i>	Sugarbush	*	
<i>Salvia apiana</i>	White Sage	2	See Note 'F' below

Botanical Name	Common Name	BMZ	Notes
Simmondsia chinensis	Jojoba	*	See Note 'F' below
Trichostema lanatum	Woolly Blue Curls	*	
Viguiera laciniata	San Diego Sunflower	2	
Yucca schidigera	Mojave Yucca	1 & 2	
Yucca whipplei	Our Lord's Candle	1 & 2	

Hydroseed Application

Plant and seed material should be locally sourced to the greatest extent possible to avoid genetically compromising existing Preserve vegetation

Acmispon americanus	Purshing's lotus	1
Acmispon heermannii	Heerman's lotus	1
Cryptantha intermedia	Common cryptantha	1
Eschscholzia californica	Coastal California Poppy	1
Helianthemum scoparium	Sun Rose	1
Lasthenia gracilis	California Goldfields	1
Lupinus bicolor	Miniature Lupine	1
Sisyrinchium bellum	Blue Eyed Grass	1
Corethrogyne filaginifolia	Sand Aster	2
Encelia farinosa	California Encelia	2
Ericameria palmeri	Palmer's goldenbush	2
Eriophyllum confertiflorum	Golden Yarrow	2
Galium angustifolium	Narrow leaved bedstraw	2
Hazardia squarrosa	Sawtooth goldenbush	2
Hemizonia fasciculata	Common Tarplant	2
Isocoma menziesii	Menzies' goldenbush	2
Iva hayesiana	San Diego Marsh Elder	*
Lasthenia californica	Dwarf goldfields	2
Lupinus excubitus	Grape soda lupine	2
Viguiera laciniata	San Diego Sunflower	2

Brush Management Notes:

- * Indicates larger shrubs that may be utilized in Zone 2, in cluster of no more than 400 SF
- A May be planted within Fuel Management Zone 1 up to 10% of the plant palette mix. No single mass shall exceed 400 sf. These shall be spaced such that the nearest shrub is no closer than the tallest shrub height (at maturity)
- B Plant acceptable on a limited basis (Max. 30% of the area at the time of planting)
- C Only local native shrub species will be utilized. No cultivars shall be permitted.
- D Plant acceptable on a limited basis (Max. 30% of the area at the time of planting)
- E Plants must be locally sourced
- F May be planted in limited quantities and must be properly spaced

Community Park P-2 Plant List

Trees

Arbutus 'Marina'	Marina Strawberry Tree
Brachychiton populneus	Bottle Tree
Cassia leptophylla	Gold Medallion Tree
Citrus species	Citrus
Cupaniopsis anacardioides	Carrotwood
Dracaena draco	Dragon Tree
Eriobotrya deflexa	Bronze Loquat

Botanical Name	Common Name	BMZ	Notes
<i>Geijera parviflora</i>	Australian Willow		
<i>Jacaranda mimisifolia</i>	Jacaranda		
<i>Koelreuteria bipinnata</i>	Chinese Flame Tree		
<i>Lagerstroemia indica</i>	Lavender Crape Myrtle		
<i>Ligustrum lucidum</i>	Glossy Privet		
<i>Lophostemon confertus</i>	Brisbane Box		
<i>Magnolia grandiflora</i>	Magnolia		
<i>Metrosideros excelsa</i>	New Zealand Christmas Tree		
<i>Olea europea</i> 'Willsonii'	Fruitless Olive		
<i>Parkinsonia</i> x 'Desert Museum'	Desert Museum Palo Verde		
<i>Platanus acerifolia</i>	London Plane Tree		
<i>Platanus racemosa</i>	California Sycamore		
<i>Quercus agrifolia</i>	Coast Live Oak		
<i>Quercus engelmannii</i>	Englemann Oak		
<i>Quercus ilex</i>	Holly Oak		
<i>Rhus lancea</i>	African Sumac		
<i>Tipuana tipu</i>	Tipu Tree		
<i>Ulmus parvifolia</i> 'Drake'	Drake Evergreen Elm		

Shrubs, Cacti, Ornamental Grasses & Ground Covers

<i>Agave attenuata</i>	Foxtail Agave
<i>Aloe</i> species	Aloe
<i>Anigozanthos</i> species	Kangaroo Paw
<i>Baccharis pilularis</i> 'Pigeon Point'	Dwarf Coyote Brush
<i>Bougainvillea</i> species	Bougainvillea
<i>Callistemon citrinus</i> 'Little John'	Little John Bottlebrush
<i>Carex</i> species	Sedge
<i>Ceanothus</i> cultivars	Ceanothus
<i>Chondropetalum tectorum</i>	Cape Rush
<i>Cistus</i> species	Rockrose
<i>Clematis</i> species	Evergreen Clematis Vine
<i>Cordyline australis</i> 'Atropurpurea'	Bronze Dracena
<i>Cotoneaster dammeri</i> 'Lowfast'	Bearberry Cotoneaster
<i>Crassula</i> species	Crassula
<i>Dietes vegeta</i>	Fortnight Lily
<i>Echium fastuosum</i>	Pride of Madeira
<i>Encelia californica</i>	California Encelia
<i>Encelia farinose</i>	California Encelia
<i>Euonymus</i> species	Euonymus
<i>Feijoa sellowiana</i>	Pineapple Guava
<i>Festuca</i> species	Fescue
<i>Ficus pumila</i>	Creeping Fig
<i>Grevillea</i> 'Noellii'	Noel Grevillea
<i>Grewia occidentalis</i>	Lavender Starflower
<i>Helichrysum petiolare</i> 'Limelight'	Limelight Licorice Plant
<i>Hesperaloe</i> species	Red Yucca
<i>Heteromeles arbutifolia</i>	Toyon
<i>Ilex</i> species	Holly
<i>Lantana</i> species	Lantana
<i>Leucophyllum</i> species	Texas Ranger
<i>Leymus condensatus</i> 'Canyon Prince'	Canyon Prince Wild Rye

Botanical Name	Common Name	BMZ	Notes
Ligustrum japonicum 'Texanum'	Texas Privet		
Limonium perezii	Statice		
Mahonia aquifolium	Oregon Grape		
Mimulus cardinalis	Scarlet Monkeyflower		
Muhlenbergia rigens	Deergrass		
Myoporum parvifolium 'Putah Creek'	Creeping Myoporum		
Myrtus communis	Myrtle		
Nassella pulchra	Purple Needle Grass		
Nephrolepis cordifolia	Sword Fern		
Phormium species	New Zealand Flax		
Phyla nodiflora	Kurapia		
Pittosporum crassifolium 'Compactum'	Evergreen Pittosporum		
Pittosporum tobira 'Wheeler's Dwarf'	Wheeler's Dwarf Pittosporum		
Podocarpus 'Icee Blue' (Columnar)	Icee-Blue Yellow-Wood		
Podocarpus macrophyllus 'Maki'	Shrubby Yew Pine		
Portulcaria afra	Elephant's Food		
Portulcaria afra 'Minima'	Elephant's Mat		
Prunus caroliniana	Carolina Cherry		
Pyracantha species	Firethorn		
Raphiolepis indica	Indian Hawthorn		
Raphiolepis umbellata 'Minor'	Dwarf Yedda Hawthorne		
Rhus integrifolia	Lemonade Berry		
Rhus ovata	Sugarbush		
Rosmarinus species	Rosemary		
Salvia apiana	White Sage		
Scaevola 'Mauve Clusters'	Mauve Clusters Pincushion Flower		
Strelitzia nicolai	Giant Bird of Paradise		
Strelitzia reginae	Bird of Paradise		
Tecoma species	Esperanza		
Tecomaria capensis	Cape Honeysuckle		
Thuja occidentalis 'Degroots Spire'	Degroots Spire Arbovitae		
Trachelospermum jasminoides	Star Jasmine		
Tulbaghia violacea	Sweet Garlic		
Westringia fruticosa 'Mundi'	Low Coast Rosemary		
Wisteria sinensis	Chinese Wisteria		
Turf			
Festuca Aquawise Sportslube Mix (from seed)	Sports Field Fescue Mix		
Dwarf Tall Fescue (sod)	Marathon II		
Cynodon dactylon 'Bandera'	Bandera Bermuda Grass		

Hydroseed Application

Plant and seed material should be locally sourced to the greatest extent possible to avoid genetically compromising existing Preserve vegetation.

Acmispon americanus	Purshing's lotus
Acmispon heermannii	Heerman's lotus
Cryptantha intermedia	Common cryptantha
Eschscholzia californica	Coastal California Poppy

Botanical Name	Common Name	BMZ	Notes
<i>Helianthemum scoparium</i>	Sun Rose		
<i>Lasthenia gracilis</i>	California Goldfields		
<i>Lupinus bicolor</i>	Miniature Lupine		
<i>Sisyrinchium bellum</i>	Blue Eyed Grass		
<i>Corethrogyne filaginifolia</i>	Sand Aster		
<i>Encelia farinosa</i>	California Encelia		
<i>Ericameria palmeri</i>	Palmer's goldenbush		
<i>Eriophyllum confertiflorum</i>	Golden Yarrow		
<i>Galium angustifolium</i>	Narrow leaved bedstraw		
<i>Hazardia squarrosa</i>	Sawtooth goldenbush		
<i>Hemizonia fasciculata</i>	Common Tarplant		
<i>Isocoma menziesii</i>	Menzies' goldenbush		
<i>Iva hayesiana</i>	San Diego Marsh Elder		
<i>Lasthenia californica</i>	Dwarf goldfields		
<i>Lupinus excubitus</i>	Grape soda lupine		

Attachment 5

Updated FPP – Village 8 East Prohibited Plant List

Appendix A

Prohibited Plant List - Updated October 2022

TREES

Botanical Name	Common Name	Resources
Abies species	Fir Trees	S
Acacia species	Acacia	HS
Agonis juniperina	Juniper Myrtle	S
Araucaria species	Norfolk Island Pine	S
Callistemon species	Bottlebrush	H
Cedrus species	Cedar	HS
Chamaecyparis species	False Cypress	S
Cinnamomum camphora¹	Camphor Tree	H
Conifers ²		H
Cryptomeria japonica	Japanese Cryptomeria	S
Cupressocyparis leylandii	Leylandii Cypress	S
Cupressus forbesii	Tecate Cypress	S
Cupressus glabra	Arizona Cypress	S
Cupressus sempervirens	Italian Cypress	S
Cupressus species	Cypress species	H
Eucalyptus species	Eucalyptus species	HS
Eucalyptus	Most Eucalyptus Species	K
Juniperus species	Juniper	H
Larix species	Larch	S
Olea europea	Olive Tree	H
Palmae species	Palms	HS**
Parkinsonia aculeata	Mexican Palo Verde	K
Pinus species	Pine	HS**
Pittosporum undulatum	Victorian Box	K
Podocarpus species	Fern Pine	S
Prunus caroliniana	Carolina Cherry Laurel	K
Prunus lyonil	Catalina Cherry	K
Pseudotsuga menziesii	Douglas Fir	S
Quercus engelmannii	Englemann Oak	K
Quercus suber	Cork Oak	K
Schinus mole	California Pepper Tree	H
Tamarix species	Tamarix	C
Taxodium species	Cypress	S
Taxus species	Yew	S
Tsuga species	Hemlock	S
Washingtonia filifera	California Fan Palm	

GROUNDCOVERS, SHRUBS & VINES

Botanical Name	Common Name	Resources
Acacia species	Acacia	HS
Achillia millefolium	Common Yarrow	K
Adenostoma fasciculatum	Chamise	HS
Adenostoma sparsifolium	Red Shanks	HS
Aeonium decorum	Aeonium	K
Aeonium simsii	ncn	K
Ajuga reptans	Carpet Bugle	K
Anthemix cotula	Mayweed	H
Aptenia cordifolia x 'Red Apple'	Red apple	K
Arbutus menziesii	Madrone	H
Arctostaphylos species¹	Manzanita	H
Artemisia pycnocephala	Beach Sagewort	K
Artemisia californica	California Sagebrush	HS
Artemisia caucasica	Caucasia Artemisia	H
Artemisia pycnocephala	Sandhill Sage	H
Artemisia species		H
Arundo donax	Giant Cane	C
Atriplex species	Saltbush	H
Atriplex canescens	Four-Wing Saltbush	K
Atriplex lentiformis ssp. Breweri	Brewer Saltbush	K
Baccharis pilularis consanguinea	Chaparral Bloom	H
Baccharis pilularis var. pilularis	Twin Peaks	K
Baccharis species	Coyote Bush	H
Bambusa species	Bamboo	S
Bougainvillea species	Bougainvillea	H
Brassica nigra	Black Mustard	H
Brassica rapa	Yellow Mustard	H
Cardaria draba	Hoary Cress, Perennial Peppergrass	H
Carpobrotus species¹	Ice Plant, Hottentot Fog	H
Carpobrotus chilensis	Sea Fig Ice Plant	K
Chrysanthemum leucanthemum	Oxeye Daisy	K
Cirsium vulgare	Wild Artichoke	H
Conyza canadensis	Horseweed	H
Coprosma pumila	Prostrate Coprosma	S
Cortaderia selloana	Pampas Grass	HC
Crassula Lactea	ncn	K
Crassula multicava	ncn	K
Crassula ovata	Jade Tree	K
Crassula tetragona	ncn	K
Cytisus Spp.	Scotch Broom, French Broom, etc.	HC
Delosperma 'alba'	White Trailing Ice Plant	K
Dodonea viscosa	Hopseed Bush	S
Drosanthemum floribundum	Rosea Ice Plant	K
Drosanthemum hispidum	ncn	K
Drosanthemum speciosum	Dewflower	K
Eriogonum fasciculatum ²	Common Buckwheat	H
Eriogonum species ³	Common Buckwheat	HS

GROUNDCOVERS, SHRUBS & VINES

Botanical Name	Common Name	Resources
Eschscholzia Mexicana	Mexican Poppy	K
Fremontodendron species	Flannel Bush	H
Gaillardia x grandiflora	Blanketflower	K
Gazania hybrids	South African Daisy	K
Gaxania rigens leucolaen	Trailing Gazaniz	K
Hedera helix¹	English Ivy	H
Helix canariensis ¹	English Ivy	K
Heterotheca grandiflora	Telegraph Plant	HS
Hypericum calycinum	Aaron's Beard	K
Juniperus species	Juniper	S
Lactuca serriola	Prickly Lettuce	H
Lampranthus aurantiacus	Bush Ice Plant	K
Lampranthus filicaulis	Redondo Creeper	K
Lampranthus spectabilis	Trailing Ice Plant	K
Limonium pectinatum	ncn	K
Limonium perezii	Sea Lavendar	K
Lonicera japonica	Japanese Honeysuckle	S
Lonicera japonica 'Halliana'	Hall's Japanese Honeysuckle	K
Lotus coniculatus	Bird's Foot Trefoil	K
Mahonia species	Mahonia	H
Malephora luteola	Trailing Ice Plant	K
Miscanthus species	Eulalie Grass	S
Muehlenbergia species	Deer Grass	S
Nerium oleander	Oleander	K
Nicotania bigelovii	Indian Tobacco	H
Nicotania glauca	Tree Tobacco	H
Ophiopogon japonicus	Mondo Grass	K
Osteospermum fruticosum	Trailing African Daisy	K
Penstemon spectabilis	Beard Tongue	K
Pennisetum setaceum	Fountain Grass	C
Perronskia Atripliciflora	Russian Sage	H
Pickeringia 'Montana'	Chaparral Pea	S
Plantago sempervirens	Evergreen Plantain	K
Portulacaria afra	Elephant's Food	K
Potentilla tabemaemontanii	Spring Cinquefoil	K
Rhamnus Alaternus	Italian Buckhorn	K
Rhus Diversiloba	Poison Oak (worker/firefighter safety)	H
Rhus laurina ³	Laurel Sumac	H
Rhus Lentii	Pink Flowering Sumac	H
Ricinus communis	Castor Bean	H
Romneya coulteri 'white cloud'	White Cloud Matilija Poppy	K
Rosmarinus species ³	Rosemary	S
Salsola austrails	Russian Thistle	H
Salvia mellifera	Black Sage	S
Salvia species	Sage	H
Sedum acre	Goldmoss Sedum	K
Sedum album	Green Stonecrop	K

³ Rosemariuns species (dwarf) is acceptable for use within this project area.

GROUNDCOVERS, SHRUBS & VINES

Botanical Name	Common Name	Resources
Sedum confusum	ncn	K
Sedum ilineare	ncn	K
Sedum x rubrotinctum	Pork and Beans	K
Senecio serpens	ncn	K
Solanum xanthii ³	Purple Nightshade (toxic)	H
Silybum marianum	Milk Thistle	H
Tamarix Spp.	Tamarisk	K
Tecomaria capensis	Cape Honeysuckle	K
Thuja species	Arborvitae	S
Trifolium hirtum ‘Hyron’	Hyron Rose Clover	K
Trifolium fagiferum ‘O’Connor’s’	O’Connor’s Legume	K
Urtica urens	Burning Nettle	S
Verbena species	Verbena	K
Vinca major	Periwinkle	H
Vinca minor	Dwarf Periwinkle	K
Vulpamyros ‘Zorro’	Zorro Annual Fescut	K
Yucca species	Yucca	K

Exceptions

1. The use of palm trees is prohibited within any Brush Management Zones, however Palm trees may be permitted within the development (in moderation), with prior approval from the City of Chula Vista Fire Department. Proper spacing, irrigation and maintenance required.
2. Bougainvillea species may be used within the FPPA “B” Brush Management Zones, (in very moderate amounts), with prior approval from the City of Chula Vista Fire Department.
3. Pursuant to San Diego County Fire Chiefs Association Fuel Modification Zone Plant List (July 15, 1997), plant species prohibited in fuel modification zones adjacent to reserve [Fire Protection Planning Area “A”] lands (acceptable on all other fuel modification locations and zones).

OTAY RANCH VILLAGE 8 EAST

CITY OF CHULA VISTA NET FISCAL IMPACT MODEL SUMMARY REPORT

April 2024

Prepared for:

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ATTACHMENTS

- A Village 8 East City Fiscal Model and Summary of Adjustment to City of Chula Vista Fiscal Impact Analysis Model – Proposed Project Scenario
- B Village 8 East City Fiscal Model and Summary of Adjustment to City of Chula Vista Fiscal Impact Analysis Model – Historic Land Uses Scenario

1.0 Executive Summary

1.1 Background & Purpose

Otay Ranch Village 8 East is a 572-acre mixed use village located in the southern portion of Otay Ranch (“Village 8 East”). HomeFed Otay Land II, LLC (“HomeFed”) is currently pursuing entitlements which would amend land uses within Village 8 East (“Proposed Project”).

Otay Ranch Village 8 East is south of the extension of Main Street, north of the Otay River Valley, east of Village 8 West and west of SR-125. This urban village was originally approved by the Chula Vista City Council in 2014 and subsequently amended in 2020. Current entitlements accommodate a total of 3,276 residential units, including 943 detached homes, 1,893 attached homes and 440 multi-family units in a mixed-use setting, 20,000 square feet of retail/commercial uses, an elementary school site, a neighborhood park and the 51.5-acre (gross) Otay Ranch Community Park South. Access to the village is provided via the extension of Main Street and La Media Parkway with emergency and pedestrian access to the community park provided along a utility corridor in the southeast portion of Village 8 East. Primary access to the community park is via existing Avenida Caprise within Village 8 West.

HomeFed Otay Land II, LLC, (Applicant), proposes to amend the Village 8 East land use plan to reflect current market conditions and housing needs and to ensure the community relates more closely to the adjacent Village 8 West community and future Village 9 planned east of SR-125. The replanning effort also addresses the redesign of the SR-125 interchanges at Main Street and La Media Parkway.

Village 8 East Proposed Land Use: The Proposed Village 8 East Land Use Plan would include a Village Core area that would accommodate a mix of uses including multi-family residential and retail/commercial uses along with an elementary school site and a centrally located 7.3-acre neighborhood park. A future multi-modal bridge, planned to accommodate Neighborhood Electric Vehicles (NEV), bicycles and pedestrians is also planned in the Village Core linking Village 8 East and future Village 9.

The proposed project would include 20,000 square feet of commercial/retail uses 336 single-family homes, 275 senior housing (55+), and 1,328 for-sale townhomes. Other residential land uses include 1,073 multi-family residential units. The elementary school site has an underlying “High” residential land use designation that could accommodate 264 multi-family units if the site is not utilized as a school site.

The project also includes 253.6 acres of Preserve Open Space, 16.4 acres of manufactured slopes/basins and the 22.6-acre active recreation site (AR-11) located east of SR-125. The 43.3-acre (gross) Otay Ranch Community Park South is located south of Village 8 East. An existing water quality basin that serves Village 8 West is located in the western portion of the community park and the proposed project includes an additional water quality basin in the eastern portion of the community park to serve Village 8 East.

In order to provide fiscal revenue information pertinent to the City's evaluation of the Proposed Project, the City requested that HomeFed prepare a summary of the City's Net Fiscal Impact Model to estimate the fiscal impacts of both the Proposed Project and Historic Land Use scenarios. HomeFed retained Development Planning & Financing Group ("DPFG") to prepare the City's Net Fiscal Impact Model and RH Consulting Group to prepare this summary which includes the following:

- DPFG prepared a fiscal impact analysis using the Fiscal Year 2023/2024 City's Fiscal Impact Model ("Fiscal Model") for both the Proposed Project and Historic Land Uses scenarios. In order to provide the most conservative model outcomes, DPFG assumed build-out of all residential units but did not include commercial development in either model.
- DPFG utilized the Fiscal Model to prepare an analysis.
- DPFG adjusted the Fiscal Model to account for property turnover and reassessment of property taxes upon turnover/resale that will occur.
- DPFG adjusted the Fiscal Model to account for HOA maintained parks that will offset anticipated City park expenditures.
- The adjusted Fiscal Model indicates the following:
 - The Proposed Project scenario generates positive City revenues from years 1 through 20 and approximately \$48,014,928 in cumulative net positive revenue over 20 years; and
 - The Historic Land Uses scenario generates positive City revenues from years 1 through 20 and approximately \$70,520,087 in cumulative net positive revenue over 20 years.
- The Fiscal Model demonstrates that municipal revenues from the Proposed Project would fully offset the cost of providing municipal services, while generating net positive revenues to the City.

1.2 City Net Fiscal Impact Model

This report summarizes the Fiscal Model outputs prepared for the City. The Proposed Project Fiscal Model and Historic Land Use Fiscal Model outputs are provided as Attachments "A" and "B" respectively. The Fiscal Models were adjusted to incorporate the following assumptions:

1. The home prices used in the Fiscal Models are based on actual Village 8 West home sales that occurred between March 2022 and January 2023.
2. An increase in the assessed value of residential property due to turnover (resale) was estimated using an annual escalation factor of 3.5%, which is consistent with the historical average of several recognized indices, including Case Shiller, California Association of Realtors, Federal Reserve, and Zillow. An escalation factor of 3.5% is considered conservative as available historic information between 1992 and 2022 has shown an average compound growth rate in home prices of 4.00% and 5.50%.
3. Average turnover (resale) of eight years was assumed for all residential units for the purpose of adjusting the assessed values to calculate property taxes. This turnover assumption is reasonable as information on the typical homeowner from the National Association of Realtors shows that the typical duration for owning a townhome or detached

single-family home is 6-8 years. In addition to typical turnover, in order to reflect similar assessed value increases over build-out of the residential portion of both Fiscal Model scenarios, the initial (year 1) home price assumption is increased by 3.5% until the initial year of sale for each unit which is then assumed to be the initial base year value. Over the next seven years, the base year value escalates by 2% over the prior year, consistent with California Constitution Article XIII A Section 2(b). In year eight, the initial base year value is reset assuming a reset of the assessed value based on an escalation factor of 3.5%. For the purposes of preparing the most conservative fiscal impact analysis, the Fiscal Models assumed no commercial or industrial turnover.

4. Land use assumption for the two scenarios are as follows:

Proposed Project:

- 1,928 for-sale homes
- 900 for-rent apartment homes
- 275 affordable housing apartment homes
- 173 for rent townhomes
- 20,000 SF Commercial

Historic Land Uses:

- 943 for-sale homes
- 2,333 for-rent apartment homes
- 20,000 SF Commercial

1.3 Village 8 East existing Development

The Village 8 East site is vacant and undeveloped.

1.4 Proposed Village 8 East Amendments (Proposed Project)

Amendments to the Chula Vista General Plan (CVGP), Otay Ranch General Development Plan (GDP), the Village 8 East SPA Plan, a Zoning change and a new tentative map are necessary to implement the Proposed Project. The proposed project would change the residential product types within Village 8 East. The Medium Residential category would be eliminated and Medium High, High Village Core Residential would be implemented within Village 8 East. The proposed project's unit count would remain consistent with the Historic entitlement of 3,276 units. The proposed project would establish a range of commercial uses within 20,000 square feet.

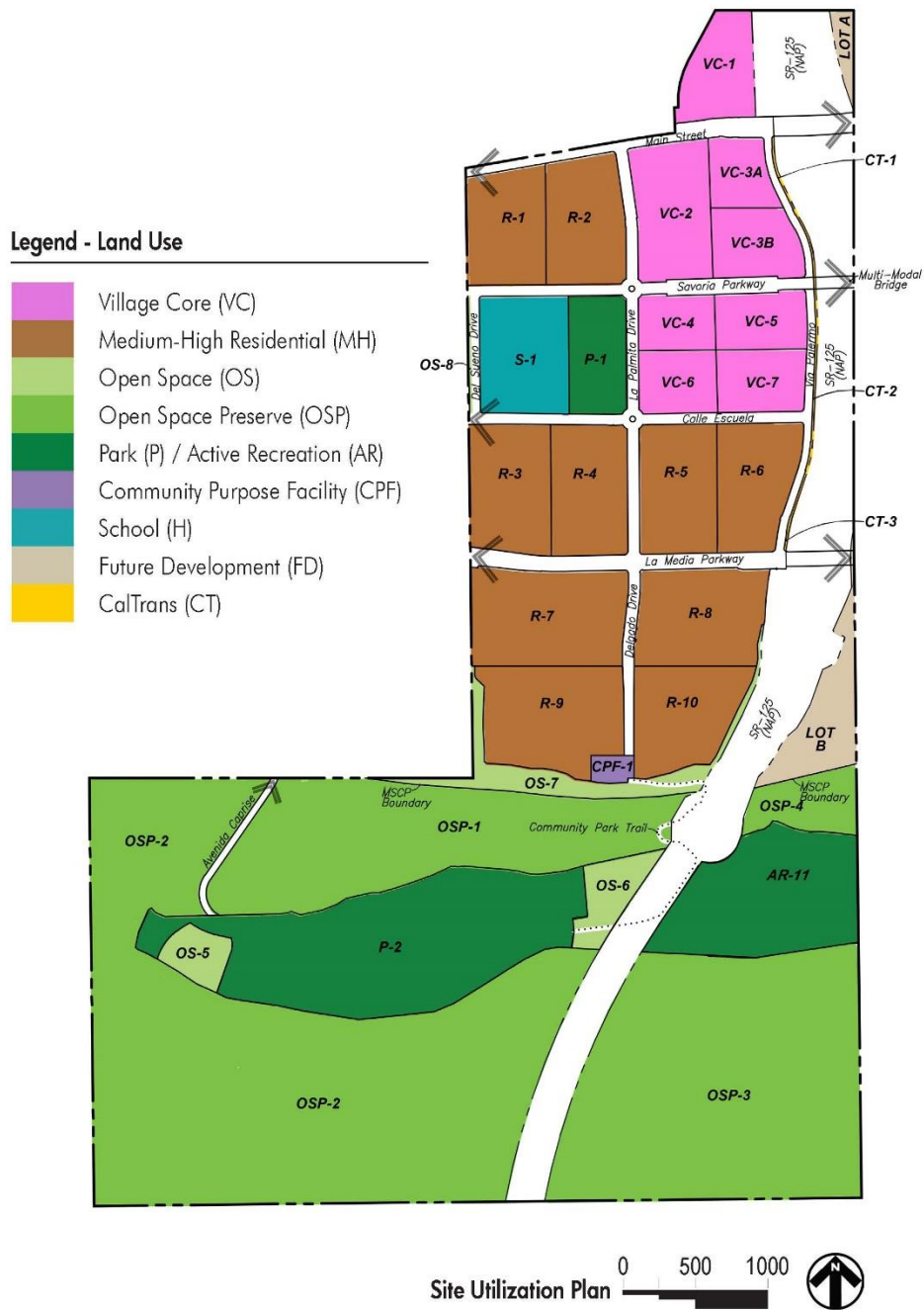


Figure 1
Proposed Village 8 East Site Utilization Plan

Table 1: Proposed Village 8 East Site Utilization Plan

Parcel	Permitted Density Range	Estimated Units ¹	Gross Acres ²	Estimated Density ³
Medium High Multi-Family Residential				
R-1	11-18 du/ac	154	9.9	15.6
R-2	11-18 du/ac	163	10.7	15.2
R-3	11-18 du/ac	162	11.4	14.2
R-4	11-18 du/ac	147	10.9	13.5
R-5	11-18 du/ac	155	11.0	14.1
R-6	11-18 du/ac	143	10.3	13.9
R-7	11-18 du/ac	226	15.8	14.3
R-8	11-18 du/ac	176	14.0	12.6
R-9	11-18 du/ac	196	15.4	12.7
R-10	11-18 du/ac	142	11.5	12.3
Total MH		1,664	120.9	13.8
Village Core⁴				
VC-1	18-45 du/ac.	275	7.6	36.2
VC-2	18-45 du/ac.	430	11.3	38.1
VC-3A	18-45 du/ac.	161	5.5	29.3
VC-3B ⁵	18-45 du/ac.	0	5.6	0.0
VC-4	18-45 du/ac.	192	4.5	42.7
VC-5 ⁵	18-45 du/ac.	0	5.7	0.0
VC-6	18-45 du/ac.	142	5.3	26.8
VC-7	18-45 du/ac.	148	6.0	24.7
Total VC		1,348	51.5	26.2
Subtotal Residential		3,012	172.4	
Other				
Community Purpose Facility⁶				
CPF-1			1.2	
Subtotal CPF			1.2	
Parks				
P-1 ⁷			7.3	
P-2 ¹¹			43.3	
AR-11			22.6	
Total Parks			73.2	
School				
S-1 ^{7 8}		264	11.3	

Parcel	Permitted Density Range	Estimated Units ¹	Gross Acres ²	Estimated Density ³
Open Space				
MSCP Preserve OS (Lots 1-4)			253.6	
Manufactured/Basin OS (Lots 5-8) ⁹			16.4	
Total Open Space			270.0	
Circulation				
Internal			22.5	
External			9.2	
Total Circulation			31.7	
CALTRANS LOTS (to be dedicated)				
CT-1			1.7	
CT-2			0.1	
CT-3			1.9	
Total CALTRANS Lots			3.7	
Future Development				
Lot A			1.0	
Lot B			8.4	
Total Future Development			9.4	
Subtotal Other			400.5	
OVERALL SPA TOTAL¹⁰		3,276	572.9	

1.5 Summary of Findings – Proposed Project

Based on the adjusted Fiscal Model, the Proposed Project is estimated to generate between approximately \$452,114 and \$3,573,837 per year in net City municipal revenues during the first 20 years of operation and a cumulative total net revenue of approximately \$48,014,928 over the same period. A summary of the Fiscal Model outcome for the Proposed Project is provided in Table 2: Summary of Proposed Project Net Fiscal Revenue.

Table 2: Summary of Proposed Project Net Fiscal Revenue

Year	Net Fiscal Revenue (unadjusted)	Net Fiscal Revenue (adjusted)	Cumulative Net Fiscal Revenue
1	\$ 452,114	\$ 452,114	\$ 452,114
2	923,941	1,034,795	1,486,909
3	1,259,130	1,382,130	2,869,039
4	1,638,433	1,780,343	4,649,382
5	2,012,433	2,177,819	6,827,201
6	2,004,875	2,171,469	8,998,670
7	1,985,833	2,153,709	11,152,379
8	1,975,733	2,210,425	13,362,804
9	1,974,607	2,279,797	15,642,601
10	2,029,711	2,409,187	18,051,788
11	2,086,523	2,544,230	20,596,018
12	2,137,890	2,670,075	23,266,093
13	2,187,676	2,728,404	25,994,497
14	2,238,676	2,788,119	28,782,616
15	2,290,441	2,848,773	31,631,390
16	2,342,972	2,984,959	34,616,349
17	2,396,525	3,126,452	37,742,801
18	2,450,964	3,273,290	41,016,091
19	2,505,640	3,425,010	44,441,101
20	2,561,516	3,573,827	48,014,928

1.6 Summary of Finding – Historic Land Uses

Based on the adjusted Fiscal Model, the Historic Land Use is estimated to generate between approximately \$555,956 and \$5,298,778 per year in net City municipal revenues during the first 20 years of operation and a cumulative total net revenue of approximately \$70,520,087 over the same period. A summary of the Fiscal Model outcome for the Proposed Project is provided in Table 3: Summary of Historic Project Net Fiscal Revenue.

Table 3: Summary of Historic Project Net Fiscal Revenue.

Year	Net Fiscal Revenue (unadjusted)	Net Fiscal Revenue (adjusted)	Cumulative Net Fiscal Revenue
1	\$ 555,956	\$ 555,956	\$ 555,956
2	1,152,727	1,262,028	1,817,984
3	1,605,256	1,729,294	3,547,278
4	2,111,487	2,258,455	5,805,733
5	2,661,390	2,840,072	8,645,805
6	3,040,775	3,247,586	11,893,391
7	3,048,961	3,257,864	15,151,255
8	3,063,273	3,353,910	18,505,165
9	3,085,273	3,462,063	21,967,228
10	3,163,996	3,631,546	25,598,774
11	3,244,940	3,808,049	29,406,823
12	3,320,923	3,984,591	33,391,414
13	3,395,839	4,134,266	37,525,680
14	3,472,511	4,223,663	41,749,343
15	3,550,499	4,314,630	46,063,973
16	3,629,814	4,497,677	50,561,650
17	3,710,727	4,687,564	55,249,214
18	3,793,112	4,884,380	60,133,594
19	3,876,334	5,087,715	65,221,309
20	3,961,369	5,298,778	70,520,087

2.0 Introduction

2.1 Background & Purpose

HomeFed is currently pursuing entitlements that would amend the land uses within Village 8 East to address market changes. In order to provide fiscal analyses to assist the City in their evaluation of the Proposed Project, the City requested that HomeFed provide a Net Fiscal Model for two scenarios: Proposed Project and Historic Land Uses. HomeFed retained DPFG to prepare two Fiscal Models and RH Consulting to prepare this summary report.

2.2 Project Location

The Village 8 East SPA Plan Area is located at the southwestern portion of the Otay Valley Parcel of Otay Ranch. Figure 2 illustrates the regional location of the SPA Plan area; Figure 3 illustrates the vicinity and Figure 4 provides an aerial map of the Village 8 East Project Area.

Otay Ranch Village 8 East is south of the extension of Main Street, north of the Otay River Valley, east of Village 8 West and west of SR-125. Future development in the vicinity of Village 8 East includes Otay Ranch Villages 4, 8 West (currently under construction) and 9 to the east. Historic Village 7 and Olympian High School are located to the north.

2.3 Proposed Project

The Proposed Project would modify the residential mix within Village 8 East and include 20,000 sf of commercial uses within the village core. Other proposed changes include implementation of the modified SR-125 interchange couplet between Main Street and La Media Parkway, a minor realignment of La Media Parkway and minor internal circulation changes. The total assessed value of the Village 8 East Proposed Project is estimated to be approximately \$2,912,282,079 (year 20) per the City fiscal impact analysis model.

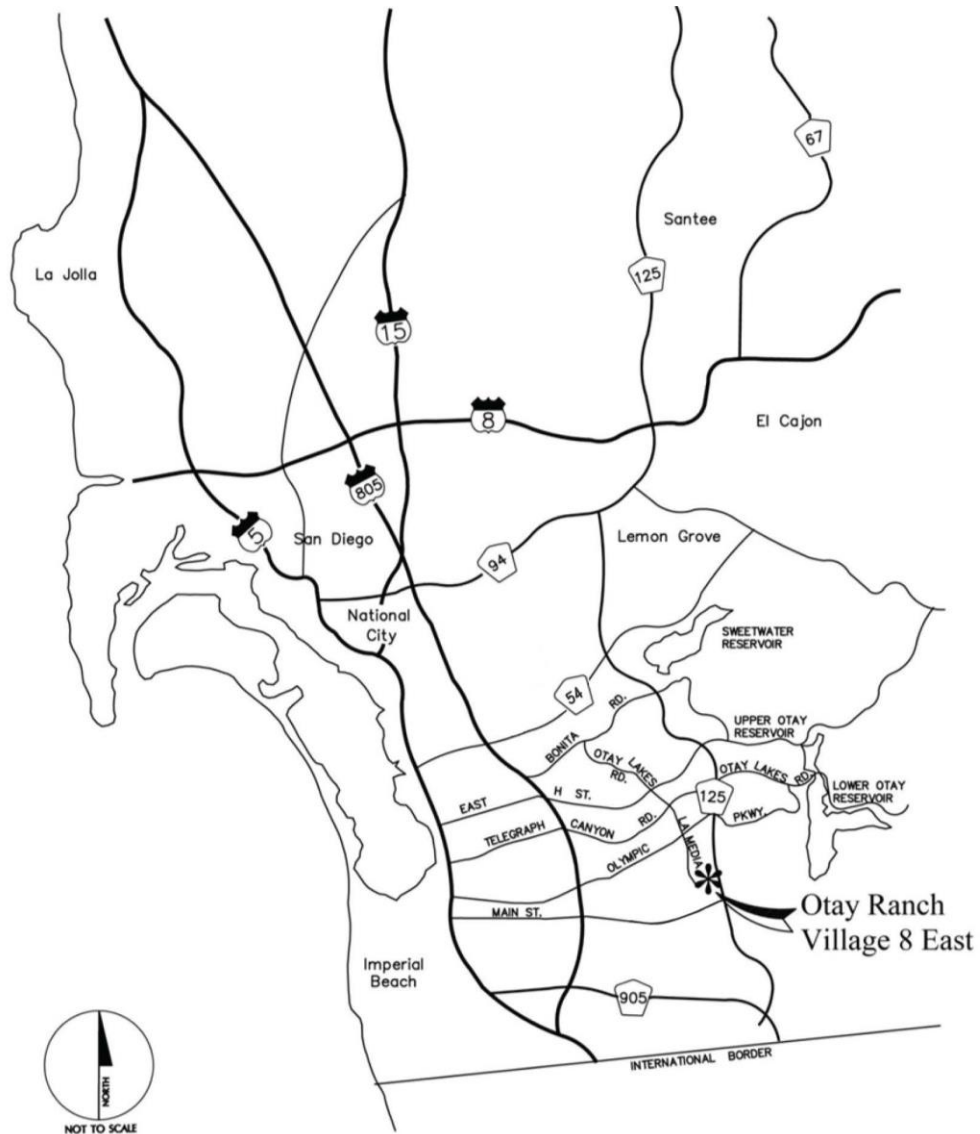


Figure 2
Regional Location Map

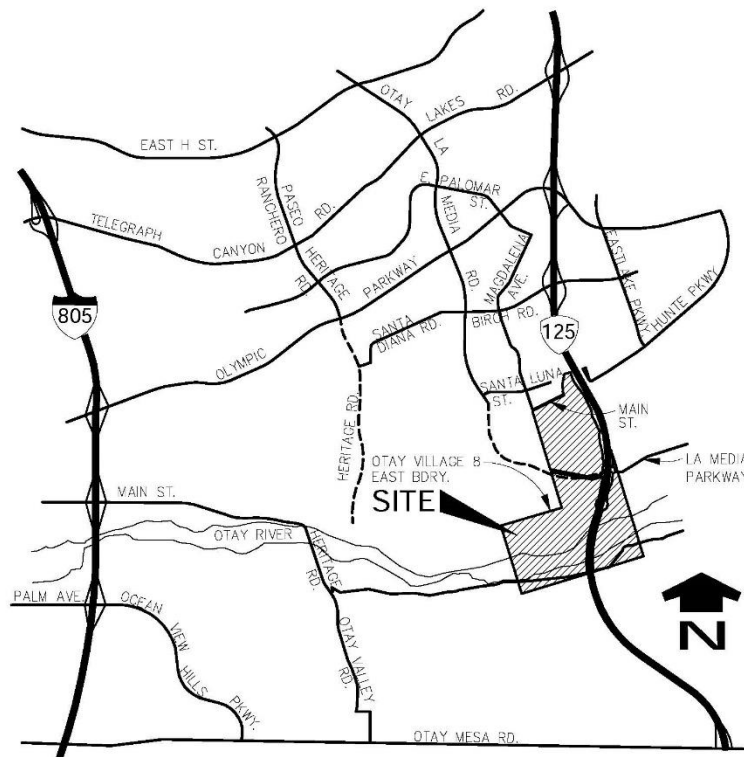


Figure 3
Vicinity Map



Figure 4
Village 8 East Aerial Map

2.4 City Fiscal Model

The Analysis herein is based on the Fiscal Model outputs prepared by DPFG. The Fiscal Model estimates fiscal impacts based on land uses, employee count, dwelling unit and assessed property values. All other assumptions in the Fiscal Year 2023/2024 City's Fiscal Model are constrained and are not subject to modification. However, DPFG has also prepared an Adjustment to CV Fiscal Impact Analysis Model for both scenarios which anticipates property turnover (resale) reassessment of residential properties. For purposes of both scenarios, a residential only fiscal model estimate was prepared, based on the assumption that commercial development timing is uncertain at this time.

3.0 Adjustments to Fiscal Model

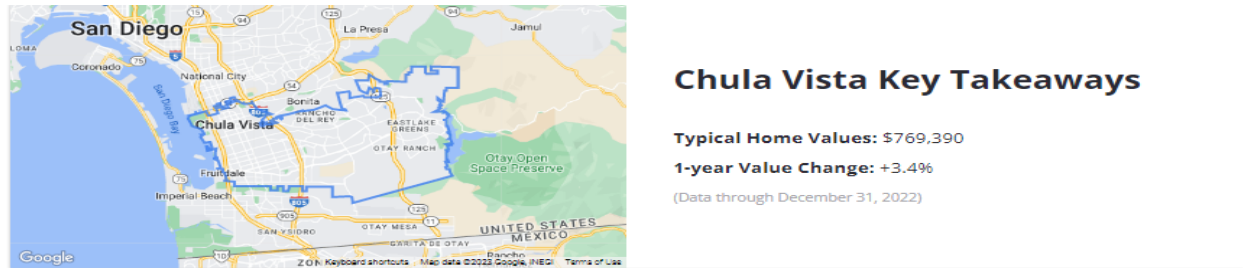
Based on DPFG's experience and expertise in utilizing the City Fiscal Model, the following adjustments to the model and valuation information were implemented in both the Proposed Project and Historic Land Uses scenarios.

3.1 Property Tax – Growth in Assessed Valuation

The Fiscal Model assumes that property tax growth will be equal to 2.0% based on Proposition 13 statutory limits. However, each of the uses includes for-sale products, each of which will be resold at varying points in time, that will trigger property tax reassessments based on market values at the time of each sale. As a result of this residential turnover, while aggregate assessed property value may lag market value, property tax revenue growth is expected to generally track market value growth.

The Proposed Project Fiscal Model assumes absorption of the single-family residences to be 450 units per year and is anticipated to occur over a five-year time frame. The Proposed Project also includes 1,073 multi-family units anticipated to be absorbed over a 7-year period with an estimated 150 units absorbed per year. The Historic Project assumes a 6-year absorption time frame due to the larger anticipated single family uses and 100 multi-family units absorbed per year with a final buildout estimated within year 4.

The duration of the initial homebuyer holding period drives the lag between assessed value and market value, and the rate of turnover determines how closely assessed values track market values. Information on typical homeowner tenure from the National Association of Realtors suggests a median tenure of townhome or detached single-family home is 6-8 years. In addition to typical turnover, in order to reflect similar assessed value increases over build-out of the residential units, the initial (year 1) home price assumption is increased by 3.5% annually until the initial year of sale for each unit, which is then assumed to be the initial base year value. Over the next seven years, the base year value escalates by 2% over the prior year, consistent with California Constitution Article XIII A Section 2(b). In year eight, the initial base year value is reset to the then market value based on a cumulative annual escalation factor of 3.5%. For the purposes of preparing the most conservative fiscal impact analysis, the Fiscal Models assumed no commercial or industrial turnover. Refer to Table 4: Total Assessed Value after Turnover (Proposed Project). Summary illustrations of home pricing are provided in Figures 5 and 6.



Market Overview

1-year Market Forecast

1.000 Median sale to list ratio (November 30, 2022)

42.7% Percent of sales over list price (November 30, 2022)

41.9% Percent of sales under list price (November 30, 2022)

27 Median days to pending (December 31, 2022)

(Metric availability is based on market coverage and data)



How does this data help me?

Zillow's metrics aim to inform and support the decision-making process with relevant market data by measuring monthly market changes across various geographies and housing types.



Source: Zillow.com

Figure 5
Chula Vista Residential Market Overview 2015 - 2022

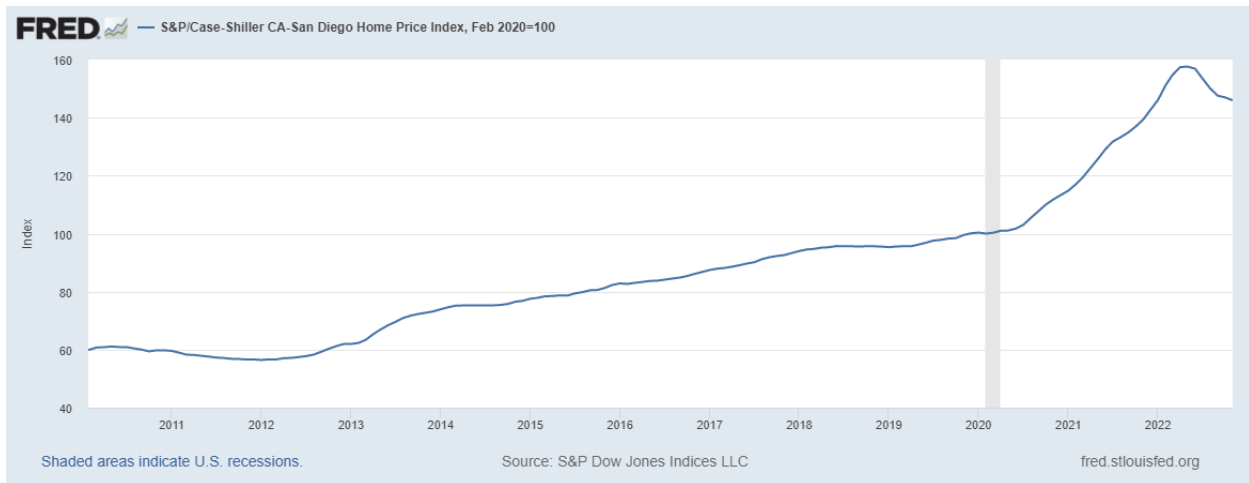


Figure 6
San Diego Home Price Index 2010 - 2022

Source: Case-Shiller San Diego Index

Table 4: Total Assessed Value after Turnover (Proposed Project)

Year	Total High Density (MF) Assessed Value After Turnover	Total Med-High Density (SF) Assessed Value After Turnover	Total Assessed Value
1	\$ -	\$ 308,806,485	\$ 308,806,485
2	-	634,597,327	634,597,327
3	-	978,090,501	978,090,501
4	-	1,340,031,581	1,340,031,581
5	-	1,643,234,998	1,643,234,998
6	-	1,676,099,698	1,676,099,698
7	-	1,709,621,692	1,709,621,692
8	-	1,795,731,713	1,795,731,713
9	-	1,885,381,049	1,885,381,049
10	-	1,978,704,087	1,978,704,087
11	-	2,075,840,125	2,075,840,125
12	-	2,163,826,695	2,163,826,695
13	-	2,207,103,229	2,207,103,229
14	-	2,251,245,294	2,251,245,294
15	-	2,296,270,200	2,296,270,200
16	-	2,401,219,139	2,401,219,139
17	-	2,510,332,881	2,510,332,881
18	-	2,623,767,026	2,623,767,026
19	-	2,741,682,816	2,741,682,816
20	-	2,849,346,547	2,849,346,547

3.2 Property Valuation

DPFG utilized a combination of actual sales, comparable sales and income method calculations to determine property valuations for the residential (for-sale), residential (apartments) and commercial land uses within Village 8 East.

3.2.1 Residential Valuation Assumptions

For-Sale Residential:

For-sale residential Historic values were calculated based on actual Village 8 West sales/closing prices across several for-sale product types. Sales within Village 8 West began in 2021 and final closings occurred in 2022. DPFG calculated the average 2022 home value by escalating yearly closing prices by approximately 2% per year which resulted in a weighted average value for all 3 years of \$875,000/residential unit for the Historic single family detached units. A similar approach was used for the other land uses, which resulted in an average price of \$690,000 for the townhomes units. This derived weighted average value was applied to units for both the Proposed Land Use and Historic Project Fiscal Model scenarios.

Rental Apartments and Affordable:

There are currently 440 apartment units anticipated to be constructed in the Historic Land Use. The Proposed Use is anticipated to include 1,125 market-rate apartments units. In order to determine the assessed value of both the Historic and proposed apartment units in Village 8 East, DPFPG identified two comparable apartment project sales: Pulse Millenia, a 273-apartment unit project, sold in 2016/17 for \$98.9 million (average value of \$362,000/apartment unit); and Alexan Millenia, a 309-apartment unit project, sold in 2019 for \$131 million (average value of \$424,000/apartment unit). DPFPG calculated a conservative assessed value by escalating the per unit value of the comparable projects by approximately 5.5% over a 2.25-year period, which resulted in a rounded value of \$475,000/apartment unit. This was then adjusted down to \$450,000 based on the anticipated size of the apartment units. This escalation factor is consistent with the San Diego rental market data in the Census ACS Survey and per the CBRE 2021 Multifamily U.S. Real Estate Market Outlook report. This estimated value was utilized for rental apartment units in both the Proposed Project and Historic Land Uses Fiscal Model scenarios.

3.2.2 Non-Residential Valuation Assumptions

The Historic Land Uses scenario includes 20,000 SF of commercial uses within the mixed-use area. The Proposed Project would also include 20,000 SF of commercial uses within the Village 8 East village core area. For the purposes of this analysis the non-residential components were not analyzed

ATTACHMENT A

VILLAGE 8 EAST CHULA VISTA FISCAL IMPACT ANALYSIS MODEL AND SUMMARY OF ADJUSTMENTS TO CHULA VISTA FISCAL IMPACT ANALYSIS MODEL

PROPOSED LAND USE SCENARIO

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Population

Year	1	2	3	4	5	6	7
Single Family Residential	1,260	2,520	3,780	5,040	6,168	6,168	6,168
Multi-Family Residential	420	840	1,260	1,680	2,100	2,520	2,940
Total (Per Capita Base)	1,680	3,360	5,040	6,720	8,268	8,688	9,108
Employment Population	84	168	252	336	413	434	455
Totals	1,764	3,528	5,292	7,056	8,682	9,123	9,564
Single Family Residential	450	900	1,350	1,800	2,203	2,203	2,203
Multi-Family Residential	150	300	450	600	750	900	1,050
Totals	600	1,200	1,800	2,400	2,953	3,103	3,253
Year	1	2	3	4	5	6	7

General Fund Revenues

Tax Revenues															
Property Tax	AV	\$	475,292	\$	969,595	\$	1,483,480	\$	2,017,533	\$	2,528,237	\$	2,672,703	\$	2,821,938
Sales and Use Tax	Per Capita		255,059		517,158		786,637		1,063,842		1,327,990		1,416,042		1,506,735
<i>Sales and Use Tax - Project Specific</i>	<i>Project Specific</i>		-		-		-		-		-		-		-
Transient Occupancy Tax	Per Capita		52,071		105,473		158,609		212,067		261,721		275,914		290,264
Property Tax In-Lieu of VLF	Project Specific		273,856		616,623		972,969		1,343,301		1,697,440		1,797,619		1,901,103
Franchise Fees	Per Capita		82,467		165,587		249,426		334,047		412,940		436,046		459,468
Other Taxes	Per Capita		38,171		77,814		115,969		152,179		184,933		191,974		198,862
<i>Subtotal Tax Revenues</i>			<i>1,176,916</i>		<i>2,452,250</i>		<i>3,767,090</i>		<i>5,122,969</i>		<i>6,413,261</i>		<i>6,790,298</i>		<i>7,178,369</i>
Other Revenues	Per Capita		21,672		18,451		28,543		39,605		47,998		49,690		51,333
Licenses and Permits	Per Capita		11,110		19,511		29,390		39,361		47,704		49,385		51,017
Fines, forfeitures, penalties	Per Capita		5,843		15,342		23,109		30,949		37,509		38,831		40,114
Use of Money & Property	Per Capita		21,617		42,555		62,843		82,514		100,001		103,526		106,948
Charges for Services	No Forecast		-		-		-		-		-		-		-
Intergovernmental	Per Capita		9,078		26,437		39,822		53,332		64,635		66,914		69,126
<i>Subtotal Other Revenues</i>			<i>69,320</i>		<i>122,295</i>		<i>183,709</i>		<i>245,762</i>		<i>297,848</i>		<i>308,346</i>		<i>318,538</i>
Total General Fund Revenues		\$	1,246,236	\$	2,574,545	\$	3,950,799	\$	5,368,730	\$	6,711,109	\$	7,098,644	\$	7,496,908

General Fund Expenditures

General Government	Per Capita	\$	24,694	\$	51,086	\$	77,565	\$	104,655	\$	130,530	\$	138,848	\$	147,226
Community Development (20%)	Per Capita		2,689		5,564		8,448		11,398		14,216		15,122		16,035
Public Works/Engineering (20%)	Per Capita		23,623		48,870		74,201		100,116		124,869		132,827		140,841
PC/EMP Base															
Drainage Management System	\$ 26.50		45,300		90,601		135,901		181,201		222,953		234,278		245,604
Building Management System	4.10		7,001		14,001		21,002		28,003		34,455		36,205		37,956
Parks Management System	15.68		26,797		53,595		80,392		107,190		131,888		138,587		145,287
Open Space Management System	6.72		11,485		22,969		34,454		45,938		56,523		59,395		62,266
Fleet Management System	3.73		6,380		12,761		19,141		25,521		31,402		32,997		34,592
Pavement Annual (PMP)	14.18		24,245		48,491		72,736		96,981		119,327		125,388		131,450
General Govt Management System	0.65		1,117		2,233		3,350		4,466		5,495		5,774		6,054
Urban Forestry Management System	6.72		11,485		22,969		34,454		45,938		56,523		59,395		62,266
	\$ 78.28		133,810		267,620		401,430		535,239		658,568		692,020		725,472
Community Services	Per Capita		13,579		28,092		42,653		57,549		71,778		76,352		80,959
Public Safety:															
Police Services	Project Specific		334,262		699,308		1,011,281		1,417,000		1,797,492		1,989,331		2,193,637
Fire Services	Project Specific		240,114		505,897		1,009,033		1,413,850		1,788,372		1,929,225		2,079,568
Animal Control Services	Per Capita		21,350		44,167		67,059		90,480		112,851		120,043		127,286
<i>Total Public Safety</i>			595,726		1,249,371		2,087,374		2,921,330		3,698,715		4,038,599		4,400,491
Total General Fund Expenditures		\$	794,122	\$	1,650,603	\$	2,691,670	\$	3,730,288	\$	4,698,676	\$	5,093,768	\$	5,511,025

Projected Net Revenues/(Shortfall)	\$452,114	\$923,941	\$1,259,130	\$1,638,443	\$2,012,433	\$2,004,875	\$1,985,883
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Population

Year	8	9	10	11	12	13	14	15
Single Family Residential	6,168	6,168	6,168	6,168	6,168	6,168	6,168	6,168
Multi-Family Residential	3,004	3,004	3,004	3,004	3,004	3,004	3,004	3,004
Total (Per Capita Base)	9,173	9,173	9,173	9,173	9,173	9,173	9,173	9,173
Employment Population	459	459	459	459	459	459	459	459
Totals	9,631	9,631	9,631	9,631	9,631	9,631	9,631	9,631
Number of Homes								
Single Family Residential	2,203	2,203	2,203	2,203	2,203	2,203	2,203	2,203
Multi-Family Residential	1,073	1,073	1,073	1,073	1,073	1,073	1,073	1,073
Totals	3,276	3,276	3,276	3,276	3,276	3,276	3,276	3,276
Year	8	9	10	11	12	13	14	15

General Fund Revenues

Tax Revenues									
Property Tax	AV	\$ 2,893,356	\$ 2,951,223	\$ 3,010,248	\$ 3,070,453	\$ 3,131,862	\$ 3,194,499	\$ 3,258,389	\$ 3,323,557
Sales and Use Tax	Per Capita	1,540,449	1,564,183	1,611,109	1,659,442	1,709,225	1,760,502	1,813,317	1,867,717
<i>Sales and Use Tax - Project Specific</i>	<i>Project Specific</i>	-	-	-	-	-	-	-	-
Transient Occupancy Tax	Per Capita	293,406	294,564	303,401	312,503	321,878	331,535	341,481	351,725
Property Tax In-Lieu of VLF	Project Specific	1,950,627	1,990,754	2,031,684	2,073,432	2,116,015	2,159,450	2,203,754	2,248,944
Franchise Fees	Per Capita	465,188	467,770	481,803	496,257	511,145	526,479	542,273	558,542
Other Taxes	Per Capita	197,931	195,662	201,532	207,578	213,805	220,220	226,826	233,631
<i>Subtotal Tax Revenues</i>		<i>7,340,957</i>	<i>7,464,158</i>	<i>7,639,777</i>	<i>7,819,666</i>	<i>8,003,931</i>	<i>8,192,685</i>	<i>8,386,041</i>	<i>8,584,115</i>
Other Revenues	Per Capita	50,953	50,231	51,738	53,290	54,889	56,535	58,231	59,978
Licenses and Permits	Per Capita	50,640	49,922	51,420	52,963	54,551	56,188	57,874	59,610
Fines, forfeitures, penalties	Per Capita	39,817	39,253	40,431	41,644	42,893	44,180	45,505	46,871
Use of Money & Property	Per Capita	106,157	104,653	107,792	111,026	114,357	117,787	121,321	124,961
Charges for Services	No Forecast	-	-	-	-	-	-	-	-
Intergovernmental	Per Capita	68,614	67,642	69,671	71,761	73,914	76,131	78,415	80,768
<i>Subtotal Other Revenues</i>		<i>316,181</i>	<i>311,701</i>	<i>321,052</i>	<i>330,684</i>	<i>340,604</i>	<i>350,822</i>	<i>361,347</i>	<i>372,187</i>
Total General Fund Revenues		\$ 7,657,138	\$ 7,775,859	\$ 7,960,829	\$ 8,150,349	\$ 8,344,535	\$ 8,543,507	\$ 8,747,388	\$ 8,956,302

General Fund Expenditures

General Government	Per Capita	\$ 150,044	\$ 151,796	\$ 155,379	\$ 159,244	\$ 163,164	\$ 167,193	\$ 171,348	\$ 175,629
Community Development (20%)	Per Capita	16,341	16,532	16,923	17,343	17,770	18,209	18,662	19,128
Public Works/Engineering (20%)	Per Capita	143,537	145,213	148,640	152,338	156,087	159,942	163,917	168,013
PC/EMP Base									
Drainage Management System	\$ 26.50	247,340	247,340	247,340	247,340	247,340	247,340	247,340	247,340
Building Management System	4.10	38,224	38,224	38,224	38,224	38,224	38,224	38,224	38,224
Parks Management System	15.68	146,314	146,314	146,314	146,314	146,314	146,314	146,314	146,314
Open Space Management System	6.72	62,706	62,706	62,706	62,706	62,706	62,706	62,706	62,706
Fleet Management System	3.73	34,837	34,837	34,837	34,837	34,837	34,837	34,837	34,837
Pavement Annual (PMP)	14.18	132,379	132,379	132,379	132,379	132,379	132,379	132,379	132,379
General Govt Management System	0.65	6,096	6,096	6,096	6,096	6,096	6,096	6,096	6,096
Urban Forestry Management System	6.72	62,706	62,706	62,706	62,706	62,706	62,706	62,706	62,706
	\$ 78.28	730,602	730,602	730,602	730,602	730,602	730,602	730,602	730,602
Community Services	Per Capita	82,508	83,472	85,442	87,568	89,723	91,939	94,224	96,578
Public Safety:									
Police Services	Project Specific	2,277,042	2,333,968	2,392,317	2,452,125	2,513,429	2,576,264	2,640,671	2,706,688
Fire Services	Project Specific	2,151,608	2,208,431	2,267,480	2,326,931	2,394,806	2,467,133	2,541,147	2,617,382
Animal Control Services	Per Capita	129,722	131,237	134,334	137,676	141,065	144,549	148,141	151,842
<i>Total Public Safety</i>		<i>4,558,373</i>	<i>4,673,636</i>	<i>4,794,132</i>	<i>4,916,732</i>	<i>5,049,299</i>	<i>5,187,946</i>	<i>5,329,959</i>	<i>5,475,911</i>
Total General Fund Expenditures		\$ 5,681,405	\$ 5,801,251	\$ 5,931,118	\$ 6,063,827	\$ 6,206,646	\$ 6,355,832	\$ 6,508,712	\$ 6,665,861

Projected Net Revenues/(Shortfall)	\$1,975,733	\$1,974,607	\$2,029,711	\$2,086,523	\$2,137,890	\$2,187,676	\$2,238,676	\$2,290,441
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Population

Year	16	17	18	19	20
Single Family Residential	6,168	6,168	6,168	6,168	6,168
Multi-Family Residential	3,004	3,004	3,004	3,004	3,004
Total (Per Capita Base)	9,173	9,173	9,173	9,173	9,173
Employment Population	459	459	459	459	459
Totals	9,631	9,631	9,631	9,631	9,631
Single Family Residential	2,203	2,203	2,203	2,203	2,203
Multi-Family Residential	1,073	1,073	1,073	1,073	1,073
Totals	3,276	3,276	3,276	3,276	3,276
Year	16	17	18	19	20

General Fund Revenues

Tax Revenues

Property Tax	AV	\$ 3,390,028	\$ 3,457,829	\$ 3,526,985	\$ 3,597,525	\$ 3,669,475
Sales and Use Tax	Per Capita	1,923,748	1,981,461	2,040,904	2,102,132	2,165,196
<i>Sales and Use Tax - Project Specific</i>	<i>Project Specific</i>	-	-	-	-	-
Transient Occupancy Tax	Per Capita	362,277	373,145	384,340	395,870	407,746
Property Tax In-Lieu of VLF	Project Specific	2,295,037	2,342,052	2,390,008	2,438,923	2,488,816
Franchise Fees	Per Capita	575,298	592,557	610,334	628,644	647,503
Other Taxes	Per Capita	240,640	247,859	255,295	262,954	270,842
<i>Subtotal Tax Revenues</i>		<i>8,787,028</i>	<i>8,994,903</i>	<i>9,207,866</i>	<i>9,426,046</i>	<i>9,649,578</i>
Other Revenues	Per Capita	61,778	63,631	65,540	67,506	69,531
Licenses and Permits	Per Capita	61,398	63,240	65,137	67,091	69,104
Fines, forfeitures, penalties	Per Capita	48,277	49,725	51,217	52,753	54,336
Use of Money & Property	Per Capita	128,710	132,571	136,548	140,644	144,864
Charges for Services	No Forecast	-	-	-	-	-
Intergovernmental	Per Capita	83,191	85,687	88,257	90,905	93,632
<i>Subtotal Other Revenues</i>		<i>383,353</i>	<i>394,854</i>	<i>406,699</i>	<i>418,900</i>	<i>431,467</i>
Total General Fund Revenues		\$ 9,170,381	\$ 9,389,756	\$ 9,614,565	\$ 9,844,946	\$ 10,081,045

General Fund Expenditures

General Government	Per Capita	\$ 180,043	\$ 184,522	\$ 189,112	\$ 194,006	\$ 198,936
Community Development (20%)	Per Capita	19,609	20,096	20,596	21,129	21,666
Public Works/Engineering (20%)	Per Capita	172,235	176,519	180,910	185,593	190,308
	PC/EMP Base					
Drainage Management System	\$ 26.50	247,340	247,340	247,340	247,340	247,340
Building Management System	4.10	38,224	38,224	38,224	38,224	38,224
Parks Management System	15.68	146,314	146,314	146,314	146,314	146,314
Open Space Management System	6.72	62,706	62,706	62,706	62,706	62,706
Fleet Management System	3.73	34,837	34,837	34,837	34,837	34,837
Pavement Annual (PMP)	14.18	132,379	132,379	132,379	132,379	132,379
General Govt Management System	0.65	6,096	6,096	6,096	6,096	6,096
Urban Forestry Management System	6.72	62,706	62,706	62,706	62,706	62,706
	\$ 78.28	730,602	730,602	730,602	730,602	730,602
Community Services	Per Capita	99,005	101,468	103,992	106,683	109,394
Public Safety:						
Police Services	Project Specific	2,774,355	2,843,714	2,914,807	2,987,677	3,062,369
Fire Services	Project Specific	2,695,903	2,776,780	2,860,084	2,945,886	3,034,263
Animal Control Services	Per Capita	155,658	159,530	163,499	167,730	171,992
<i>Total Public Safety</i>		<i>5,625,916</i>	<i>5,780,024</i>	<i>5,938,389</i>	<i>6,101,293</i>	<i>6,268,623</i>
Total General Fund Expenditures		\$ 6,827,409	\$ 6,993,231	\$ 7,163,601	\$ 7,339,307	\$ 7,519,529

Projected Net Revenues/(Shortfall)	\$2,342,972	\$2,396,525	\$2,450,964	\$2,505,640	\$2,561,516
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Year



Property Tax Analysis

Residential Units

Single Family Residential

Total Cumulative SFR Units	2,203	450	900	1,350	1,800	2,203	2,203	2,203
Total Cumulative Residents	2.80	1,260	2,520	3,780	5,040	6,168	6,168	6,168
Percentage Complete		20%	41%	61%	82%	100%	100%	100%
Constructed Assessed Values	\$1,516,230,000	\$309,715,615	\$619,431,230	\$929,146,845	\$1,238,862,460	\$1,516,230,000	\$1,516,230,000	\$1,516,230,000

Multi-Family Residential - Attached Townhomes

Total Cumulative MFR Units	1,073	150	300	450	600	750	900	1,050
Total Cumulative Residents	2.80	420	840	1,260	1,680	2,100	2,520	2,940
Percentage Complete		14%	28%	42%	56%	70%	84%	98%
Constructed Assessed Values	\$482,850,000	\$67,500,000	\$135,000,000	\$202,500,000	\$270,000,000	\$337,500,000	\$405,000,000	\$472,500,000

Total Cumulative Residents

		1,680	3,360	5,040	6,720	8,268	8,688	9,108
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Commercial

Percentage Complete		0%	0%	0%	0%	0%	0%	0%
Constructed Assessed Values	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -

Industrial

Percentage Complete		0%	0%	0%	0%	0%	0%	0%
Constructed Assessed Values	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -

Office

Percentage Complete		0%	0%	0%	0%	0%	0%	0%
Constructed Assessed Values	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -

Hotel

Percentage Complete		0%	0%	0%	0%	0%	0%	0%
Constructed Assessed Values	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -

Constructed Assessed Values

Total Current Period Assessed Value Additions		\$ 377,215,615	\$ 754,431,230	\$ 1,131,646,845	\$ 1,508,862,460	\$ 1,853,730,000	\$ 1,921,230,000	\$ 1,988,730,000
Inflation Factor	2.00%	100.00%	102.00%	104.04%	106.12%	108.24%	110.41%	112.62%
Total AV - Inflated		\$377,215,615	\$769,519,855	\$1,177,365,378	\$1,601,216,914	\$2,006,536,968	\$2,121,193,162	\$2,239,632,988
Cumulative AV (w/o Prior Years Inflation)		\$377,215,615	\$769,519,855	\$1,177,365,378	\$1,601,216,914	\$2,006,536,968	\$2,121,193,162	\$2,239,632,988
Prior Years AV Inflation Factor	2.00%	0.00%	2.00%	2.00%	2.00%	2.00%	2.00%	2.00%
Prior Years AV Inflation Amount		\$0	\$0	\$0	\$0	\$0	\$0	\$0

Cumulative Residential AV - Inflated

		\$377,215,615	\$769,519,855	\$1,177,365,378	\$1,601,216,914	\$2,006,536,968	\$2,121,193,162	\$2,239,632,988
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Property Tax Revenue Estimate

Ad-Valorem	1.00%	\$ 3,772,156	\$ 7,695,199	\$ 11,773,654	\$ 16,012,169	\$ 20,065,370	\$ 21,211,932	\$ 22,396,330
Total AV Tax Due to City	12.60%	\$475,292	\$969,595	\$1,483,480	\$2,017,533	\$2,528,237	\$2,672,703	\$2,821,938

Year	8	9	10	11	12	13	14
Property Tax Analysis							
Residential Units							
Single Family Residential							
Total Cumulative SFR Units	2,203	2,203	2,203	2,203	2,203	2,203	2,203
Total Cumulative Residents	6,168	6,168	6,168	6,168	6,168	6,168	6,168
Percentage Complete	100%	100%	100%	100%	100%	100%	100%
Constructed Assessed Values	\$1,516,230,000	\$1,516,230,000	\$1,516,230,000	\$1,516,230,000	\$1,516,230,000	\$1,516,230,000	\$1,516,230,000
Multi-Family Residential - Attached Townhomes							
Total Cumulative MFR Units	1,073	1,073	1,073	1,073	1,073	1,073	1,073
Total Cumulative Residents	3,004	3,004	3,004	3,004	3,004	3,004	3,004
Percentage Complete	100%	100%	100%	100%	100%	100%	100%
Constructed Assessed Values	\$482,850,000	\$482,850,000	\$482,850,000	\$482,850,000	\$482,850,000	\$482,850,000	\$482,850,000
Total Cumulative Residents	9,173	9,173	9,173	9,173	9,173	9,173	9,173
Commercial							
Percentage Complete	0%	0%	0%	0%	0%	0%	0%
Constructed Assessed Values	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -
Industrial							
Percentage Complete	0%	0%	0%	0%	0%	0%	0%
Constructed Assessed Values	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -
Office							
Percentage Complete	0%	0%	0%	0%	0%	0%	0%
Constructed Assessed Values	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -
Hotel							
Percentage Complete	0%	0%	0%	0%	0%	0%	0%
Constructed Assessed Values	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -
Constructed Assessed Values							
Total Current Period Assessed Value Additions	\$ 1,999,080,000	\$ 1,999,080,000	\$ 1,999,080,000	\$ 1,999,080,000	\$ 1,999,080,000	\$ 1,999,080,000	\$ 1,999,080,000
Inflation Factor	114.87%	117.17%	119.51%	121.90%	124.34%	126.82%	129.36%
Total AV - Inflated	\$2,296,314,544	\$2,342,240,835	\$2,389,085,652	\$2,436,867,365	\$2,485,604,712	\$2,535,316,807	\$2,586,023,143
Cumulative AV (w/o Prior Years Inflation)	\$2,296,314,544	\$2,342,240,835	\$2,389,085,652	\$2,436,867,365	\$2,485,604,712	\$2,535,316,807	\$2,586,023,143
Prior Years AV Inflation Factor	2.00%	2.00%	2.00%	2.00%	2.00%	2.00%	2.00%
Prior Years AV Inflation Amount	\$0	\$0	\$0	\$0	\$0	\$0	\$0
Cumulative Residential AV - Inflated	\$2,296,314,544	\$2,342,240,835	\$2,389,085,652	\$2,436,867,365	\$2,485,604,712	\$2,535,316,807	\$2,586,023,143
Property Tax Revenue Estimate							
Ad-Valorem	\$ 22,963,145	\$ 23,422,408	\$ 23,890,857	\$ 24,368,674	\$ 24,856,047	\$ 25,353,168	\$ 25,860,231
Total AV Tax Due to City	\$2,893,356	\$2,951,223	\$3,010,248	\$3,070,453	\$3,131,862	\$3,194,499	\$3,258,389

Year	15	16	17	18	19	20
Property Tax Analysis						
Residential Units						
Single Family Residential						
Total Cumulative SFR Units	2,203	2,203	2,203	2,203	2,203	2,203
Total Cumulative Residents	6,168	6,168	6,168	6,168	6,168	6,168
Percentage Complete	100%	100%	100%	100%	100%	100%
Constructed Assessed Values	\$1,516,230,000	\$1,516,230,000	\$1,516,230,000	\$1,516,230,000	\$1,516,230,000	\$1,516,230,000
Multi-Family Residential - Attached Townhomes						
Total Cumulative MFR Units	1,073	1,073	1,073	1,073	1,073	1,073
Total Cumulative Residents	3,004	3,004	3,004	3,004	3,004	3,004
Percentage Complete	100%	100%	100%	100%	100%	100%
Constructed Assessed Values	\$482,850,000	\$482,850,000	\$482,850,000	\$482,850,000	\$482,850,000	\$482,850,000
Total Cumulative Residents	9,173	9,173	9,173	9,173	9,173	9,173
Commercial						
Percentage Complete	0%	0%	0%	0%	0%	0%
Constructed Assessed Values	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -
Industrial						
Percentage Complete	0%	0%	0%	0%	0%	0%
Constructed Assessed Values	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -
Office						
Percentage Complete	0%	0%	0%	0%	0%	0%
Constructed Assessed Values	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -
Hotel						
Percentage Complete	0%	0%	0%	0%	0%	0%
Constructed Assessed Values	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -
Constructed Assessed Values						
Total Current Period Assessed Value Additions	\$ 1,999,080,000	\$ 1,999,080,000	\$ 1,999,080,000	\$ 1,999,080,000	\$ 1,999,080,000	\$ 1,999,080,000
Inflation Factor	131.95%	134.59%	137.28%	140.02%	142.82%	145.68%
Total AV - Inflated	\$2,637,743,606	\$2,690,498,478	\$2,744,308,447	\$2,799,194,616	\$2,855,178,509	\$2,912,282,079
Cumulative AV (w/o Prior Years Inflation)	\$2,637,743,606	\$2,690,498,478	\$2,744,308,447	\$2,799,194,616	\$2,855,178,509	\$2,912,282,079
Prior Years AV Inflation Factor	2.00%	2.00%	2.00%	2.00%	2.00%	2.00%
Prior Years AV Inflation Amount	\$0	\$0	\$0	\$0	\$0	\$0
Cumulative Residential AV - Inflated	\$2,637,743,606	\$2,690,498,478	\$2,744,308,447	\$2,799,194,616	\$2,855,178,509	\$2,912,282,079
Property Tax Revenue Estimate						
Ad-Valorem	\$ 26,377,436	\$ 26,904,985	\$ 27,443,084	\$ 27,991,946	\$ 28,551,785	\$ 29,122,821
Total AV Tax Due to City	\$3,323,557	\$3,390,028	\$3,457,829	\$3,526,985	\$3,597,525	\$3,669,475

Village 8 East**Summary of Adjustment to CV Fiscal Impact Analysis Model**

Total Project Net Revenue (Residential Turnover based on DPFG Turnover Model - Assumes 3.5% Escalation in new Home Pricing)

November 10, 2023

Year		1	2	3	4	5	6	7	8	9	10
Cumulative Residential AV - Inflated per CV Model		\$ 309,715,615	\$ 631,819,855	\$ 966,684,378	\$1,314,690,754	\$1,641,216,114	\$1,674,040,436	\$1,707,521,245	\$1,741,671,670	\$1,776,505,103	\$1,812,035,205
Revised Inflation Assuming 8 year Turnover (a)		309,715,615	636,465,589	980,970,011	1,343,976,649	1,689,141,814	1,722,924,650	1,757,383,143	1,844,601,239	1,935,386,161	2,029,873,034
Difference in Assessed Value		-	4,645,734	14,285,633	29,285,896	47,925,700	48,884,214	49,861,898	102,929,569	158,881,058	217,837,828
Total Residential Property Tax Increase Due to City	[1]	\$ -	\$ 5,854	\$ 18,000	\$ 36,900	\$ 60,386	\$ 61,594	\$ 62,826	\$ 129,691	\$ 200,190	\$ 274,476
Projected Net Revenues/(Shortfall) per CV Model	[2]	\$ 452,114	\$ 923,941	\$ 1,259,130	\$ 1,638,443	\$ 2,012,433	\$ 2,004,875	\$ 1,985,883	\$ 1,975,733	\$ 1,974,607	\$ 2,029,711
Total Project Projected Net Revenue	[1] + [2] = [3]	\$ 452,114	\$ 929,795	\$ 1,277,130	\$ 1,675,343	\$ 2,072,819	\$ 2,066,469	\$ 2,048,709	\$ 2,105,425	\$ 2,174,797	\$ 2,304,187
Benefits from HOA Maintained Parks (b)	[4]	-	105,000	105,000	105,000	105,000	105,000	105,000	105,000	105,000	105,000
Adjusted Total Net Revenues	[3] + [4] = [5]	\$ 452,114	\$ 1,034,795	\$ 1,382,130	\$ 1,780,343	\$ 2,177,819	\$ 2,171,469	\$ 2,153,709	\$ 2,210,425	\$ 2,279,797	\$ 2,409,187
Cumulative Adjusted Net Revenues		\$ 452,114	\$ 1,486,909	\$ 2,869,038	\$ 4,649,381	\$ 6,827,201	\$ 8,998,670	\$ 11,152,379	\$ 13,362,804	\$ 15,642,601	\$ 18,051,788

Footnotes:

(a) Assumes 8 year turnover with 2.00% annual escalation and 3.50% escalation when re-assessed.

(b) Analysis assumes HOA maintained park will be built when first occupancy is granted and maintenance will commence 1 year after park construction in year 2. Estimated \$14,000 per year for park maintenance

Village 8 East

Summary of Adjustment to CV Fiscal Impact Analysis Model

Total Project Net Revenue (Residential Turnover based on DPFG Turnover Model - Assumes 3.5% Escalation in new Home Pricing)

November 10, 2023

Year		11	12	13	14	15	16	17	18	19	20
Cumulative Residential AV - Inflated per CV Model		\$1,848,275,909	\$1,885,241,428	\$1,922,946,256	\$1,961,405,181	\$2,000,633,285	\$2,040,645,951	\$2,081,458,870	\$2,123,088,047	\$2,165,549,808	\$2,208,860,804
Revised Inflation Assuming 8 year Turnover (a)		2,128,201,914	2,224,277,205	2,268,762,749	2,314,138,004	2,360,420,764	2,466,826,481	2,577,432,218	2,692,394,492	2,811,875,488	2,928,948,324
Difference in Assessed Value		279,926,005	339,035,777	345,816,493	352,732,823	359,787,479	426,180,531	495,973,348	569,306,445	646,325,680	720,087,520
Total Residential Property Tax Increase Due to City	[1]	\$ 352,707	\$ 427,185	\$ 435,729	\$ 444,443	\$ 453,332	\$ 536,987	\$ 624,926	\$ 717,326	\$ 814,370	\$ 907,310
Projected Net Revenues/(Shortfall) per CV Model	[2]	\$ 2,086,523	\$ 2,137,890	\$ 2,187,676	\$ 2,238,676	\$ 2,290,441	\$ 2,342,972	\$ 2,396,525	\$ 2,450,964	\$ 2,505,640	\$ 2,561,516
Total Project Projected Net Revenue	[1] + [2] = [3]	\$ 2,439,230	\$ 2,565,075	\$ 2,623,404	\$ 2,683,119	\$ 2,743,773	\$ 2,879,959	\$ 3,021,452	\$ 3,168,290	\$ 3,320,010	\$ 3,468,827
Benefits from HOA Maintained Parks (b)	[4]	105,000	105,000	105,000	105,000	105,000	105,000	105,000	105,000	105,000	105,000
Adjusted Total Net Revenues	[3] + [4] = [5]	\$ 2,544,230	\$ 2,670,075	\$ 2,728,404	\$ 2,788,119	\$ 2,848,773	\$ 2,984,959	\$ 3,126,452	\$ 3,273,290	\$ 3,425,010	\$ 3,573,827
Cumulative Adjusted Net Revenues		\$ 20,596,018	\$ 23,266,093	\$ 25,994,497	\$ 28,782,616	\$ 31,631,390	\$ 34,616,349	\$ 37,742,801	\$ 41,016,091	\$ 44,441,101	\$ 48,014,928

Footnotes:

(a) Assumes 8 year turnover with 2.00% annual escalation and 3.50% escalation when re-assessed.

(b) Analysis assumes HOA maintained park will be built when first occupancy is granted and maintenance will commence 1 year after park construction in year 2. Estimated \$14,000 per year for park maintenance

Village 8 East
Total Assessed Value After Turnover
November 10, 2023

Year	Total High Density (MF) Assessed Value After Turnover	Total Med-High Density (SF) Assessed Value After Turnover	Total Assessed Value
1	\$ -	\$ 309,715,615	\$ 309,715,615
2	-	636,465,589	636,465,589
3	-	980,970,011	980,970,011
4	-	1,343,976,649	1,343,976,649
5	-	1,689,141,814	1,689,141,814
6	-	1,722,924,650	1,722,924,650
7	-	1,757,383,143	1,757,383,143
8	-	1,844,601,239	1,844,601,239
9	-	1,935,386,161	1,935,386,161
10	-	2,029,873,034	2,029,873,034
11	-	2,128,201,914	2,128,201,914
12	-	2,224,277,205	2,224,277,205
13	-	2,268,762,749	2,268,762,749
14	-	2,314,138,004	2,314,138,004
15	-	2,360,420,764	2,360,420,764
16	-	2,466,826,481	2,466,826,481
17	-	2,577,432,218	2,577,432,218
18	-	2,692,394,492	2,692,394,492
19	-	2,811,875,488	2,811,875,488
20	-	2,928,948,324	2,928,948,324

Village 8 East
Assessed Value and Reassessment Year - Breakdown by Absorption Year
November 10, 2023

HIGH DENSITY (MULTIFAMILY UNITS)							
Current Year	Year 1 Units (0 Units)		Year 2 Units (0 Units)		Year 3 Units (0 Units)		Total MF Assessed Value After Turnover
	Reassessment Year	Final Assessed Value	Reassessment Year	Final Assessed Value	Reassessment Year	Final Assessed Value	
1		\$ -		\$ -		\$ -	\$ -
2		-		-		-	-
3		-		-		-	-
4		-		-		-	-
5		-		-		-	-
6		-		-		-	-
7		-		-		-	-
8	Assess	-		-		-	-
9		-	Assess	-		-	-
10		-		-	Assess	-	-
11		-		-		-	-
12		-		-		-	-
13		-		-		-	-
14		-		-		-	-
15		-		-		-	-
16	Assess	-		-		-	-
17		-	Assess	-		-	-
18		-		-	Assess	-	-
19		-		-		-	-
20		-		-		-	-

MED-HIGH DENSITY (SINGLE FAMILY UNITS)							
Current Year	Year 1 Units (450 Units)		Year 2 Units (450 Units)		Year 3 Units (450 Units)		Total SF Assessed Value After Turno
	Reassessment Year	Final Assessed Value	Reassessment Year	Final Assessed Value	Reassessment Year	Final Assessed Value	
1		\$ 309,715,615		\$ -		\$ -	\$ 309,715,615
2		315,909,927		320,555,662		-	636,465,589
3		322,228,126		326,966,775		331,775,110	980,970,011
4		328,672,688		333,506,110		338,410,612	1,343,976,649
5		335,246,142		340,176,233		345,178,824	1,689,141,814
6		341,951,065		346,979,757		352,082,401	1,722,924,650
7		348,790,086		353,919,352		359,124,049	1,757,383,143
8	Assess	407,836,321		360,997,739		366,306,530	1,844,601,239
9		415,993,047	Assess	422,110,592		373,632,660	1,935,386,161
10		424,312,908		430,552,804	Assess	436,884,463	2,029,873,034
11		432,799,166		439,163,860		445,622,152	2,128,201,914
12		441,455,150		447,947,137		454,534,595	2,224,277,205
13		450,284,253		456,906,080		463,625,287	2,268,762,749
14		459,289,938		466,044,202		472,897,793	2,314,138,004
15		468,475,736		475,365,086		482,355,749	2,360,420,764
16	Assess	537,042,553		484,872,387		492,002,864	2,466,826,481
17		547,783,404	Assess	555,839,042		501,842,921	2,577,432,218
18		558,739,072		566,955,823	Assess	575,293,409	2,692,394,492
19		569,913,853		578,294,940		586,799,277	2,811,875,488
20		581,312,130		589,860,838		598,535,262	2,928,948,324

Footnotes:

(a) Turnover calculations based on 3.50% escalation and turnover occurring every 8 years. Assumes 2.00% escalation when no turnover event occurs.

Village 8 East
Initial Home Value by Year
Assumes 3.50% Annual Appreciation
November 10, 2023

Year	1	2	3	4	5	6	7	8	9	10
High Density (Multifamily)										
MF Unit Absorption	-	-	-	-	-	-	-	-	-	-
MF AV of Single unit	\$ 635,000	\$ 657,225	\$ 680,228	\$ 704,036	\$ 728,677	\$ 754,181	\$ 780,577	\$ 807,897	\$ 836,174	\$ 865,440
Med-High Density (Single Family)										
SF Unit Absorption	450	450	450	450	403	-	-	-	-	-
SF AV of Single Unit	\$ 688,257	\$ 712,346	\$ 737,278	\$ 763,083	\$ 789,791	\$ 817,433	\$ 846,043	\$ 875,655	\$ 906,303	\$ 938,024

ATTACHMENT B

VILLAGE 8 EAST CHULA VISTA FISCAL IMPACT ANALYSIS MODEL AND SUMMARY OF ADJUSTMENTS TO CHULA VISTA FISCAL IMPACT ANALYSIS MODEL

HISTORIC LAND USE SCENARIO

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Population

Year	1	2	3	4	5	6	7
Single Family Residential	1,400	2,800	4,200	5,600	7,000	7,941	7,941
Multi-Family Residential	280	560	840	1,120	1,232	1,232	1,232
Total (Per Capita Base)	1,680	3,360	5,040	6,720	8,232	9,173	9,173
Employment Population	84	168	252	336	412	459	459
Totals	1,764	3,528	5,292	7,056	8,644	9,631	9,631
Single Family Residential	500	1,000	1,500	2,000	2,500	2,836	2,836
Multi-Family Residential	100	200	300	400	440	440	440
Totals	600	1,200	1,800	2,400	2,940	3,276	3,276
Year	1	2	3	4	5	6	7

General Fund Revenues

Tax Revenues															
Property Tax	AV	\$	530,154	\$	1,081,514	\$	1,654,717	\$	2,250,415	\$	2,832,455	\$	3,240,380	\$	3,305,187
Sales and Use Tax	Per Capita		255,059		517,158		786,637		1,063,842		1,322,143		1,494,990		1,517,388
<i>Sales and Use Tax - Project Specific</i>	<i>Project Specific</i>		-		-		-		-		-		-		-
Transient Occupancy Tax	Per Capita		52,071		105,473		158,609		212,067		260,568		291,296		292,316
Property Tax In-Lieu of VLF	Project Specific		311,899		694,232		1,091,711		1,504,789		1,908,396		2,191,265		2,236,205
Franchise Fees	Per Capita		82,467		165,587		249,426		334,047		411,123		460,356		462,717
Other Taxes	Per Capita		38,171		77,814		115,969		152,179		184,119		202,677		200,268
<i>Subtotal Tax Revenues</i>			<i>1,269,822</i>		<i>2,641,778</i>		<i>4,057,069</i>		<i>5,517,339</i>		<i>6,918,805</i>		<i>7,880,965</i>		<i>8,014,082</i>
Other Revenues	Per Capita		21,672		18,451		28,543		39,605		47,787		52,461		51,696
Licenses and Permits	Per Capita		11,110		19,511		29,390		39,361		47,494		52,138		51,378
Fines, forfeitures, penalties	Per Capita		5,843		15,342		23,109		30,949		37,344		40,996		40,398
Use of Money & Property	Per Capita		21,617		42,555		62,843		82,514		99,561		109,298		107,704
Charges for Services	No Forecast		-		-		-		-		-		-		-
Intergovernmental	Per Capita		9,078		26,437		39,822		53,332		64,351		70,644		69,614
<i>Subtotal Other Revenues</i>			<i>69,320</i>		<i>122,295</i>		<i>183,709</i>		<i>245,762</i>		<i>296,536</i>		<i>325,537</i>		<i>320,791</i>
Total General Fund Revenues		\$	1,339,142	\$	2,764,073	\$	4,240,777	\$	5,763,101	\$	7,215,341	\$	8,206,502	\$	8,334,872

General Fund Expenditures

General Government	Per Capita	\$	24,694	\$	51,086	\$	77,565	\$	104,655	\$	129,956	\$	146,590	\$	148,267
Community Development (20%)	Per Capita		2,689		5,564		8,448		11,398		14,154		15,965		16,148
Public Works/Engineering (20%)	Per Capita		23,623		48,870		74,201		100,116		124,320		140,232		141,837
PC/EMP Base															
Drainage Management System	\$	26.50	45,300	90,601	135,901	181,201	221,972	247,340	247,340						
Building Management System		4.10	7,001	14,001	21,002	28,003	34,303	38,224	38,224						
Parks Management System		15.68	26,797	53,595	80,392	107,190	131,307	146,314	146,314						
Open Space Management System		6.72	11,485	22,969	34,454	45,938	56,275	62,706	62,706						
Fleet Management System		3.73	6,380	12,761	19,141	25,521	31,264	34,837	34,837						
Pavement Annual (PMP)		14.18	24,245	48,491	72,736	96,981	118,802	132,379	132,379						
General Govt Management System		0.65	1,117	2,233	3,350	4,466	5,471	6,096	6,096						
Urban Forestry Management System		6.72	11,485	22,969	34,454	45,938	56,275	62,706	62,706						
	\$	78.28	133,810	267,620	401,430	535,239	655,668	730,602	730,602						
Community Services	Per Capita		13,579	28,092	42,653	57,549	71,462	80,609	81,531						
Public Safety:															
Police Services	Project Specific		322,787	658,916	952,869	1,335,153	1,660,537	1,879,660	1,934,420						
Fire Services	Project Specific		240,653	507,032	1,011,298	1,417,022	1,785,501	2,045,334	2,104,921						
Animal Control Services	Per Capita		21,350	44,167	67,059	90,480	112,354	126,736	128,186						
<i>Total Public Safety</i>			584,789	1,210,114	2,031,226	2,842,656	3,558,392	4,051,730	4,167,526						
Total General Fund Expenditures		\$	783,185	\$	1,611,346	\$	2,635,522	\$	3,651,614	\$	4,553,951	\$	5,165,728	\$	5,285,911

Projected Net Revenues/(Shortfall)	\$555,956	\$1,152,727	\$1,605,256	\$2,111,487	\$2,661,390	\$3,040,775	\$3,048,961
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Population

Year	8	9	10	11	12	13	14	15
Single Family Residential	7,941	7,941	7,941	7,941	7,941	7,941	7,941	7,941
Multi-Family Residential	1,232	1,232	1,232	1,232	1,232	1,232	1,232	1,232
Total (Per Capita Base)	9,173	9,173	9,173	9,173	9,173	9,173	9,173	9,173
Employment Population	459	459	459	459	459	459	459	459
Totals	9,631	9,631	9,631	9,631	9,631	9,631	9,631	9,631
Single Family Residential	2,836	2,836	2,836	2,836	2,836	2,836	2,836	2,836
Multi-Family Residential	440	440	440	440	440	440	440	440
Totals	3,276	3,276	3,276	3,276	3,276	3,276	3,276	3,276
Year	8	9	10	11	12	13	14	15

General Fund Revenues

Tax Revenues																	
Property Tax	AV	\$	3,371,291	\$	3,438,717	\$	3,507,491	\$	3,577,641	\$	3,649,194	\$	3,722,178	\$	3,796,621	\$	3,872,554
Sales and Use Tax	Per Capita		1,540,449		1,564,183		1,611,109		1,659,442		1,709,225		1,760,502		1,813,317		1,867,717
<i>Sales and Use Tax - Project Specific</i>	<i>Project Specific</i>		-		-		-		-		-		-		-		-
Transient Occupancy Tax	Per Capita		293,406		294,564		303,401		312,503		321,878		331,535		341,481		351,725
Property Tax In-Lieu of VLF	Project Specific		2,282,044		2,328,799		2,376,490		2,425,134		2,474,752		2,525,361		2,576,983		2,629,637
Franchise Fees	Per Capita		465,188		467,770		481,803		496,257		511,145		526,479		542,273		558,542
Other Taxes	Per Capita		197,931		195,662		201,532		207,578		213,805		220,220		226,826		233,631
<i>Subtotal Tax Revenues</i>			<i>8,150,309</i>		<i>8,289,696</i>		<i>8,481,826</i>		<i>8,678,556</i>		<i>8,879,999</i>		<i>9,086,274</i>		<i>9,297,502</i>		<i>9,513,805</i>
Other Revenues	Per Capita		50,953		50,231		51,738		53,290		54,889		56,535		58,231		59,978
Licenses and Permits	Per Capita		50,640		49,922		51,420		52,963		54,551		56,188		57,874		59,610
Fines, forfeitures, penalties	Per Capita		39,817		39,253		40,431		41,644		42,893		44,180		45,505		46,871
Use of Money & Property	Per Capita		106,157		104,653		107,792		111,026		114,357		117,787		121,321		124,961
Charges for Services	No Forecast		-		-		-		-		-		-		-		-
Intergovernmental	Per Capita		68,614		67,642		69,671		71,761		73,914		76,131		78,415		80,768
<i>Subtotal Other Revenues</i>			<i>316,181</i>		<i>311,701</i>		<i>321,052</i>		<i>330,684</i>		<i>340,604</i>		<i>350,822</i>		<i>361,347</i>		<i>372,187</i>
Total General Fund Revenues		\$	8,466,489	\$	8,601,397	\$	8,802,878	\$	9,009,240	\$	9,220,604	\$	9,437,097	\$	9,658,849	\$	9,885,993

General Fund Expenditures

General Government	Per Capita	\$ 150,044	\$ 151,796	\$ 155,379	\$ 159,244	\$ 163,164	\$ 167,193	\$ 171,348	\$ 175,629
Community Development (20%)	Per Capita	16,341	16,532	16,923	17,343	17,770	18,209	18,662	19,128
Public Works/Engineering (20%)	Per Capita	143,537	145,213	148,640	152,338	156,087	159,942	163,917	168,013
PC/EMP Base									
Drainage Management System	\$ 26.50	247,340	247,340	247,340	247,340	247,340	247,340	247,340	247,340
Building Management System	4.10	38,224	38,224	38,224	38,224	38,224	38,224	38,224	38,224
Parks Management System	15.68	146,314	146,314	146,314	146,314	146,314	146,314	146,314	146,314
Open Space Management System	6.72	62,706	62,706	62,706	62,706	62,706	62,706	62,706	62,706
Fleet Management System	3.73	34,837	34,837	34,837	34,837	34,837	34,837	34,837	34,837
Pavement Annual (PMP)	14.18	132,379	132,379	132,379	132,379	132,379	132,379	132,379	132,379
General Govt Management System	0.65	6,096	6,096	6,096	6,096	6,096	6,096	6,096	6,096
Urban Forestry Management System	6.72	62,706	62,706	62,706	62,706	62,706	62,706	62,706	62,706
	\$ 78.28	730,602	730,602	730,602	730,602	730,602	730,602	730,602	730,602
Community Services	Per Capita	82,508	83,472	85,442	87,568	89,723	91,939	94,224	96,578
Public Safety:									
Police Services	Project Specific	1,987,635	2,037,326	2,088,259	2,140,466	2,193,977	2,248,827	2,305,048	2,362,674
Fire Services	Project Specific	2,162,827	2,219,945	2,279,303	2,339,063	2,407,292	2,479,997	2,554,397	2,631,028
Animal Control Services	Per Capita	129,722	131,237	134,334	137,676	141,065	144,549	148,141	151,842
<i>Total Public Safety</i>		<i>4,280,184</i>	<i>4,388,508</i>	<i>4,501,897</i>	<i>4,617,205</i>	<i>4,742,335</i>	<i>4,873,372</i>	<i>5,007,585</i>	<i>5,145,544</i>
Total General Fund Expenditures		\$ 5,403,216	\$ 5,516,124	\$ 5,638,882	\$ 5,764,299	\$ 5,899,681	\$ 6,041,258	\$ 6,186,338	\$ 6,335,494
Projected Net Revenues/(Shortfall)		\$3,063,273	\$3,085,273	\$3,163,996	\$3,244,940	\$3,320,923	\$3,395,839	\$3,472,511	\$3,550,499



Population

Year	16	17	18	19	20
Single Family Residential	7,941	7,941	7,941	7,941	7,941
Multi-Family Residential	1,232	1,232	1,232	1,232	1,232
Total (Per Capita Base)	9,173	9,173	9,173	9,173	9,173
Employment Population	459	459	459	459	459
Totals	9,631	9,631	9,631	9,631	9,631
Single Family Residential	2,836	2,836	2,836	2,836	2,836
Multi-Family Residential	440	440	440	440	440
Totals	3,276	3,276	3,276	3,276	3,276
Year	16	17	18	19	20

General Fund Revenues

Tax Revenues

Property Tax	AV	\$ 3,950,005	\$ 4,029,005	\$ 4,109,585	\$ 4,191,777	\$ 4,275,612
Sales and Use Tax	Per Capita	1,923,748	1,981,461	2,040,904	2,102,132	2,165,196
<i>Sales and Use Tax - Project Specific</i>	<i>Project Specific</i>	-	-	-	-	-
Transient Occupancy Tax	Per Capita	362,277	373,145	384,340	395,870	407,746
Property Tax In-Lieu of VLF	Project Specific	2,683,345	2,738,126	2,794,003	2,850,998	2,909,132
Franchise Fees	Per Capita	575,298	592,557	610,334	628,644	647,503
Other Taxes	Per Capita	240,640	247,859	255,295	262,954	270,842
<i>Subtotal Tax Revenues</i>		<i>9,735,312</i>	<i>9,962,153</i>	<i>10,194,461</i>	<i>10,432,373</i>	<i>10,676,031</i>
Other Revenues	Per Capita	61,778	63,631	65,540	67,506	69,531
Licenses and Permits	Per Capita	61,398	63,240	65,137	67,091	69,104
Fines, forfeitures, penalties	Per Capita	48,277	49,725	51,217	52,753	54,336
Use of Money & Property	Per Capita	128,710	132,571	136,548	140,644	144,864
Charges for Services	No Forecast	-	-	-	-	-
Intergovernmental	Per Capita	83,191	85,687	88,257	90,905	93,632
<i>Subtotal Other Revenues</i>		<i>383,353</i>	<i>394,854</i>	<i>406,699</i>	<i>418,900</i>	<i>431,467</i>
Total General Fund Revenues		\$ 10,118,665	\$ 10,357,006	\$ 10,601,160	\$ 10,851,273	\$ 11,107,498

General Fund Expenditures

General Government	Per Capita	\$ 180,043	\$ 184,522	\$ 189,112	\$ 194,006	\$ 198,936
Community Development (20%)	Per Capita	19,609	20,096	20,596	21,129	21,666
Public Works/Engineering (20%)	Per Capita	172,235	176,519	180,910	185,593	190,308
	PC/EMP Base					
Drainage Management System	\$ 26.50	247,340	247,340	247,340	247,340	247,340
Building Management System	4.10	38,224	38,224	38,224	38,224	38,224
Parks Management System	15.68	146,314	146,314	146,314	146,314	146,314
Open Space Management System	6.72	62,706	62,706	62,706	62,706	62,706
Fleet Management System	3.73	34,837	34,837	34,837	34,837	34,837
Pavement Annual (PMP)	14.18	132,379	132,379	132,379	132,379	132,379
General Govt Management System	0.65	6,096	6,096	6,096	6,096	6,096
Urban Forestry Management System	6.72	62,706	62,706	62,706	62,706	62,706
	\$ 78.28	730,602	730,602	730,602	730,602	730,602
Community Services	Per Capita	99,005	101,468	103,992	106,683	109,394
Public Safety:						
Police Services	Project Specific	2,421,741	2,482,284	2,544,341	2,607,950	2,673,148
Fire Services	Project Specific	2,709,959	2,791,258	2,874,996	2,961,246	3,050,083
Animal Control Services	Per Capita	155,658	159,530	163,499	167,730	171,992
<i>Total Public Safety</i>		<i>5,287,358</i>	<i>5,433,072</i>	<i>5,582,836</i>	<i>5,736,926</i>	<i>5,895,223</i>
Total General Fund Expenditures		\$ 6,488,851	\$ 6,646,279	\$ 6,808,048	\$ 6,974,940	\$ 7,146,129

Projected Net Revenues/(Shortfall)

\$3,629,814 \$3,710,727 \$3,793,112 \$3,876,334 \$3,961,369

Year



Property Tax Analysis

Residential Units

Single Family Residential

Total Cumulative SFR Units	2,836	500	1,000	1,500	2,000	2,500	2,836	2,836
Total Cumulative Residents	2.80	1,400	2,800	4,200	5,600	7,000	7,941	7,941
Percentage Complete		18%	35%	53%	71%	88%	100%	100%
Constructed Assessed Values	\$2,131,295,000	\$375,757,228	\$751,514,457	\$1,127,271,685	\$1,503,028,914	\$1,878,786,142	\$2,131,295,000	\$2,131,295,000

Multi-Family Residential - Attached Townhomes

Total Cumulative MFR Units	440	100	200	300	400	440	440	440
Total Cumulative Residents	2.80	280	560	840	1,120	1,232	1,232	1,232
Percentage Complete		23%	45%	68%	91%	100%	100%	100%
Constructed Assessed Values	\$198,000,000	\$45,000,000	\$90,000,000	\$135,000,000	\$180,000,000	\$198,000,000	\$198,000,000	\$198,000,000

Total Cumulative Residents

		1,680	3,360	5,040	6,720	8,232	9,173	9,173
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Commercial

Percentage Complete		0%	0%	0%	0%	0%	0%	0%
Constructed Assessed Values	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -

Industrial

Percentage Complete		0%	0%	0%	0%	0%	0%	0%
Constructed Assessed Values	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -

Office

Percentage Complete		0%	0%	0%	0%	0%	0%	0%
Constructed Assessed Values	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -

Hotel

Percentage Complete		0%	0%	0%	0%	0%	0%	0%
Constructed Assessed Values	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -

Constructed Assessed Values

Total Current Period Assessed Value Additions		\$ 420,757,228	\$ 841,514,457	\$ 1,262,271,685	\$ 1,683,028,914	\$ 2,076,786,142	\$ 2,329,295,000	\$ 2,329,295,000
Inflation Factor	2.00%	100.00%	102.00%	104.04%	106.12%	108.24%	110.41%	112.62%
Total AV - Inflated		\$420,757,228	\$858,344,746	\$1,313,267,462	\$1,786,043,748	\$2,247,980,110	\$2,571,729,894	\$2,623,164,492
Cumulative AV (w/o Prior Years Inflation)		\$420,757,228	\$858,344,746	\$1,313,267,462	\$1,786,043,748	\$2,247,980,110	\$2,571,729,894	\$2,623,164,492
Prior Years AV Inflation Factor	2.00%	0.00%	2.00%	2.00%	2.00%	2.00%	2.00%	2.00%
Prior Years AV Inflation Amount		\$0	\$0	\$0	\$0	\$0	\$0	\$0

Cumulative Residential AV - Inflated

		\$420,757,228	\$858,344,746	\$1,313,267,462	\$1,786,043,748	\$2,247,980,110	\$2,571,729,894	\$2,623,164,492
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Property Tax Revenue Estimate

Ad-Valorem	1.00%	\$ 4,207,572	\$ 8,583,447	\$ 13,132,675	\$ 17,860,437	\$ 22,479,801	\$ 25,717,299	\$ 26,231,645
Total AV Tax Due to City	12.60%	\$530,154	\$1,081,514	\$1,654,717	\$2,250,415	\$2,832,455	\$3,240,380	\$3,305,187

Year	8	9	10	11	12	13	14
Property Tax Analysis							
Residential Units							
Single Family Residential							
Total Cumulative SFR Units	2,836	2,836	2,836	2,836	2,836	2,836	2,836
Total Cumulative Residents	7,941	7,941	7,941	7,941	7,941	7,941	7,941
Percentage Complete	100%	100%	100%	100%	100%	100%	100%
Constructed Assessed Values	\$2,131,295,000	\$2,131,295,000	\$2,131,295,000	\$2,131,295,000	\$2,131,295,000	\$2,131,295,000	\$2,131,295,000
Multi-Family Residential - Attached Townhomes							
Total Cumulative MFR Units	440	440	440	440	440	440	440
Total Cumulative Residents	1,232	1,232	1,232	1,232	1,232	1,232	1,232
Percentage Complete	100%	100%	100%	100%	100%	100%	100%
Constructed Assessed Values	\$198,000,000	\$198,000,000	\$198,000,000	\$198,000,000	\$198,000,000	\$198,000,000	\$198,000,000
Total Cumulative Residents	9,173	9,173	9,173	9,173	9,173	9,173	9,173
Commercial							
Percentage Complete	0%	0%	0%	0%	0%	0%	0%
Constructed Assessed Values	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -
Industrial							
Percentage Complete	0%	0%	0%	0%	0%	0%	0%
Constructed Assessed Values	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -
Office							
Percentage Complete	0%	0%	0%	0%	0%	0%	0%
Constructed Assessed Values	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -
Hotel							
Percentage Complete	0%	0%	0%	0%	0%	0%	0%
Constructed Assessed Values	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -
Constructed Assessed Values							
Total Current Period Assessed Value Additions	\$ 2,329,295,000	\$ 2,329,295,000	\$ 2,329,295,000	\$ 2,329,295,000	\$ 2,329,295,000	\$ 2,329,295,000	\$ 2,329,295,000
Inflation Factor	114.87%	117.17%	119.51%	121.90%	124.34%	126.82%	129.36%
Total AV - Inflated	\$2,675,627,782	\$2,729,140,338	\$2,783,723,145	\$2,839,397,608	\$2,896,185,560	\$2,954,109,271	\$3,013,191,456
Cumulative AV (w/o Prior Years Inflation)	\$2,675,627,782	\$2,729,140,338	\$2,783,723,145	\$2,839,397,608	\$2,896,185,560	\$2,954,109,271	\$3,013,191,456
Prior Years AV Inflation Factor	2.00%	2.00%	2.00%	2.00%	2.00%	2.00%	2.00%
Prior Years AV Inflation Amount	\$0	\$0	\$0	\$0	\$0	\$0	\$0
Cumulative Residential AV - Inflated	\$2,675,627,782	\$2,729,140,338	\$2,783,723,145	\$2,839,397,608	\$2,896,185,560	\$2,954,109,271	\$3,013,191,456
Property Tax Revenue Estimate							
Ad-Valorem	\$ 26,756,278	\$ 27,291,403	\$ 27,837,231	\$ 28,393,976	\$ 28,961,856	\$ 29,541,093	\$ 30,131,915
Total AV Tax Due to City	\$3,371,291	\$3,438,717	\$3,507,491	\$3,577,641	\$3,649,194	\$3,722,178	\$3,796,621

Year	15	16	17	18	19	20
Property Tax Analysis						
Residential Units						
Single Family Residential						
Total Cumulative SFR Units	2,836	2,836	2,836	2,836	2,836	2,836
Total Cumulative Residents	7,941	7,941	7,941	7,941	7,941	7,941
Percentage Complete	100%	100%	100%	100%	100%	100%
Constructed Assessed Values	\$2,131,295,000	\$2,131,295,000	\$2,131,295,000	\$2,131,295,000	\$2,131,295,000	\$2,131,295,000
Multi-Family Residential - Attached Townhomes						
Total Cumulative MFR Units	440	440	440	440	440	440
Total Cumulative Residents	1,232	1,232	1,232	1,232	1,232	1,232
Percentage Complete	100%	100%	100%	100%	100%	100%
Constructed Assessed Values	\$198,000,000	\$198,000,000	\$198,000,000	\$198,000,000	\$198,000,000	\$198,000,000
Total Cumulative Residents	9,173	9,173	9,173	9,173	9,173	9,173
Commercial						
Percentage Complete	0%	0%	0%	0%	0%	0%
Constructed Assessed Values	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -
Industrial						
Percentage Complete	0%	0%	0%	0%	0%	0%
Constructed Assessed Values	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -
Office						
Percentage Complete	0%	0%	0%	0%	0%	0%
Constructed Assessed Values	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -
Hotel						
Percentage Complete	0%	0%	0%	0%	0%	0%
Constructed Assessed Values	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -
Constructed Assessed Values						
Total Current Period Assessed Value Additions	\$ 2,329,295,000	\$ 2,329,295,000	\$ 2,329,295,000	\$ 2,329,295,000	\$ 2,329,295,000	\$ 2,329,295,000
Inflation Factor	131.95%	134.59%	137.28%	140.02%	142.82%	145.68%
Total AV - Inflated	\$3,073,455,285	\$3,134,924,391	\$3,197,622,879	\$3,261,575,337	\$3,326,806,843	\$3,393,342,980
Cumulative AV (w/o Prior Years Inflation)	\$3,073,455,285	\$3,134,924,391	\$3,197,622,879	\$3,261,575,337	\$3,326,806,843	\$3,393,342,980
Prior Years AV Inflation Factor	2.00%	2.00%	2.00%	2.00%	2.00%	2.00%
Prior Years AV Inflation Amount	\$0	\$0	\$0	\$0	\$0	\$0
Cumulative Residential AV - Inflated	\$3,073,455,285	\$3,134,924,391	\$3,197,622,879	\$3,261,575,337	\$3,326,806,843	\$3,393,342,980
Property Tax Revenue Estimate						
Ad-Valorem	\$ 30,734,553	\$ 31,349,244	\$ 31,976,229	\$ 32,615,753	\$ 33,268,068	\$ 33,933,430
Total AV Tax Due to City	\$3,872,554	\$3,950,005	\$4,029,005	\$4,109,585	\$4,191,777	\$4,275,612

Village 8 East**Summary of Adjustment to CV Fiscal Impact Analysis Model**

Total Project Net Revenue (Residential Turnover based on DPFG Turnover Model - Assumes 3.5% Escalation in new Home Pricing)

November 10, 2023

Year		1	2	3	4	5	6	7	8	9	10
Cumulative Residential AV - Inflated per CV Model		\$ 375,757,228	\$ 766,544,746	\$1,172,813,462	\$1,595,026,308	\$2,033,658,542	\$2,353,121,895	\$2,400,184,333	\$2,448,188,020	\$2,497,151,780	\$2,547,094,816
Revised Inflation Assuming 8 year Turnover (a)		375,757,228	772,181,105	1,190,145,264	1,630,556,925	2,094,358,126	2,436,146,600	2,484,869,532	2,597,740,494	2,715,079,951	2,837,054,658
Difference in Assessed Value		-	5,636,358	17,331,802	35,530,617	60,699,583	83,024,705	84,685,199	149,552,474	217,928,170	289,959,842
Total Residential Property Tax Increase Due to City	[1]	\$ -	\$ 7,102	\$ 21,838	\$ 44,769	\$ 76,481	\$ 104,611	\$ 106,703	\$ 188,436	\$ 274,589	\$ 365,349
Projected Net Revenues/(Shortfall) per CV Model	[2]	\$ 555,956	\$ 1,152,727	\$ 1,605,256	\$ 2,111,487	\$ 2,661,390	\$ 3,040,775	\$ 3,048,961	\$ 3,063,273	\$ 3,085,273	\$ 3,163,996
Total Project Projected Net Revenue	[1] + [2] = [3]	\$ 555,956	\$ 1,159,828	\$ 1,627,094	\$ 2,156,255	\$ 2,737,872	\$ 3,145,386	\$ 3,155,664	\$ 3,251,710	\$ 3,359,863	\$ 3,529,346
Benefits from HOA maintained Parks (b)	[4]	-	102,200	102,200	102,200	102,200	102,200	102,200	102,200	102,200	102,200
Adjusted Total Net Revenues	[3] + [4] = [5]	\$ 555,956	\$ 1,262,028	\$ 1,729,294	\$ 2,258,455	\$ 2,840,072	\$ 3,247,586	\$ 3,257,864	\$ 3,353,910	\$ 3,462,063	\$ 3,631,546
Cumulative Adjusted Net Revenues		\$ 555,956	\$ 1,817,985	\$ 3,547,278	\$ 5,805,734	\$ 8,645,806	\$ 11,893,391	\$ 15,151,256	\$ 18,505,165	\$ 21,967,228	\$ 25,598,773

Footnotes:

(a) Assumes 8 year turnover with 2.00% annual escalation and 3.50% escalation when re-assessed.

(b) Analysis assumes HOA maintained park will be built when first occupancy is granted and maintenance will commence 1 year after park construction in year 2. Estimated \$14,000 per year for park maintenance

Village 8 East
Summary of Adjustment to CV Fiscal Impact Analysis Model
 Total Project Net Revenue (Residential Turnover based on DPFG Turnover
 Model - Assumes 3.5% Escalation in new Home Pricing)

November 10, 2023

Year		11	12	13	14	15	16	17	18	19	20
Cumulative Residential AV - Inflated per CV Model		\$2,598,036,712	\$2,649,997,447	\$2,702,997,396	\$2,757,057,343	\$2,812,198,490	\$2,868,442,460	\$2,925,811,309	\$2,984,327,536	\$3,044,014,086	\$3,104,894,368
Revised Inflation Assuming 8 year Turnover (a)		2,963,837,419	3,095,607,294	3,207,939,859	3,272,098,656	3,337,540,629	3,476,111,566	3,619,967,626	3,769,302,491	3,924,316,797	4,085,218,378
Difference in Assessed Value		365,800,707	445,609,847	504,942,463	515,041,313	525,342,139	607,669,106	694,156,317	784,974,956	880,302,711	980,324,010
Total Residential Property Tax Increase Due to City	[1]	\$ 460,909	\$ 561,468	\$ 636,228	\$ 648,952	\$ 661,931	\$ 765,663	\$ 874,637	\$ 989,068	\$ 1,109,181	\$ 1,235,208
Projected Net Revenues/(Shortfall) per CV Model	[2]	\$ 3,244,940	\$ 3,320,923	\$ 3,395,839	\$ 3,472,511	\$ 3,550,499	\$ 3,629,814	\$ 3,710,727	\$ 3,793,112	\$ 3,876,334	\$ 3,961,369
Total Project Projected Net Revenue	[1] + [2] = [3]	\$ 3,705,849	\$ 3,882,391	\$ 4,032,066	\$ 4,121,463	\$ 4,212,430	\$ 4,395,477	\$ 4,585,364	\$ 4,782,180	\$ 4,985,515	\$ 5,196,578
Benefits from HOA maintained Parks (b)	[4]	102,200	102,200	102,200	102,200	102,200	102,200	102,200	102,200	102,200	102,200
Adjusted Total Net Revenues	[3] + [4] = [5]	\$ 3,808,049	\$ 3,984,591	\$ 4,134,266	\$ 4,223,663	\$ 4,314,630	\$ 4,497,677	\$ 4,687,564	\$ 4,884,380	\$ 5,087,715	\$ 5,298,778
Cumulative Adjusted Net Revenues		\$ 29,406,822	\$ 33,391,414	\$ 37,525,680	\$ 41,749,343	\$ 46,063,973	\$ 50,561,650	\$ 55,249,214	\$ 60,133,594	\$ 65,221,309	\$ 70,520,087

Footnotes:
 (a) Assumes 8 year turnover with 2.00% annual escalation and 3.50% escalation when re-assessed.
 (b) Analysis assumes HOA maintained park will be built when first occupancy is granted and maintenance will commence 1 year after park construction in year 2. Estimated \$14,000 per year for park maintenance

Village 8 East
Total Assessed Value After Turnover
November 10, 2023

Year	Total High Density (MF) Assessed Value After Turnover	Total Med-High Density (SF) Assessed Value After Turnover	Total Assessed Value
1	\$ -	\$ 375,757,228	\$ 375,757,228
2	-	772,181,105	772,181,105
3	-	1,190,145,264	1,190,145,264
4	-	1,630,556,925	1,630,556,925
5	-	2,094,358,126	2,094,358,126
6	-	2,436,146,600	2,436,146,600
7	-	2,484,869,532	2,484,869,532
8	-	2,597,740,494	2,597,740,494
9	-	2,715,079,951	2,715,079,951
10	-	2,837,054,658	2,837,054,658
11	-	2,963,837,419	2,963,837,419
12	-	3,095,607,294	3,095,607,294
13	-	3,207,939,859	3,207,939,859
14	-	3,272,098,656	3,272,098,656
15	-	3,337,540,629	3,337,540,629
16	-	3,476,111,566	3,476,111,566
17	-	3,619,967,626	3,619,967,626
18	-	3,769,302,491	3,769,302,491
19	-	3,924,316,797	3,924,316,797
20	-	4,085,218,378	4,085,218,378

Village 8 East
Assessed Value and Reassessment Year - Breakdown by Absorption Year
November 10, 2023

HIGH DENSITY (MULTIFAMILY UNITS)							
Current Year	Year 1 Units (350 Units)		Year 2 Units (350 Units)		Year 3 Units (350 Units)		Total MF Assessed Value After Turnover
	Reassessment Year	Final Assessed Value	Reassessment Year	Final Assessed Value	Reassessment Year	Final Assessed Value	
1		\$ -		\$ -		\$ -	\$ -
2		-		-		-	-
3		-		-		-	-
4		-		-		-	-
5		-		-		-	-
6		-		-		-	-
7		-		-		-	-
8	Assess	-		-		-	-
9		-	Assess	-		-	-
10		-		-	Assess	-	-
11		-		-		-	-
12		-		-		-	-
13		-		-		-	-
14		-		-		-	-
15		-		-		-	-
16	Assess	-		-		-	-
17		-	Assess	-		-	-
18		-		-	Assess	-	-
19		-		-		-	-
20		-		-		-	-

MED-HIGH DENSITY (SINGLE FAMILY UNITS)							
Current Year	Year 1 Units (500 Units)		Year 2 Units (500 Units)		Year 3 Units (500 Units)		Total SF Assessed Value After Turno
	Reassessment Year	Final Assessed Value	Reassessment Year	Final Assessed Value	Reassessment Year	Final Assessed Value	
1		\$ 375,757,228		\$ -		\$ -	\$ 375,757,228
2		383,272,373		388,908,731		-	772,181,105
3		390,937,821		396,686,906		402,520,537	1,190,145,264
4		398,756,577		404,620,644		410,570,948	1,630,556,925
5		406,731,708		412,713,057		418,782,367	2,094,358,126
6		414,866,343		420,967,318		427,158,014	2,436,146,600
7		423,163,669		429,386,665		435,701,174	2,484,869,532
8	Assess	494,800,514		437,974,398		444,415,198	2,597,740,494
9		504,696,524	Assess	512,118,532		453,303,502	2,715,079,951
10		514,790,455		522,360,903	Assess	530,042,681	2,837,054,658
11		525,086,264		532,808,121		540,643,534	2,963,837,419
12		535,587,989		543,464,283		551,456,405	3,095,607,294
13		546,299,749		554,333,569		562,485,533	3,207,939,859
14		557,225,744		565,420,240		573,735,244	3,272,098,656
15		568,370,259		576,728,645		585,209,949	3,337,540,629
16	Assess	651,557,789		588,263,218		596,914,148	3,476,111,566
17		664,588,944	Assess	674,362,311		608,852,431	3,619,967,626
18		677,880,723		687,849,557	Assess	697,964,992	3,769,302,491
19		691,438,338		701,606,549		711,924,292	3,924,316,797
20		705,267,104		715,638,680		726,162,778	4,085,218,378

Footnotes:

(a) Turnover calculations based on 3.50% escalation and turnover occurring every 8 years. Assumes 2.00% escalation when no turnover event occurs.

Village 8 East
Initial Home Value by Year
Assumes 3.50% Annual Appreciation
November 10, 2023

Year	1	2	3	4	5	6	7	8	9	10
High Density (Multifamily)										
MF Unit Absorption	350	350	350	350	350	143	-	-	-	-
MF AV of Single unit	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -
Med-High Density (Single Family)										
SF Unit Absorption	500	500	500	500	500	336	-	-	-	-
SF AV of Single Unit	\$ 751,514	\$ 777,817	\$ 805,041	\$ 833,218	\$ 862,380	\$ 892,563	\$ 923,803	\$ 956,136	\$ 989,601	\$ 1,024,237